

**PLEASANT PRAIRIE PLAN COMMISSION MEETING  
VILLAGE HALL AUDITORIUM  
9915 39<sup>th</sup> AVENUE  
PLEASANT PRAIRIE, WISCONSIN  
6:00 P.M.  
AUGUST 22, 2016**

**AGENDA**

1. Call to Order.
2. Roll Call.
3. Consider approval of the August 8, 2016 Plan Commission Meeting minutes.
4. Correspondence.
5. Citizen Comments.
6. New Business.
  - A. Consider the request of John Doheny, agent for approval of **Preliminary Site and Operational Plans** for the mass grading, installation of underground utilities and footings and foundations for the construction of a 175,000 square foot industrial building on the vacant land located on the southeast corner of STH 165 (104<sup>th</sup> Street) and 80<sup>th</sup> Avenue in LakeView Corporate Park.
  - B. Consider the request of Matt Carey, PE, agent on for approval of a **Certified Survey Map** for the property located at the southwest corner of STH 165 (104<sup>th</sup> Street and 80<sup>th</sup> Avenue) in LakeView Corporate Park.
  - C. Consider the request of Paul Schmitter, agent for CenterPoint WisPark Land Company LLC, owner of the vacant property generally located on the east side of 80<sup>th</sup> Avenue and north of Springbrook Road for a **time extension related to the conditionally approved Site and Operational Plans** for the construction of a 417,384 square foot speculative industrial building and related site improvements.
  - D. Consider the request of David Jarabak with Exel, Inc. for approval of **Site and Operational Plans** for DHL Supply Chain to occupy the entire 256,240 square foot building located at 8505 100<sup>th</sup> Street in LakeView Corporate Park for the warehousing of SC Johnson products.
7. Adjourn.

It is possible that members and possibly a quorum of members of other governmental bodies of the municipality may be in attendance in the above stated meeting to gather information; no action will be taken by any other governmental body except the governing body noticed above.

**The Village Hall is handicapped accessible. If you have other special needs, please contact the Village Clerk, 9915 39<sup>th</sup> Avenue, Pleasant Prairie, WI (262) 694-1400.**

**PLEASANT PRAIRIE PLAN COMMISSION MEETING  
VILLAGE HALL AUDITORIUM  
9915 39TH AVENUE  
PLEASANT PRAIRIE, WISCONSIN  
6:00 P.M.  
August 8, 2016**

A regular meeting for the Pleasant Prairie Plan Commission convened at 6:00 p.m. on August 8, 2016. Those in attendance were Michael Serpe; Wayne Koessler; Judy Juliana; Bill Stoebig; John Skalbeck (Alternate #1); and Brock Williamson (Alternate #2). Thomas Terwall, Deb Skarda and Jim Bandura were excused. Also in attendance were Michael Pollocoff, Village Administrator; Tom Shircel, Assistant Administrator; Jean Werbie-Harris, Community Development Director; Peggy Herrick, Assistant Village Planner and Zoning Administrator; and Kristina Tranel, Community Development Department.

- 1. CALL TO ORDER.**
- 2. ROLL CALL.**
- 3. CONSIDER APPROVAL OF THE JULY 11, 2016 PLAN COMMISSION MEETING MINUTES.**

Wayne Koessler:

Chairman, I move we approve them in printed form.

John Skalbeck:

I'll second.

Michael Serpe:

**MOTION MADE BY WAYNE KOESSL AND SECOND BY JOHN SKALBECK TO APPROVE THE MINUTES OF JULY 11TH. ALL THOSE IN FAVOR SAY AYE.**

Voices:

Aye.

Michael Serpe:

Opposed? The ayes have it.

- 4. CORRESPONDENCE.**

**5. CITIZEN COMMENTS.**

Michael Serpe:

We have only one public hearing tonight, that's Item B. If there's anything that anybody wishes to speak on that's not on the agenda or on the agenda that's not a public hearing now is your opportunity to speak. Anybody wishing to speak? Anybody wishing to speak? We'll close citizens' comments.

**6. NEW BUSINESS**

**A. Consider approval of two Certified Survey Maps, Development Agreement and associated documents and for the request of Carl Ambrosius, of Lexington Homes for the proposed development of 3-49 unit apartment buildings, 10-8 unit apartment buildings and 19 single family lots on the vacant properties generally located west and north of Bain Station Road and CTH H (88th Avenue) to be known as Fountain Ridge.**

Jean Werbie-Harris:

I'd ask that Items A and B be brought up at the same time. I'll be making one presentation, and Item C, all three of them at the same time please.

Michael Serpe:

So A, B and C taken all together?

Jean Werbie-Harris:

Yes.

Wayne Koessler:

Mr. Chairman, I move A, B and C be taken up at the same time with separate votes.

Michael Serpe:

Is there a second?

Judy Juliana:

Second.

Michael Serpe:

**MOTION MADE BY WAYNE KOESSL AND SECONDED BY JUDY JULIANA TO COMBINE A, B AND C WITH SEPARATE VOTES ON EACH. ALL THOSE IN FAVOR SAY AYE.**

Voices:

Aye.

Michael Serpe:

Opposed? The ayes have it.

- B. PUBLIC HEARING AND CONSIDERATION OF A ZONING TEXT AND ZONING MAP AMENDMENTS for the request of Carl Ambrosius, of Lexington Homes for the proposed development of 3-49 unit apartment buildings, 10-8 unit apartment buildings and 19 single family lots on the vacant properties generally located west and north of Bain Station Road and CTH H (88th Avenue) to be known as Fountain Ridge. Specifically the properties are proposed to be rezoned from the A-2, General Agricultural District to the R-11 (PUD), Multi-Family Residential District with a Planned Unit Development Overlay District, R-4.5 (UHO), Urban Single Family Residential with an Urban Land Holding Overlay District and C-1 Lowland Resource Conservancy District. In addition, the request is also to create the specific PUD zoning regulations for the multi-family development.**
- C. Consider approval of the Digital Security Imaging System (DSIS) Agreement and Access Easement for the Fountain Ridge development.**

Jean Werbie-Harris:

This is the consideration and approval of two Certified Survey Maps, Development Agreement and associated documents and for the request of Carl Ambrosius of Lexington Homes for the proposed development of three 49-unit apartment buildings, ten 8-unit apartment buildings and 19 single family lots on the vacant properties generally located west and north of Bain Station Road and County Trunk Highway H or 88th Avenue. The development is to be known as Fountain Ridge.

Also, the consideration of a Zoning Text and Zoning Map Amendments, again, for that same project, the three 49-unit apartment buildings, ten 8-unit apartment builds and 19 single family lots for the development to be known as Fountain Ridge. Specifically the properties are proposed to be rezoned from the A-2, General Agricultural District, to the R-11 (PUD), Multi-Family Residential District with a Urban Landholding Overlay District and C-1 Lowland Resource Conservancy District. There's a very small area. In addition, the request is also to create the specific PUD zoning regulations for the multi-family development.

And finally the last item is to consider approval of the Digital Security Imaging System or the DSIS Agreement and Access Easement for the Fountain Ridge development. Again, these items are related and will be discussed at the same time, but separate action will be required.

The petitioner then is requesting several approvals to develop the vacant properties generally located west and north of Bain Station Road and County Trunk Highway H or 88th Avenue. The development is to be known as Fountain Ridge. There will be two CSMs that will be considered,

Development Agreement and related documents for public and private improvements, Zoning Map and Zoning Text Amendments and DSIS Agreement and Access Easements.

Previous approvals for this development: On June 20, 2016, the Village Board had approved the following applications related to the Fountain Ridge Development: 1) Comprehensive Plan Ordinance #16-24 which included an amendment to the Prairie Ridge Neighborhood Plan and amendments to the Land Use Plan; and a 2) Conceptual Plan for the proposed development to include 19 single family lots and 5 lots for the development of three 49-unit buildings and ten 8-unit condo-style apartment buildings on a 34.5 acre property.

The first item then is the Certified Survey Map and Development Agreement. The developer is requesting approval of two Certified Survey Maps for the eastern and western portions of the development. Each CSM will include three lots. The eastern CSM will dedicate the public roads that connect Bain Station Road on the south to 88th Avenue to the east. The public roads will be designed and constructed at the developer's expense to the Village specifications including the installation of public sidewalks, public street trees and public street lights and public street rights-of-way. In addition, public sidewalk will also be required to be extended along the north side of Bain Station Road all the way to the west to 94th Avenue by the developer.

Both CSMs dedicate additional rights-of-way adjacent for both 88th Avenue which is a County highway and Bain Station Road for the future widening and roadway improvements with these streets. A traffic study is being prepared for the Village and Kenosha County to evaluate the traffic impact on the adjacent roadways, and a future roundabout is being proposed at the intersection of County Trunk Highway H and Bain Station Road.

There is a small portion of the property, just over 5,554 square feet, on a portion of Lot 3 which is just north of Bain Station Road within the eastern CSM that was field delineated as wetlands in October 2015 by James Havel, a Wisconsin Department of Natural Resources Assured Wetland Delineator. The wetlands will remain unchanged on the property.

Lot 1 as shown on the slide of the western CSM adjacent to the Ashbury Creek Subdivision is proposed to be developed with 19 single family lots as shown and conditionally approved by the Conceptual Plan. So you can see the conceptual plan.

As discussed with that plan the approval of the 19 single family lots will need to meet the minimum requirements of the R-4.5 Urban Single Family Residential District, which is the same zoning designation as the Ashbury Creek Subdivision. The R-4.5 district requires each lot to be a minimum of 12,500 square feet with a minimum of 80 feet of frontage. All lots shall have a minimum lot depth of at least 125 feet.

The 84th Place right-of-way, which was dedicated with Ashbury Creek Final Plat between Lots 2 and 3 is proposed to be extended with a public roadway constructed extending from 94th Avenue east into the single family portion of the development. Public roads are proposed to then be extended both north and south and terminate in cul-de-sacs in both directions for the single family subdivision area. Storm water management facilities for the proposed 19 single family lots would be installed in an outlot which would be at that northwest corner of that subdivision area. The new public streets will be required to be constructed with the Village's new construction

specifications, which would require public concrete sidewalks on both sides of the public roadways.

The development of the single family development in the future will require approval of a subdivision plat including a Preliminary Plat and Final Plat along with a Development Agreement, Declaration of Restrictions, Covenants and Easements, By-Laws, Association Articles of Incorporation, street lighting, signage, tree planting plans and other development documents. The remainder of the other lots in both CSMs will be developed with apartments, and this apartment development is being considered for approval at this meeting. So, again, there's two CSMs. The first CSM, the eastern one, has three lots, 1, 2 and 3. And then two of the lots, Lots 2 and 3 of that western CSM will all be part of the apartment development. The balance of that Lot 1 which is the single family that is going to be done at a later date by this or another developer.

Zoning Map and Zoning Text Amendments: The developer is proposing to develop Lots 1, 2 and 3 of the eastern CSM and Lots 2 and 3 of the western CSM. As stated, they're looking to develop three 49-unit apartments, two 2-story market rate apartments, ten 8-unit condo-style market rate apartment buildings along with a private clubhouse.

Each 49-unit building will provide 60 underground parking spaces. Some residents will have two stalls available to them. An additional 60 surface parking spaces will be available for each building, for a total of 120 parking spaces for each 49-unit building. Storage lockers are available internally in the underground parking areas as well as on each floor. The lighting of the parking areas will be required similar to the pole system with LED fixtures, and that's similar to the Cobblestone development that they developed to the north/northwest.

Additionally, the parking lots, driveway entrances/exits and access doors will be monitored via an exterior camera monitoring system pursuant to the Village's Digital Security Imaging System requirements of Chapter 410 of the Village Municipal Code. The cameras shall be mounted via non-penetrating building mounts and on private light poles as needed.

The 49-unit buildings will offer a variety of floor plans ranging from an efficiency styles to a luxurious 1400 square foot units with two bedrooms, two and a half baths. The 49-unit building apartment unit types will breakdown as follows:

On the first floor five 2-bedroom units with 2.5 bathrooms that range in size from 1,200 to 1,370 square feet. Five 2-bedroom units with two bathrooms that range in size from 1,132 to 1,260 square feet. One luxury 1-bedroom unit with 1.5 bathrooms that is 1,173 square feet. And eight 1-bedroom units with one bathroom that ranges in size from 820 to 980 square feet. Finally, four efficiency units with one bathroom that are 617 square feet.

On the second floor, again these are two story buildings, on the second floor they'll have six 2-bedroom lofts with two and a half bathrooms that range in size from 1,370 to 1,400 square feet. Four 2-bedroom units with two and half baths that range in size from 1,200 to 1,218 square feet. Two 2-bedroom units with two bathrooms that range in size from 1,132 to 1,260 square feet. Six 1-bedroom lofts with two and a half bathrooms that are 1,000 square feet. One luxury 1-bedroom loft with one and a half bathrooms that's 980 square feet. Five lofts with one and a half

bathrooms that's 1,032 square feet. And one efficiency unit with one bathroom that is 617 square feet.

In each of the 8-unit building, each residence will have an attached individual private garage with garage remote. Six of the units in each of the buildings will have two unit garages or two stall garages. And two of the units in each building will be single stalls with an additional 16 surface parking spaces for each building. The lighting of the parking areas will be done by a parking lot pole system with shoebox LED fixtures. Additionally, the parking lot entrances and exit driveways will be monitored via exterior camera systems pursuant to the Village's DSIS requirements of Chapter 410 of the Village Municipal Code.

These units are all condo-style in that they will all have a private individual entrances from the outside of the building and their attached garage. In addition, all units will have individual high efficiency top load washers, front load dryers along with built in microwaves, smooth ranges and refrigerators.

Each 8-unit building will break down as follows: Two 2-story two bedroom units with two and a half bathrooms, two 1-bedroom units and one and a half bathrooms on the first floor, two 2-bedrooms units with two bathrooms on the second floor, and two 2-bedroom units with a den and with two and a half bathrooms on the second floor. The units will range in size from 937 square feet to 1,594 square feet.

Population as mentioned previously is based upon the current projections of 2.34 persons per household, rental household in Pleasant Prairie, a maximum total of 532 persons are intended to live at this development. The developer anticipates less than 10 percent of the occupants to be children or less than 5 percent being school age children.

With respect to site access, the apartment development will not have any public or private roadway connections to the single family home development lying to the west. In the multifamily area, new public roadways will be constructed with one connections at Bain Station Road on the south and one to 88th Avenue on the east. In addition, private parking areas, fire lanes and access driveways will be connected to the new public roads within the development. No direct driveway access will be provided or allowed to the adjacent highways of Highway H and adjacent Bain Station Road.

Based upon a recent Traffic Impact Analysis which evaluated other Village developments approved in the area, existing traffic count information for the nearby intersection and the proposed traffic count from this development, Kenosha County is proposing to reconstruct the intersection at Bain Station Road and Highway H in 2017. A roundabout has been approved by the County and is in the design phase for the intersection. In fact we have plans at 30 percent complete at this point.

In anticipation of the new highway improvements, the developer is required to dedicate additional land for the widening of the Bain Station and County H adjacent to the roadways via Certified Survey Map. The Village and Kenosha County will need a dedication of 50 feet from roadway centerline to be dedicated by the developer for both roadways. Continued coordination and additional information from the developer will be required between the Village, County and the developer as the project moves forward in order to coordinate that roadway construction work.

For site amenities, the site provides for over 45 percent green space and includes a clubhouse, which will be centrally located next to the middle 49-unit buildings. The clubhouse will house the staff of the property management team from Lexington Management, which is the management arm of Lexington Homes. The clubhouse will have security monitoring via cameras and an access key system. In addition, the clubhouse will provide a gathering and patio area for the residents to rent out. The clubhouse will not be in one of the first phases, it will be constructed in one of the later phases so that the existing Cobblestone Clubhouse building that's in Prairie Ridge that they will be using that as their rental and leasing office until they get enough of the buildings constructed here, and then they'll be building that clubhouse.

For construction practices Lexington Homes prides itself on creating communities built of high quality and intricate architectural design. Highlighted below is a listing of some of their construction practices:

- Buildings will have an internal fire sprinkler system for fire safety
- 2x6 construction on the external walls of the buildings
- High performance vinyl windows and patio doors with low E glass and argon gas
- Partial stone façade blended with maintenance free products
- Aluminum frame and full glass front entry doors for security and aesthetics
- Complete intercom system for entry
- Custom plastered interior walls not drywall
- Individual sound walls divide each unit
- Sound insulation between the floors will be added to the underside of the floor truss for additional reduction of sound transfer
- Three quarters inch gypcrete poured on all floors for another sound barrier as it acts as another fire preventative
- Individual unit entry doors have a deadbolt and peephole
- Postal service is accommodated inside the buildings for convenience and also as another security measure
- 30 year dimensional shingle roofs

With respect to property management and maintenance, Lexington Management understands that the real success to any community lies within the long term management and maintenance. They operate under a very structured process. They have included a copy of their management forms pertaining to these areas.

With respect to leasing, and I know this is similar to the Cobblestone, but I'll enter it into the record for this project as well, leasing information was prepared by Lexington and is provided to every potential resident that tours the site. They are required to fill out a Welcome to the Community form. This document helps to ensure the safety of the staff before each tour occurs. This form requires that they see a valid ID and gives them current living information. When the tour results in someone wanting to reside within the community they are given the Rental Process form along with a Standard Application for Occupancy. The rental process form clearly highlights what the qualifications are needed to reside at the property. The application is a more detailed document that allows Lexington to further qualify every potential resident.



With the receipt of the application, security deposit and the signed rental process form, the potential tenant starts a detailed approval process. This includes a credit check, which requires a score of 600 or higher, their gross monthly income shall be two and a half times the amount of the monthly rent, and criminal background check are run. Lexington Management, as a standard allows only two people per bedroom and two vehicles per unit. There are variables to this process which are also outlined on the rental process form.

Residents are required to sign a one year lease with variable terms after that one year period depending on the individual situation. It is management's goal to always try to secure one year leases continually with a built in parameter that does not allow anyone to move out between October and April. In addition, dogs are not going to be allowed in these units.

With respect to their management structure, as one of their principal owners, Michelle Stimpson has a genuine focus on the day-to-day operations of the entire management division. They oversee just under 1,700 units. She believes in treating every resident as she would like to be treated. She physically reviews every resident file and signs every single lease that occurs within the entire company. With over 20 years of experience in this industry and having both a real estate and broker's license, she knows that on the management side of things the difference is always in the details.

Weekly she meets with her district staff to review every property that they oversee. In these meetings site suggestions along with marketing and maintenance are discussed in greater detail with implementation plans to be carried out and reported each week. The district staff is required to be at each property working with the site management. Monthly reports are clearly documented to ensure the continued success of each site. The management operates on the principal that this is someone's home.

They focus on the presentation not only to our prospective and current residents but to their guests as well. Additionally, they will have property staff which will include a property manager, assistant manager, cleaning staff and maintenance. Their goal is always to have as many of their staff physically living at the property so that someone is always available.

They are very centered on routine inspections. Monthly they do property inspection reports along with exterior and interior building inspection reports. Yearly they inspect the interior of every single apartment and complete a full report as to the interior condition of that unit. At that time an annual property review is also completed to help plan for upcoming projects.

With respect to the rents the anticipated market rate rents based on a thorough market study will range from the mid-\$700 for an efficiencies up to in excess of \$1,600 for the two bedroom two and a half bath units. The residents will be responsible for their heat and water. The billing of the water will be accomplished by the building having one main water meter which will be billed to the property owner and paid. This water bill will then be split up and billed by the owner to the individual tenants.

Site Construction Schedule: The developer would like to begin the site and excavation work for the apartment portion of the project in the fall of 2016. If work begins in fall, then an anticipated completion time frame for the entire project would be fall of 2018. And I'm actually going to have them -- they did give us some very detailed explanation of their timing sequencing, building

starts, building constructions, and I will probably have them discuss that with us as part of this hearing. If Lexington builds the 19 residential single family homes, they would likely be built in the last phase and offer over a dozen plans for home buyers to choose from.

Now with respect to the Zoning Map and Text Amendments and DSIS Agreement and Access Easement, Lots 1 through 3 of the eastern CSM and Lots 2 and 3 of the western CSM are proposed to be rezoned from the A-2, General Agricultural District, to the R-11 (PUD), Multi-Family Residential District with a Planned Unit Development Overlay District. Lot 1 of the western CSM is proposed to be rezoned from A-2 to the R-4.5 (UHO), Urban Single Family Residential with an Urban Land Holding Overlay District for the future single family development. In addition there are some wetlands on a portion of Lot 3 of the eastern CSM that's proposed to be put into the C-1 Lowland Resource Conservancy District. Again, that's based on the detailed wetland delineation that was completed. In addition, the specific PUD zoning regulations are being created for the multi-family development.

Developing the apartment sites as a PUD does offer some flexibility with respect to some of the requirements of the Zoning Ordinance provided that there is a defined community benefit. The following modifications from the Zoning Ordinance are being proposed:

- To increase the net density from 9.6 dwelling units per net acre to 10.2 dwelling units per net acre.
- To increase the number of apartment units allowed per building from 24 per building to 49 per building for three of the buildings, and then they will also have eight 10-unit buildings. They will have a mix of efficiencies, of one, two bedroom units. There will be no three bedroom units.
- To increase the building height of the 49 unit apartment building from 35 feet to 40 feet.
- To allow for efficiency units to be reduced from a minimum of 700 square feet to 617 square feet.
- To allow for some setback modifications along the property lines.

In addition, the staff wanted to introduce in consideration of these PUD modifications the following community benefits are being imposed by the developer:

- A minimum one parking space per unit shall be provided in an enclosed garage attached to the building for the condo-style apartment buildings.
- Three bedroom units for all apartment buildings will be prohibited.
- All of the units will be offered at market rate rents.
- Additional secured storage spaces for each unit will be provided both in the underground parking area of the 49-unit buildings as well as some on each of the floors. These are approximately 20 square feet per unit.
- The side yard setback to the west abutting the proposed single family development will be increased from 30 feet to 75 feet minimum abutting the 8-unit buildings and 100 feet minimum abutting the 49-unit buildings
- The exterior building materials and design of the apartment building will be a combination of stone and cement board with a 30 year architectural shingle.
- The site will provide a minimum of 45 percent of open space instead of the required 25 percent that's required.

- All apartment buildings will be fully sprinklered and will comply with the requirements set forth in the Fire & Rescue Department memorandum dated July 21, 2016.
- The landscaping and exterior turf areas will be irrigated.
- The height of the Multifamily Residential Development Signs will be a maximum height of six feet instead of eight feet.
- The developer will install on-site security systems and enter into a DSIS Agreement and provide the Village with the required Access Easement which meets the Security Ordinance requirements. And this is for all the apartments, both the 8-unit as well as the 49-unit buildings.
- The developer will not be permitted any dogs to live in the multi-family apartment development.
- Additional landscaping/berming will be installed pursuant to some additional markups that we have along the bermed areas both along Bain Station Road and County Trunk Highway H.

The attached PUD ordinance and draft copies of the DSIS Agreement and Access Easement have been provided and attached. I'm not going to read through all of those documents for you.

In addition there's a Development Agreement that was prepared by the Village staff. We have actually even this afternoon have started vetting through some of the modifications that do need to be made to it primarily as it results to this updated sequencing and scheduling for construction as well as anticipated occupancy. So I do need to work this into this agreement. Because typically the way the Development Agreement would have been done is that the entire -- all of the public improvements in the Village's public roadway system would need to be completed prior to the issuance of a building permit.

What they're requesting is, for example, that very first 49-unit building closest to Highway H and north of the public road they would like to -- because there's public water in H they would like to get a gravel access road in to start so they can get the footing and foundation in for that building while they're continuing to put in all of the public underground improvements. So they want to get some of these footing and foundation buildings. Again, even though this is a residential development, it really for the State is treated as a commercial property. So it follows more of the commercial standards with respect to following through and getting the State approvals.

So we will craft and make some modifications so that some of these footings and foundations as long as we have adequate access and municipal water so that in the event that there is a situation where we have to get municipal water to these buildings for fire protection that those facilities and infrastructure are readily available. So I need to work through and get some of those details within the development as well.

So with that I'd like to introduce the developer to make a further presentation. But before that time I guess I wanted to do one other thing. And that is to talk about the infrastructure a little bit with respect to this development. Matt Fineour is our Village Engineer, and he can actually make a partial presentation on this or the developer. But whoever wants to make that presentation just to clarify the installation. It's going to be fully serviced by municipal sewer, municipal water, public infrastructure for storm sewer, public curb and gutter. But all those private systems also will be required to service the individual apartment buildings as well.

Matt Fineour:

Matt Fineour, Village Engineer. Water for the development is coming off of both Bain Station Road and Highway H. So the water main is going to go through the public road and kind of cross and connect the two existing water mains, one in Bain Station and, again, the other one in H. And the single family residents will be serviced from a water main that comes off Ashbury Creek from the west and go east to the cul-de-sac areas north and south, and it will be serviced off that way.

Sanitary sewer is all coming from the Ashbury Creek area, and it's going to be extended west through the single family area and into the multifamily area to service all the condominiums there. There is a potential that one building could be served off of Highway H. That's really up to the developer whether the phasing of that works for them or not. Storm water for the site they're having several storm water management ponds on the site that will be taking care of that and kind of discharging in a couple different locations. But one of them is in Ashbury Creek where there's large culverts going underneath the road in the storm water easement in that subdivision. Another area goes to the south to an existing wetland along Bain Station Road. And I think that's about it for infrastructure. If there's any questions I'd be happy to answer them.

Michael Serpe:

Anything else, Jean?

Jean Werbie-Harris:

No, possibly the developer would like to make a further presentation on some of the details and such.

Jeff Marlow:

Jeff Marlow, 1300 North Kimps Court, Green Bay. Jean, you covered a lot of things, but I guess the most important thing that we're really concerned about is being able to get our start. Because you know if it's 80 degrees outside now you think, well, who is really thinking winter? I'm thinking winter already because we're always six months ahead of ourselves. So that's why it's really important for hopefully the opportunity to be able to get in like Jean had mentioned coming off where County Highway H is trying to put the first 49-unit building in the ground and get our foundation in the ground, sort of what we're doing right now on the project right next to where we're located by Cobblestone Creek.

It takes us about five, six weeks to be able to get a foundation in the ground that's there. Once it's there we're able to cap it so we're able to build through the wintertime which really helps us. Because those bigger buildings take 10 months to 11 months to be able to build. There are people waiting that want to live in the community. We have a waiting list on our project already. We already have people that are into the new project and we just got the foundation in the ground. So that's something we want to be able to do. And then to hopefully be able to go on the opposite side of the street. You can take a look at it. We'd like to be able to put four of the eight unit foundations in the ground. Those foundations are very sensitive for wintertime. There's no

basement so they're great on slab. So if we don't get them in now everything happens in the spring and we don't know what that timing is.

So ideally we do know that we'll make sure that when occupancy would actually occur we would have the roadway done and completed that we'd be putting in, the two roads which would take H and also come on Bain Station Road. And that roadway will connect and it will all be completed and done and all set to go before our occupancy would occur at the time.

As far as products and that I think Jean mentioned what we're talking about. It's all cement board that we're dealing with. Stone is going onto the buildings. Really we've worked hard on the architectural look of the building, too, that's going to be there. We also have shake that's going to go on the building. So it's all a hardy board material product completely maintenance free. It's something that should hopefully stand my test of time and pass that as far as for the actual aesthetics of viewing of the building and so forth from there. So we're excited and want to get in and hopefully will be able to get started.

Michael Serpe:

Do we have a problem with the time line on construction here?

Mike Pollocoff:

I don't think we have a problem. It's pretty aggressive. Not pretty aggressive, it's very aggressive.

Michael Serpe:

Anything else Jeff, that you have?

Jeff Marlow:

I'm here to answer any questions.

Michael Serpe:

We have a public hearing so be available. Jean, anything else?

Jean Werbie-Harris:

The staff has a number of comments which have been provided to the developer, but outline comments and things that they need to address with respect to the engineering, some of the things with respect to the building, the clubhouse and so on and so forth similar to what we've had in the past. So we just need to make sure that we vet through and get all those addressed. I think Jeff had mentioned about an hour ago that most of those comments have already been addressed and put into the engineering plan.

Michael Serpe:

We have one item that's a public hearing, but because we've combined all three if anybody wishes to speak or ask questions on any of the items now is your opportunity to talk. Anybody wishing to speak? Anybody wishing to speak? We'll close the public hearing and open it up for comments and questions by the Commission. Brock?

Brock Williamson:

I was given access to the landscape plan prior to the meeting. And the way it looks right now I do have some concerns or maybe recommendations and feedback. It lacks a lot of diversity. And if you look at kind of what's going on in the community right now with the emerald ash borer they have one type of shade tree, and I think there's 63 of them. And if something came to that property it would just run rampant right through it. So there's quite a selection of different things. And I can send it to Jean what I would recommend just, again, in diversity.

The other thing is that they do a shade tree and then they do an evergreen tree and then another shade tree and another evergreen tree. So it's just stacked like soldiers instead of usually you do like a group of three, a group of five or a group of seven because that gives you kind of a bank of a certain color and then the changes through the season and stuff. Just having, like I said, it just doesn't look natural to the eye. And then do you guys know how much top soil you put down when they do the restoration? Like when you guys come out and you excavate and then you do the subgrade, and you come back and in the final phase you put top soil down.

Jeff Marlow:

Six inches.

Brock Williamson:

Okay, that would be it.

Michael Serpe:

Anybody else? A question for you. Just a couple questions. With reference to the water meter you have one meter but you're going to divide the bill up equally to everybody?

Jeff Marlow:

There will be one meter per building.

Michael Serpe:

One meter per building.

Jeff Marlow:

Correct, yes. So the 49-unit building you live in that building and that's going to be split up.

Michael Serpe:

My only question on that, Jeff, is this. If you have somebody that rents an apartment and takes off for two months to Florida that person is still going to be responsible for that water bill?

Jeff Marlow:

That's correct. You go, gee, does it sound fair? And we went round and round about this. And what ends up happening is this. Let's say if I would turn around and I would go put all individual meters, from the municipality's standpoint you might say that's a better deal because there's a monthly fee usually. Every month, every month, every month there's a fee. What ends up happening is due to the fact that we do only have one substantially large meter in the bigger buildings or even in the smaller buildings it's only one meter fee. So when we're said and done our actual cost basis actually is lower. Because we used to do all separate meters all the time. By the time people get their bills and see what they are compared to now truthfully that's -- once in a while we'll get a call. But very seldom because the cost is extremely relatively low because you're not have to pay for -- there's usually this fire safety. Let's face it, there's a lot of things that go onto a water bill today when you look at your bill.

Michael Serpe:

One other question for you. The units with the garage underneath the living quarters, is the garage itself a part of the people that rent above that garage unit? Or is it kind of staggered?

Jeff Marlow:

Slightly staggered but not much. Because usually what will end up happening is, let's say for instance, with the picture that's pulled up is that the units on the end are actually town homes. So you own lower and you own above you, and then your garage would be there, too, it's in front of you. The next unit over would be a two stall unit. That's going to be able to pull itself, or part of it partially so the front it's maybe a little section but not much. Virtually every unit, yes.

Michael Serpe:

And the reason I ask that is what type of barrier is there from the roof to the living quarters, what is that composition?

Jeff Marlow:

What you would actually have -- so let's say you're talking about for your flooring and then going down between from the bottom of the garage to where the top of the floor is or that second floor.

Michael Serpe:

I'm talking from the living quarters to the top of the garage, what is that a cement floor?

Jeff Marlow:

What would actually happen, okay, so let's say in the front section where the garages are, and let's take a look, there's a front happen. What will happen you're going to walk up the staircase. So I'm looking at the unit here going from my left to the right and you'll see an entrance door. That entrance door will take you upstairs. Once you get upstairs on top of the floor truss is going to be three quarter inch OSB flooring that will be there. Then on top of that is going to be three quarter inch gypcrete that will be there that will be poured on top of that. But in the actual unit itself it's over the garage so any noise that's there you're not going to hear anything because there's no one that's down below you. The two end units that are there there's only with this configuration because on the end units being town homes you only have the back side. One person has someone that's above them.

Michael Serpe:

And you have units like this in operation?

Jeff Marlow:

Oh, yeah.

Michael Serpe:

Any complaints on noise when the garage door opens?

Jeff Marlow:

No, no, no.

Michael Serpe:

None?

Jeff Marlow:

No, very, very minimal. Plus what will also happen on the bottom side of it we'll actually have [inaudible] channel where the OSB where the garage is so that's a deflection, too. This product is a hybrid of 15 years of different variations. But with bringing in the fact of the town home design this has been new that we've done, but we have three locations like this, and people really like it because it gives them their own living within their own space. And when you look at it, though, it looks like actually separate units, too, which is really nice.

Michael Serpe:

Anybody else? Jean?



Jean Werbie-Harris:

I have a couple of other questions. So just going back to the water meter for a second. So an efficiency owner would pay the same amount that someone who has two bedroom, two and a half bath?

Jeff Marlow:

Yeah, that's correct.

Jean Werbie-Harris:

I just wanted to confirm that. And then a couple other things when I read it, the detail of the lighting in the parking lot I'd like it to be as decorative as it is in the other parking lots.

Jeff Marlow:

We'll match Cobblestone. That's what we like to put in.

Jean Werbie-Harris:

All right, then my staff comment where I say the shoebox we'll just have you match Cobblestone. Okay, I said shoebox but that was not correct.

Jeff Marlow:

I knew you didn't mean that. I was planning on putting in the decorative.

Jean Werbie-Harris:

And then the clubhouse, again, matched the exterior as Cobblestone as well?

Jeff Marlow:

The exterior facade, correct.

Jean Werbie-Harris:

And what I'd like to do is to sit down with you and then do a little upgrade on the landscaping plan based on --

Jeff Marlow:

Absolutely. We'd be more than happy to take those recommendations.

Jean Werbie-Harris:

-- the Commissioner's comments. In fact, we'll wait for him to send some of those. But I know exactly --

Jeff Marlow:

Yeah, the sooner you can send it to us we'll get on it right away and turn it back around. We appreciate the input on it.

Brock Williamson:

Sure, thank you.

Michael Serpe:

Anyone else have any questions? We'll take Item A, what's your pleasure?

Judy Juliana:

Move to approve.

John Skalbeck:

Second.

Michael Serpe:

**MOTION MADE BY JUDY JULIANA AND SECONDED BY JOHN SKALBECK TO APPROVE THE TWO CERTIFIED SURVEY MAPS AND DEVELOPMENT AGREEMENT. ALL THOSE IN FAVOR SAY AYE.**

Voices:

Aye.

Michael Serpe:

Opposed? The ayes have it. Item B, public hearing and consideration of a Zoning Text Amendment.

Wayne Koessl:

Mr. Chairman, I'd approve the Zoning Map and Text Amendments subject to the comments and conditions [inaudible].

Michael Serpe:

Is there a second?

Judy Juliana:

Second.

Michael Serpe:

**MOTION MADE BY WAYNE KOESSL AND SECOND BY JUDY JULIANA FOR APPROVAL OF THE PUBLIC HEARING AND CONSIDERATION OF THE ZONING TEXT AND ZONING MAP AMENDMENTS. ALL THOSE IN FAVOR SAY AYE.**

Voices:

Aye.

Michael Serpe:

Opposed? The ayes have it. And Item C, Digital Security Imaging System.

Judy Juliana:

Move to approve the DSIS Agreement and Access Easement subject to the comments.

Bill Stoebig:

Second.

Michael Serpe:

**MOTION MADE BY JUDY JULIANA AND SECOND BY BILL STOEBIG FOR APPROVAL OF THE DSIS. ALL IN FAVOR SAY AYE.**

Voices:

Aye.

Michael Serpe:

Opposed? The ayes have it. Thank you. Beat the winter.

**D. Consider Plan Commission Resolution #16-10 to initiate a Zoning Text Amendment related to amend Section 420-49 related to parking requirements.**

Jean Werbie-Harris:

Trustee Serpe and members of the Plan Commission, Resolution 16-10 is a Plan Commission Resolution to initiate a petition for amendments to the Zoning Ordinance. These amendments could include rezoning of property, change in zoning district boundaries or changes in the text of the ordinance. The Village staff is proposing to amend Section 420-49 of the Village Zoning Ordinance as it relates to parking requirements.

Currently the ordinance regulates the parking of semi trucks, semi trailers, cabs, delivery vans and specialized construction equipment and vehicles. However, the ordinance really does need to be clarified and re-evaluated as it pertains to the inclusion of other larger vehicles especially in a residential district. So we're requesting approval of this resolution by the Plan Commission.

Please note that the Plan Commission hereby by this resolution would initiate and petition to re-evaluate the specialized vehicle parking requirements. The proposed changes in the text of the zoning ordinance are hereby being referred to the staff for further study and recommendation. The Plan Commission is not by this resolution making any determination regarding the merits of the proposed changes in the text but is initiative the process by which the proposed changes in the zoning ordinance text can be promptly evaluated, written and then brought back to the Plan Commission for a public hearing.

Wayne Koessler:

So moved, Mr. Chairman.

Judy Juliana:

Second.

Michael Serpe:

**MOTION MADE BY WAYNE KOESSL AND SECOND BY JUDY JULIANA FOR APPROVAL OF RESOLUTION 16-10. ALL THOSE IN FAVOR SAY AYE.**

Voices:

Aye.

Michael Serpe:

Opposed? The ayes have it.

**7. ADJOURN.**

Judy Juliana:

Move to adjourn.

Wayne Koessl:

Second.

Michael Serpe:

Motion made and second to adjourn. All in favor say aye.

Voices:

Aye.

Michael Serpe:

Opposed? The ayes have it. Thank you.

**Meeting Adjourned: 6:46 p.m.**

**THESE ITEMS ARE RELATED AND WILL BE DISCUSSED AT THE SAME TIME  
HOWEVER SEPARATE ACTION IS REQUIRED.**

- A. Consider the request of John Doheny, agent for approval of **Preliminary Site and Operational Plans** for the mass grading, installation of underground utilities and footings and foundations for the construction of a 175,000 square foot industrial building on the vacant land located on the southeast corner of STH 165 (104<sup>th</sup> Street) and 80<sup>th</sup> Avenue in LakeView Corporate Park.

**Recommendation:** Village staff recommends that the Plan Commission approve the Site and Operational Plans subject to the comments and conditions of the Village Staff Report of August 22, 2016.

- B. Consider the request of Matt Carey, PE, agent on for approval of a **Certified Survey Map** for the property located at the southwest corner of STH 165 (104<sup>th</sup> Street and 80<sup>th</sup> Avenue) in LakeView Corporate Park.

**Recommendation:** Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to approve the Certified Survey Map subject to the comments and conditions of the Village Staff Report of August 22, 2016.

## VILLAGE STAFF REPORT OF AUGUST 22, 2016

Consider the request of John Doheny, agent for approval of **Preliminary Site and Operational Plans** for the mass grading, installation of underground utilities and footings and foundations for the construction of a 175,000 square foot industrial building on the vacant land located on the southeast corner of STH 165 (104<sup>th</sup> Street) and 80<sup>th</sup> Avenue in LakeView Corporate Park.

Consider the request of Matt Carey, PE, agent on for approval of a **Certified Survey Map** for the property located at the southwest corner of STH 165 (104<sup>th</sup> Street and 80<sup>th</sup> Avenue) in LakeView Corporate Park.

### **THESE ITEMS ARE RELATED AND WILL BE DISCUSSED AT THE SAME TIME HOWEVER SEPARATE ACTION IS REQUIRED.**

*The petitioner, Doheny Enterprises, Inc. is requesting to obtain **Preliminary Site and Operational Plans** approval to begin the development of the southeast corner of STH 165 (104<sup>th</sup> Street) and 80<sup>th</sup> Avenue for the construction of a 175,000 square foot building and associated on-site improvements. [Note: Final Site and Operational Plans pursuant to the requirements of the Village Zoning Ordinance shall be submitted for review and approval by the Plan Commission prior to issuance of the full building permit.] In addition, the petitioner is requesting approval of a **Certified Survey Map** for the development property.*

Doheny's is a leader in the swimming pool supply industry with 10 distribution centers nationwide. Doheny's has been in the City of Kenosha for 20 years and currently occupies 3 warehouses there with plans to consolidate those locations into a single distribution center in Pleasant Prairie. Doheny's sells swimming pool supplies to the consumer and commercial markets via catalogs, websites, outbound telemarketing and a local retail pool store. The primary function of the proposed distribution center is to house the contact center and for warehousing functions of pick, pack and shipping via FedEx, UPS, and common carrier. The company will not manufacture or assemble any items at this facility and it will act solely as storage of dry finished goods. The company is seasonal with peak employment and inbound outbound shipping traffic during the warmer months of the year.

The proposed project is to construct a new 175,000 distribution building on the vacant lot to be located at the southeast corner of 80<sup>th</sup> Avenue and STH 165. Construction will start in the fall of 2016 with a completion in 2017.

The anticipated hours of operation are from 8:00am-5:00pm and 6:00am-10:00pm during peak season. The contact center will run Monday through Friday from 8:00am-6pm for non-seasonal months (October-February) and Monday-Friday from 6:00am-10:00pm and Saturday and Sunday 8:00am-5:00pm for its peak season (March-September).

The warehouse will operate Monday through Friday from 8:00am-6:00pm for non-seasonal months (October-February) and Monday-Friday 6:00am-8:00pm and Saturday and Sunday 8:00am-1:00pm for its peak season (March-September). The products stored at this facility will be swimming pool supplies that include swimming pool chemicals, pool equipment, and accessories.

**Preliminary Site and Operational Plans:** Approval of the Preliminary Site and Operational Plans will allow the petitioner to begin mass grading, to install underground utilities and to construct footings and foundations for the construction of 175,000 square foot industrial building.

**Building Setbacks:** The M-2, General Manufacturing District requires that the building meet the following minimum setback requirements:

- Street setback: minimum of 65 feet from STH 165 (104<sup>th</sup> Street).
- Side and rear setback: 45 feet minimum.
- Wetland setback: 25 feet from any wetlands on the property.

**Setback for parking areas** (which includes parking spaces, maneuvering lanes and fire lanes) as measured from the back of curb shall meet the following minimum requirements:

- A minimum of 20 feet setback from the front STH 165 and 80<sup>th</sup> Avenue rights-of-way.
- A minimum of 20 feet setback from other private roadways and drives to the side and rear lot lines.
- In addition, parking areas shall not be located within any easements unless express written approval is allowed by the easement holder.

**Site Access and Parking:** Employee, client, visitor vehicular and truck access to the site will be a northern driveway on 80<sup>th</sup> Avenue for passenger vehicles and a shared drive with Pfizer to the south on 80<sup>th</sup> Avenue for truck traffic.

Pursuant to the Village Zoning Ordinance the minimum on-site parking spaces for a warehouse/distribution center is based on one (1) space for every two (2) employees during any 12-hour period and the required number of handicapped accessible parking spaces pursuant to the State Code.

Doheny employs 55 fulltime employees and 140 seasonal employees on its peak day. Pursuant to the Village Zoning Ordinance, the minimum number of parking spaces would be 70, not including handicapped accessible spaces. The plan includes 208 automobile parking spaces (1 per 1,000 square foot of space), exceeding Village requirements.

**Public Sewer and Water:** The development shall be served by public sanitary sewer and water. Municipal water and public sanitary sewer is located on 80<sup>th</sup> Avenue.

**Open Space, Storm Water Retention and Landscaping:** The M-2 District requires that at a minimum, 25% of the site must be open space. Verification of the amount (area and percentage) of open space on the site shall be provided on the preliminary plans.

The site is mostly vacant, with two existing retention ponds located on the west side of the site near 80<sup>th</sup> Avenue. Due to a highpoint along the center of the site, stormwater in the northern half of the site is conveyed to the northwest pond and stormwater in the southern half is conveyed to the southwest pond. The 1995 report by the consulting firm HNTB confirms that the roof drainage from the building to the south drains south to a separate stormwater pond, not to the two (2) ponds on this site.

It was discovered that the size, and therefore storage volume, of the two (2) ponds on site are smaller than what was proposed in the plans. Pinnacle Engineering Group (PEG) determined that modifications to each pond are necessary to keep the same pond configuration and storage volume. Upon preliminary approval of the Civil Plans, PEG will finalized the full Stormwater Management Plan for the Villages review and approval.

**Certified Survey Map:** The Village staff recommends that the CSM be revised to create an outlot surrounding the existing retention basin shown on Lot 1 since this basin serves several surrounding properties and the maintenance and associated costs are likely a shared expense. In addition, the petitioners shall request a Zoning Map Amendment to rezone the



outlot into the PR-1 Park and Recreational District (all ponds on separate outlots shall be located within the PR-1 District) and to amend the Village Comprehensive Plan to place the outlot within the open space land use designation.

The CSM indicates that there are wetlands on the property. The petitioner is seeking an artificial wetland exemption from the Wisconsin Department of Natural Resources (DNR) to allow the wetlands to be filled. If this approval is obtained from the DNR, a copy of that approval shall be provided to the Village and the wetlands as shown on the CSM shall be removed.

**Recommendations:**

**Item A: Village staff recommends conditional approval of the Preliminary Site and Operational Plans subject to compliance with the above comments and modifying the plans to address the following conditions:**

1. The Preliminary Site and Operational Plans have been reviewed for conformance with generally accepted engineering practices and Village policies. Although the data has been reviewed, the design engineer is responsible for the thoroughness and accuracy of plans and supplemental data and for their compliance with all State and local codes, ordinances, and procedures. Modifications to the plans, etc. may be required should errors or changed conditions be found at a future date and detailed engineering plans are prepared and reviewed. **The following changes shall be made to the plans and three (3) revised paper copies and one electronic copy of the Preliminary Site and Operational Plans with a written description of how each of the comments below have been addressed shall be submitted for final staff review:**
  - a. See **attached** comments dated July 26, 2016 from the Village Engineering Department.
  - b. See **attached** comments dated August 1, 2016 from the Village Department of Public Works Department.
  - c. See **attached** comments dated August 5, 2016 from the Village Building Inspection Department.
  - d. See **attached** comments dated August 15, 2016 from the Village Community Development Department.
  - e. See **attached** comments dated August 17, 2016 from the Village Fire and Rescue Department.
  - f. The north and west building elevations shall extend the architectural features higher than the remainder of the building. Also on the north elevation there appears to be a dock door near the west end of the building. Is this shown correctly or should this be a man door.
  - g. Verification that the development lot, after the outlot is created meets the minimum open space requirements of 25%.
2. **Upon approval of the revised Preliminary Site and Operational Plans, and prior to the issuance of the required erosion control permits, underground plumbing permits and the footing and foundation permits the following shall be submitted (paper copies and pdf copies):**
  - a. Written approval shall be provided from the easement holder(s) for proposed grading, utility, and/or other work within easement limits.

- b. A Fire Compliance letter shall be prepared by the owner and submitted to the Fire & Rescue Department. This letter, on developer's letterhead, shall state that the Doheny project will comply with all requirements addressed within the Fire & Rescue Department's Memorandum dated August 17, 2016. A copy of this letter shall also be provided to the Community Development Department.
  - c. An Erosion Control Permit Application and revised and Village approved Preliminary Site and Operational Plans, along with a copy of the Wisconsin Department of Natural Resources N.O.I. Permit. [Note: The required \$2,000 street sweeping cash deposit shall be deposited with the Village at the time of obtaining the Erosion Control. The street sweeping cash deposit is refundable, less 6% for administrative processing upon issuance of a Certificate of Compliance for the entire project if the amount is not drawn upon by the Village in maintaining the adjacent roadways free from dirt, mud clumps and mud tracking during the construction process. Silt fence shall be installed and inspected prior to any work starting.]
  - d. Verification that the wetlands are exempt and can be filled for the WI DNR.
  - e. The Commercial Underground Plumbing and Footing and Foundation State approved plans and approval letters.
  - f. A copy of the Village right-of-way permits for access, within 80<sup>th</sup> Avenue.
  - g. Prior to work commencing on the site a preconstruction meeting shall be scheduled (coordinate date and time with Jean Werbie-Harris when the permit applications are submitted). **The pre-construction agenda, listing of emergency contacts, and construction schedule shall be handed out by the Design Engineer of Record to all attendees (owners, engineer, contractors, utilities, and Village staff) at the meeting. The pre-construction meeting shall be held at the Village Hall. The meeting shall be moderated and minutes shall be taken by the Design Engineer of Record and the minutes emailed and distributed within 7 days to all attendees. (A sample agenda, if needed, will be provided by the Village to Design Engineer to modify for the meeting).**
  - h. **Following the pre-construction meeting all necessary permits shall be paid for and permits obtained from Village Building Inspection Department.**
3. Other Comments:
- a. Municipal connection fees shall be paid prior to the connections to the sanitary sewer system.
  - b. Impact fees shall be paid prior to issuance of the building permit pursuant to Chapter 181 of the Village Code (Based upon \$1.94 per \$1,000 of valuation as determined by the Village Assessing Department).
  - c. Prior to work commencing on the site, all required permits shall be issued by the Village and County, all required erosion control measures shall be in place and inspected and maintained.
  - d. **After the installation of the footings and foundations and prior to the setting of the walls, an as-built survey as stamped by a Wisconsin Registered Land Surveyor shall be submitted to the Village to verify**

**that the building meets all of the required setbacks.**

- e. **A record drawing of the utility plans will be required to reflect actual construction records and utility alignments. Record drawing(s) of all the water main and storm sewers shall be prepared by the Engineer of Record for the project. (Required prior to occupancy).**
- f. The hours of construction activity, operating heavy machinery or equipment associated with the grading, erosion control device installation, and overall site development shall be limited to Monday through Friday from 6:00 a.m. to 10:00 p.m. and Saturday and Sunday from 7:00 a.m. to 6:00 p.m.
- g. There shall be no construction vehicle parking or equipment storage permitted on 80<sup>th</sup> Avenue or STH 165. On-site (off-street) gravel parking areas shall be designed to accommodate all construction related workers and site visitors.
- h. The Village shall approve of the location of all construction trailers parked on the site during construction activities. No construction trailers shall be parked in WI DOT or Village rights-of-way. All construction related signage shall be approved and permitted by the Village.
- i. No use shall be conducted in such a way as to constitute a public or private nuisance or to violate any of the performance standards set out in Section 420-38 of the Village Zoning Ordinance.
- j. This development shall be in compliance with the Village Land Division and Development Control Ordinance, Village Municipal and Zoning Codes, Village Construction Site Maintenance and Erosion Control Ordinance, Kenosha County Ordinances and the State of Wisconsin Statutes.
- k. All Village fees incurred by the Community Development Department, Village Engineer or expert Assistants required by the Village throughout the development process will be billed directly to the Developer. Such fees shall be paid in a timely manner.

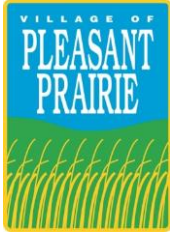
**Item B Recommendation: Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to approve the Certified Survey Map subject to above comments and the following conditions:**

- 1. The changes as shown on the **attached** CSM shall be made and the CSM shall be resubmitted to the Village Staff for final review prior to executing and recording at the Kenosha County Register of Deeds Office.
- 2. The Village staff recommends that the CSM be revised to create an outlot surrounding the existing retention basin shown on Lot 1 since this basin serves several surrounding properties and the maintenance and associated costs are likely a shared expense. In addition, the petitioners shall request a Zoning Map Amendment to rezone the outlot into the PR-1 Park and Recreational District (all ponds on separate outlots shall be located within the PR-1 District) and to amend the Village Comprehensive Plan to place the outlot within the open space land use designation. These applications shall be submitted and will be considered at the same time that the Final Site and Operational Plans are considered.
- 3. The CSM indicates that there are wetlands on the property. The petitioner is seeking an artificial wetland exemption from the Wisconsin Department of Natural Resources (DNR) to allow the wetlands to be filled. If this approval is obtained from the DNR,

DEV1607-002  
CODE1608-002

a copy of that approval shall be provided to the Village and the wetlands as shown on the CSM shall be removed.

4. Any outstanding taxes or special assessments shall be paid prior to recording the CSM.
5. The CSM shall be finalized, executed and recorded at the Kenosha County Register of Deeds Office and a recorded copy of the CSM shall be provided to the Village within 30 days of Village Board's approval and prior to issuance of building permit.
6. The CSM shall be recorded prior to issuance of the required building permit.



Office of the Director of Public Works  
**John Steinbrink Jr., P.E.**

TO: Peggy Herrick, Assistant Planner / Assistant Zoning Administrator  
FROM: John Steinbrink, Jr., P.E., Director of Public Works  
CC: Matthew Fineour, P.E., Village Engineer  
Jean Werbie-Harris, Community Development Director  
SUBJ: **DEV1607-002 DOHENY PRE SITE AND OP**  
DATE: August 1, 2016

The Department of Public Works has reviewed the submitted information for the above referenced project. Based on our review, we have the following comments listed below:

PAGE#	COMMENT
Cover	Add VOPP Utilities to “Public Utilities” and general PW number for contact info.
General	Can we find out what pool chemicals will be stored there and what type of spill containment they will be using to ensure none of it goes into the sanitary sewer??
Grading Plan- Sht C-4	Change Note: <i>16. Contractor shall comply with all Town of Somers construction standards/ordinances.</i>  <b>We are not in the Town of Somers.</b>
Utility Plan – Sht C-5	Change note: <i>3. Utility construction and specifications shall comply with the Town of Somers special provisions and Wisconsin Department of Safety and Professional Services Comm 82.</i>  <b>We are not in the Town of Somers</b> <ul style="list-style-type: none"><li>• All excavations in ROW for utilities to be backfilled with slurry (not gravel as noted)</li><li>• Watermain shown running N-S is a 6” DI (assuming utilized as hydrant lead for hydrant #46.0. Is this lead necessary? Recommend PVC C-900 in lieu of DI.</li></ul>

General	Documents need to show John Steinbrink Jr. with P.E. added to name and the correct title as Director of Public Works.
General	The existing outfalls and associated pipes in the ponds need to be located, inspected and any deficiencies repaired.
General	The existing pond needs the sediment measured and dredged if the current pond condition does not meet design conditions.



## Village Staff Memorandum

To: Jean Werbie-Harris, Community Development Director  
From: Sandro Perez, Building Inspection Superintendent  
Subject: Doheny  
Date: August 5, 2016

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1. Building Inspection Department information:  
Hours: Mon-Fri, 8am-5pm.  
Phone# 262-694-9304  
Email: [buildinginspection@plprairiewi.com](mailto:buildinginspection@plprairiewi.com)
2. Permit applications can be found online at [pleasantprairieonline.com](http://pleasantprairieonline.com)
3. Inspections are performed Mon- Fri 9am-4pm except electrical inspections; those are only Tue & Thu mornings. 48hr notice is required to schedule an inspection. Please note you must call and speak with a Building Inspection Department representative a voicemail or email will not constitute an inspection please plan accordingly. Final occupancy inspections require coordination with multiple departments and staff members there for a minimum of 72 hour notice is required. Any re-inspection fees due must be paid prior to scheduling a re-inspection.
4. All contractors requiring permits shall not commence work until permit issuance.
5. We inspect to the 2009 IBC, IEBC, IMC, IECC, IFGC, 2003 ANSI A117.1, 2011 NEC and WI. Plumbing code SPS 381-386.
6. Please submit all applicable plans to the state for review, Building Inspection Department will not issue permits until we receive the applicable state approval letter. All state approved drawing must be available at job site for inspector review during inspections.
7. Please submit emergency egress path / lighting plan and energy compliance worksheets form SBD 10512 to Building Inspection Department prior to issuance of building permit.
8. Fire alarm systems require two permits from both the Fire Department and Building Inspection Department.
9. Any building fire protection loop and combination water main will require approval by the Fire Department prior to issuance of exterior plumbing permit.
10. Fire alarm systems and fire protection loops will require inspections by both the Fire Department and Building Inspection Department.

11. VOPP recommends all exterior lot and building lighting to be LED and Dark Sky compliant with a color temperature between 5000-6000K.
12. Any tradesmen requiring state license will be “carded” on the jobsite for compliance.
13. All equipment must be “LISTED” by a nationally recognized testing laboratory.
14. Documentation must be provided for available fault current at equipment, to verify short circuit current rating compliance per 2011 NEC 110.10
15. All equipment, materials, etc. must be rated for the environment in which they will be used.
16. All required DNR and FEMA permits must be approved, in addition plans must be state approved, prior to issuance of any VOPP building permits.
17. Provide sufficient handicap accessible parking spaces per current addition of the ANSI A117.1 standard.





Office of the  
Chief of Fire & Rescue  
**Doug McElmury**

## VILLAGE STAFF MEMORANDUM

TO: Jean Werbie-Harris, Community Development Director

FROM: Doug McElmury, Chief Fire & Rescue

CC: Craig Roepke, Deputy Chief Fire & Rescue  
Lt. Thomas Clark, Fire & Rescue Department  
Peggy Herrick, Assistant Planner, Community Development

SUBJECT: Fire Department review of the preliminary Site and Operational Plans for the proposed building on Lot 40 in Lakeview Corporate Park

DATE: August 17, 2016

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These are initial comments for the Preliminary Site and Operational Plans received for the proposed 178,273 sq ft building to be located at Lot 40 in the Lakeview Corporate Park in Pleasant Prairie.

The Fire and Rescue Department will be responsible for providing fire prevention inspections of this facility, twice annually. Based on the limited information and conceptual plans dated July 18, 2016 | Project # 535.09.034 submitted, the Fire & Rescue Department have the following comments regarding the site:

- A. As additional detail is developed as to fire protection and detection, those items will be reviewed as needed.
- B. Review Appendix A for specific drawings for items such as Hydrant, FDC, Strobe light, and Knox Box specifications.
- C. Please review the numbered comments below. Based on the plans received, one or more of the comments below may not be applicable for this review phase.

**Distribution of Comments:** the person who obtains the building permit to all contractors and subcontractors affected by this document shall distribute copies of these comments. This document outlines critical times and deadlines. All recipients of this document must become familiar with the contents.

**IT IS CRITICAL THAT ALL CONTRACTORS SPECIFICALLY FIRE SPRINKLER & ALARM DESIGNERS AND INSTALLERS RECEIVE AND UNDERSTAND THE CONTENT OF THIS DOCUMENT.**

**Compliance:** A letter shall be submitted to the Fire & Rescue Department prior to receiving a building permit, stating that the project will comply with all requirements addressed within this document.

**Conflicts:** In the event a conflict in code(s) is identified, or a conflict with the insurance carrier criteria occurs, the more stringent shall apply. In the event this conflicts with any codes adopted by the State of Wisconsin, the owner must petition the State directly for a variance. The Owner must demonstrate that they will provide materials or design equivalent to the code or that they will exceed the code when petitioning the State of Wisconsin and/or the Village of Pleasant Prairie where applicable.

**Fire Safety System Plans:** such as fire sprinkler and fire alarm plans, will need to be submitted to the State of Wisconsin Department of Safety and Professional Services and also to this fire department for review. No installation of any fire protection system is allowed until a satisfactory review is obtained from both departments.

**FIRE ALARM AND SPRINKLER PLANS ARE A SEPARATE SUBMITTAL TO THE FIRE DEPARTMENT.  
DUE TO CONSTRUCTION AND TIME CONSTRAINTS FIRE PROTECTION SUBMITTALS MAY AND ARE TYPICALLY  
BROKEN INTO AN UNDERGROUND SUBMITTAL AND AN ABOVE GROUND SUBMITTAL.**

**INFORMATION REGARDING PLAN SUBMITTAL CAN BE FOUND AT**

<http://www.pleasantprairieonline.com/services/fireandrescue/ForContractors.asp>

**Pre-Construction Meeting:** A pre-construction meeting shall take place with the general contractor, the fire protection contractor, the Fire and Rescue Department and any other sub-contractor prior to the installation of any underground fire protection. The purpose of this meeting is to assure that the requirements of the State of Wisconsin that only a Wisconsin licensed sprinkler fitter shall perform the installation of all devices, etc. All parties will be asked to initial this document and or permit. Any violation of the installing requirements will be reported in writing to the State of Wisconsin Department of Safety and Professional Services.

1. **Site Access:** Access shall be provided around the perimeter of the site for all Fire Department apparatus, and must comply with the State of Wisconsin and the International Building Code, 2009 edition. A minimum wall-to-wall turning radius of 45'-0" shall be allowed for apparatus movement.
  - a. All entrances from public streets, as well as road and driveways around the proposed building must be a minimum of 30 feet wide. All roadways and fire lanes must be unobstructed and not used any part as a parking area for automobiles or trucks/trailers.
  - b. All exterior exit pathways as well as access to the Fire Pump room shall have a hard surface, leading to a hard surface. This includes all exit doors from the facility.
  - c. An exterior personnel door shall be located in close proximity to each fire sprinkler riser.
  - d. There shall be Knox padlocks or Knox key switches on all gates on site. The Fire & Rescue Department will review the proper placement and operation of the Knox system locks.
2. **Required Licenses:** A Wisconsin licensed fire protection contractor and Wisconsin licensed sprinkler fitters must install underground fire mains and aboveground fire protection. Periodic inspections of the job site will be made by fire inspectors to assure compliance.
3. **Insurance Carrier:** The Owner of this project shall submit to the insurance carrier for review the plans for both underground water distribution and fire protection prior to construction. The Fire & Rescue Department shall receive a copy of the comments when plans are submitted for review.
4. **Review and Comments:** At such time more information is provided for this project, the Fire Department will review and comment on the following areas outlined below.
  - A. Site and Operational Permits
    1. Site accessibility (Plans provided do not specific clearances or distances)
    2. Fire Pump Location
    3. Pumper Pad
    4. Fire hydrant spacing
  - B. Conditional Use and Operational
    1. Standpipe outlet locations
    2. Fire alarm pull stations
    3. Emergency and Exit Lighting
    4. Fire extinguishers
5. **Plan Review, Permits and Fees:** The plans for the fire protection underground, aboveground and fire alarm system shall be submitted for review a minimum of four (4) weeks before installation is scheduled to begin. The Village will use an independent fire safety consultant for review of all fire protection plans submitted. A satisfactory review must be completed before any permits will be issued and before construction can begin.
6. **Permit fees:** must be paid at time of submission for review. Work cannot begin until all permits have been issued. A typical review turnaround is four weeks

The following fees and permits are generated directly from the Fire & Rescue Department.

- a. Bulk water Usage

- b. Fire Protection Plans for Underground and Aboveground
- c. Fire Alarm System Plans
- d. Kitchen Hood Systems Plans

*NOTE: Permits are required from the Fire & Rescue Department for the installation of water main in addition to any permits required by other Village of Pleasant Prairie Departments.*

7. **Occupancy:** All fire and life safety requirements must be in place prior to any building being occupied.
8. **Hazardous Occupancies:** Should there be identified hazard occupancies with this project, the Fire & Rescue Department will need more than the typical four week time period to review potential Hazardous Occupancies. The owner must contact the Fire & Rescue Department as soon as possible to begin the review process.
9. **Exterior Doors:** All outside doors must have access to the interior. Such as a lock and handle provided at each door.
10. **AED:** Because of the overall building size and occupancy type, the owner shall install one or more public access Automatic External Defibrillator (AED) onsite for employee and public use in the event of a sudden cardiac arrest. The Fire and Rescue Department can provide the training necessary to perform CPR and to operate the AED. The placement of the AED(s) should be discussed with the Fire Department prior to installation.
11. **Storage:** Maximum height, width and aisle ways and egress pathways must be maintained and will be enforced. The same concerns apply to the storage of quantities of combustibles (plastics and cardboard) and other storage of flammable liquids or chemicals must also be properly identified, placarded and stored.
12. **Elevators:** must comply with Village of Pleasant Prairie Ordinance 180-20, including acceptable minimum size and emergency notification.
13. **Severe Weather Shelter:** The architect shall identify the area within the building that can be used as a “severe weather shelter” or “safe haven” during severe weather such as a tornado. That area will be identified with signage.
14. **On Premise Secure Key System:** Knox Company Rapid Entry System, “Knox Boxes” shall be provided for the building.. The Knox Boxes shall be Model 4400. Two sets of all keys (Master, fire alarm pull station, annunciator, elevator, etc.) shall be placed within the box, as well as a copy of the pre-fire plan.
15. **Fire Extinguishers:** Shall meet NFPA 10 (Portable Fire Extinguishers) for the specific use of the building and be in sufficient number. Final approval, of fire extinguisher locations and quantity, will not be given until occupancy is taken, to see how a tenant furnishes the space. The company providing the fire extinguishers shall submit a letter to the Fire and Rescue Department stating the locations and size of the extinguishers are in compliance with NFPA 10.
16. **Emergency and Exit Lighting:** Exit and Emergency Lighting shall be provided and shall have battery backup. Combination units are acceptable and recommended. An Emergency Generator eliminates the need for battery backup. Exit and Emergency Lighting shall not be placed on electrical circuits that cannot be disturbed or interrupted, this is for test purposes. These circuits shall be clearly labeled.
17. **Sprinkler System:** The building is equipped with an “automatic fire sprinkler system”. The systems shall be designed and constructed to the current printed edition of NFPA 13, Automatic Fire Sprinklers and the Village of Pleasant Prairie Ordinance 180-16, Automatic Fire Sprinklers. Confirm NFPA edition with the Fire Department prior to system design. Plans have been submitted and reviewed but require modification due to a pending variance request.
18. **The following information must be submitted with the sprinkler plans for review:**
  - Building height:
  - Number of stories/floors:
  - Mezzanines:
  - Elevators:
  - Hazard class:
  - Commodity Class:
  - Exterior storage:
  - Fire protection:

19. **Fire Hydrants:** There are approved underground fire protection plans on file with the Fire & Rescue Department. The fire hydrants shall meet the Village of Pleasant Prairie hydrant specification including the 5" storz connection. Fire hydrants shall be spaced no more than 350 feet apart around the perimeter of the building, per Village Ordinance 180-16. As many hydrants as possible shall be supplied directly by municipal water. The distance from the finished grade line to the lowest discharge shall be no less than 18 inches and no more than 23 inches. The Fire Department connections shall be located, and of sufficient height where typical snow fall or snow removal operations will not obstruct access. *(Refer to Appendix A for hydrant detail)*
20. **Fire Hydrant Acceptance:** This project will include the installation of water mains for domestic and fire protection use. Prior to the fire sprinkler system connection to any new water mains (including water mains, fire hydrants, laterals leading to the building and risers) must be hydrostatically tested flushed according to National Fire Protection Association (NFPA–National Fire Code) Standard 24 and witnessed by the Fire Chief and or the Chief's representative, the installing contractor and the fire sprinkler contractor at a minimum.
21. **Fire hydrant / water main flushing:** can be disruptive to the job site and requires significant coordination of all sub-contractors by the General Contractor. Nonetheless flushing is an essential part of assuring public safety. The General Contractor is highly encouraged to coordinate the flushing of all new water mains, fire hydrants, laterals leading to the building and risers with both the sub-contractors responsible, the Village of Pleasant Prairie Engineering Department, Fire & Rescue Department and the Water Utility Department, prior to seeking a 'clean water sample' on this site.
22. **Pumper Pad:** There shall be dedicated space for a fire engine to have unobstructed access to the Pumper Pad. Both the Fire Department Sprinkler connection and the fire hydrant shall be installed remote from the building and located a minimum distance from the building equal to the highest wall. The fire hydrant shall be located no more than five (5) feet from the roadway and the Fire Department sprinkler connection shall be placed no more than five (5) feet from the fire hydrant. The Fire Department connection shall be constructed along with an underground drain with access for inspection. Both the fire department sprinkler connection and the fire hydrant, (pumper pad), shall be installed remote from the building(s) and located a minimum distance from the building equal to the highest wall. *(Refer to Appendix A for FDC detail)*

**NOTE:** *The Fire Department Connection (FDC) riser shall include a single five (5) inch Storz fitting.*
23. **Bollards:** Shall be placed near fire hydrants, remote post indicator valves (PIV) and Fire Department connection(s) that are subject to damage. Bollards shall be 6 inches in diameter. Bollards shall not obstruct charged fire hoses. It is recommended that the Fire Department approve the location of the bollard(s) before final placement is made.
24. **Standpipes:** In lieu of 1.5 inch hose stations, the building shall be equipped with standpipes that shall consist of 2-½ inch NST valve, capable of delivering 250 GPM, at 75 PSI measured at the standpipe valve. The standpipes shall be wet and placed adjacent to all exterior exit doors, same side as the door handle/knob. Village Ordinance 180.16 G.
25. **Strobe Light:** A strobe light shall be provided for each riser and installed vertically above each sprinkler water flow bell. The strobe light shall operate for a sprinkler water flow. The lens color shall be RED. The strobe light shall meet Village specifications as found in section 180-16(m) of the Sprinkler Ordinance. A strobe light(s) shall also be provided, visible from the pumper pad to indicate a fire pump run and/or a waterflow alarm, with signage installed under each strobe light. A 10" fire bell/Gong will also be required to accompany the waterflow strobe light. This is typically installed in proximity to the pump/riser room service door. *(Refer to Appendix A for Strobe & Bell detail)*
26. **Fire Alarm System:** There shall be a full function remote annunciator installed. Utilizing a fire pull station, sprinkler water flow, or any other fire detection device that maybe installed in this building shall activate the internal fire alarm system. The systems shall be designed and constructed to the current printed edition of NFPA 72. Confirm NFPA edition with the Fire Department prior to system design. NOTE: A Low voltage electrical permit for installation is also required through the Village Building department.
  - a. **Manual Fire Alarm Pull Stations:** Shall be located at a minimum, immediately adjacent to each exterior door. Any additional exterior doors will be required to meet this requirement. The pull station shall not be placed in the area of the door, but immediately adjacent to the door jamb.
  - b. **Pull Stations and Audiovisual Alarms:** Shall be installed per ADA requirements.

- c. **Smoke and Heat Detection:** Shall be installed as required.
- d. **Tamper Switches:** Tamper switches shall be placed on all sprinkler valves and be identified on the annunciator panel.
- e. **Duct Detectors:** Duct detectors, when required, shall be programmed as a Supervisory Alarm, not as a fire alarm.
- f. **Fire Alarm Plans Location:** There shall be a designated location for a set of as-built fire alarm plans near the FACP per NFPA 72.
- g. **FACP Nomenclature:** Confirmation of nomenclature shall be discussed between the Fire Department and the fire alarm program technician prior to any fire alarm programming or inspections.
- h. **Annunciator Panel: Shall be addressable.** The annunciator panel type shall be approved by the Fire and Rescue Department. The panel shall identify a fire sprinkler water flow by riser, and the specific locations of the fire alarm pull stations and any other fire detection devices that may be installed in this building.
- i. **Transmission of Fire Alarms.** The method of transmission to central station must be approved by the Fire & Rescue Department. i.e. RF Radio, cellular, VOIP, or other approved NFPA 72 technologies.
- j. **FACP Main Panel:** There will be one main fire alarm panel within a building. The system will not be split into two or multiple fire alarm panels interconnected together. (Example: West wing is one panel, East wing is a different panel)
- k. All Fire alarm devices such as pull stations, duct detectors, smoke & heat detectors must be labeled at the device. This numbering scheme must match the FA wall map as well as the nomenclature at the FACP display.
- l. **Central Station:** The Fire Alarm Control Panel shall transmit all fire alarm, tamper, trouble and supervisory signals to a central station that is certified by Underwriters Laboratories (UL) and/or Factory Mutual (FM) and approved by the Fire & Rescue Department. The owner shall provide such documentation for approval. It is recommended that the owner consult with the Fire & Rescue Department prior to signing any contracts with the Central station.

Fire:	Pleasant Prairie Fire & Rescue
Medical:	Pleasant Prairie Fire & Rescue
<u>Phone numbers</u>	
<b>Emergency:</b>	<b>(262) 694-1402</b>
Non-emergency:	(262) 694-7105
Business:	(262) 694-8027

- 27. **Building Components:** There shall be a minimum of a 4 hour fire wall with fire doors between the existing building and the new addition. The roof shall also be independent of the existing buildings roof.
- 28. **All Hazards Notification System:** Should the owner or tenant plan on the installation of an in-building all hazards notification system (fire, weather, active threat, etc), the fire department must be made aware and the system must meet all NFPA 72 requirements.
- 29. **Public Safety Radio Coverage:** Provide for adequate radio coverage to public safety service workers, including but not limited to firefighters, and law enforcement officers. For purpose of this section, adequate radio coverage shall include all of the following:
  - a) a minimum signal strength of -101 dBm available in 95% of the area of each floor of the building when transmitted from the Public Safety Radio Communications System: and
  - b) A minimum signal strength of -101 dBm received at the Public Safety Radio Communications System when transmitted from 95% of the area of each floor of the building, via portable radio with public safety microphone.

- c) Channel Performance Criterion (CPC): CPC is the minimum performance level in a faded channel, per TSB-88, clause 4.2. TSB-88 is a “Telecommunications Systems Bulletin” published by the TIA, Telecommunications Industry Association. The performance level is rated using “Delivered Audio Quality”. Industry standard DAQ definitions are shown in Table 1.
- d) DAQ level of three (3) is the minimum performance level which shall be attainable by public safety radio systems in 95% of the area of each floor of a building, via portable radio with public safety microphone

**Table 1 - Delivered Audio Quality Definitions**

DAQ Delivered Audio Quality	Subjective Performance Description
1	Unusable, speech present but unreadable.
2	Understandable with considerable effort. Frequent repetition due to noise / distortion.
3	Speech understandable with slight effort. Occasional repetition required due to noise / distortion.
3.5	Speech understandable with repetition only rarely required. Some noise / distortion.
4	Speech easily understood. Occasional noise / distortion.
4.5	Speech easily understood. Infrequent noise / distortion.
5	Speech easily understood.

- e) The frequency range which must be supported shall be 151.0000 to 160.0000 MHz

**Testing Procedures:**

- A. Initial Tests. Public safety employees or their designees will perform initial tests. A Certificate of Occupancy shall not be issued to any new structure if the building fails to comply with this section.
- B. Annual Tests. Fire Department personnel in conjunction with inspection procedures will conduct annual tests.

**Amplification Systems Allowed**

1. Buildings and structures which cannot independently support the required level of radio coverage shall be equipped with any of the following in order to achieve the required adequate radio coverage: a radiating cable system or an internal multiple antenna system with or without FCC type accepted signal booster amplifiers as needed. The installation of equipment as indicated above cannot be detrimental to the operation of the Public Safety Radio System.
2. In the event that a signal booster is employed it shall meet the following minimum requirements:
  - a. be fully encased within a dust resistant case;
  - b. be contained in a National Electrical Manufacturer’s Association (NEMA) 4-type waterproof cabinet;
  - c. battery systems used for the emergency power source shall be contained in a NEMA 4-type waterproof cabinet;
  - d. the signal booster system and battery system shall be electrically supervised and monitored by a supervisory service, or shall sound an audible signal at a constantly attended location;
  - e. Have FCC certification prior to installation.

**Secondary Power**

Emergency responder radio coverage systems shall be provided with an approved secondary source of power conforming to NFPA 72. The secondary power supply shall be capable of operating the emergency responder radio coverage system for a period of at least twenty-four (24) hours. When primary power is lost, the power supply to the emergency responder radio coverage system shall automatically transfer to the secondary power supply.

**Field Testing**

Fire Department personnel, after providing reasonable notice to the owner or their representative, shall have the right to enter onto the property to conduct field-testing to be certain the required level of radio coverage is present.

30. **Final Inspection:** The General Contractor shall provide the following documentation at the time the Final Inspection takes place and before a building occupancy certificate will be issued.
- a. The fire protection contractor shall provide the owner with a letter (upon completion of the sprinkler work) stating the sprinkler system, or portion thereof, is “100% operational and built according to the design”, Village Ordinance, 180-16 N if modifications are made to the system.
  - b. The fire alarm contractor shall provide the owner with a letter (upon completion of the fire alarm work) stating the fire alarm system, or portion thereof, is “100% operational and built according to the design” if modifications are made to the system.
  - c. Copy of contract with fire alarm central monitoring station.
  - d. Copy of UL and/or FM certificate(s) for the fire alarm central monitoring station.
  - e. Copies of the fire protection underground flushing documents.
  - f. Copies of the underground and fire sprinkler hydrostatic test certificates.
  - g. Copies of the fire sprinkler operational test certificates.
  - h. Copies of the fire alarm test document – NFPA Record of Completion.
  - i. Copies of other test documents such as, hood/duct, smoke, etc...as applicable.
  - j. The Pleasant Prairie Fire and Rescue Department shall have all information needed for our pre-fire plan prior to occupancy.
  - k. Provide on some electronic media format (USB stick, CD, etc.) one for the property owner and one for the Fire & Rescue Department. The disks shall include all Floor plans and fire protection and detection plans for the building in an as-built condition.
  - l. Maps of the fire alarm and fire sprinkler system shall be placed in the fire pump room, near the fire alarm control panel; the maps shall be hung on the wall. These maps shall be of such size that the device/number information is of readable size.
  - m. AED is in place at such time a tenant takes occupancy.
  - n. A copy of the Emergency Plan must be submitted to the Fire & Rescue Department before occupancy.

# Appendix A

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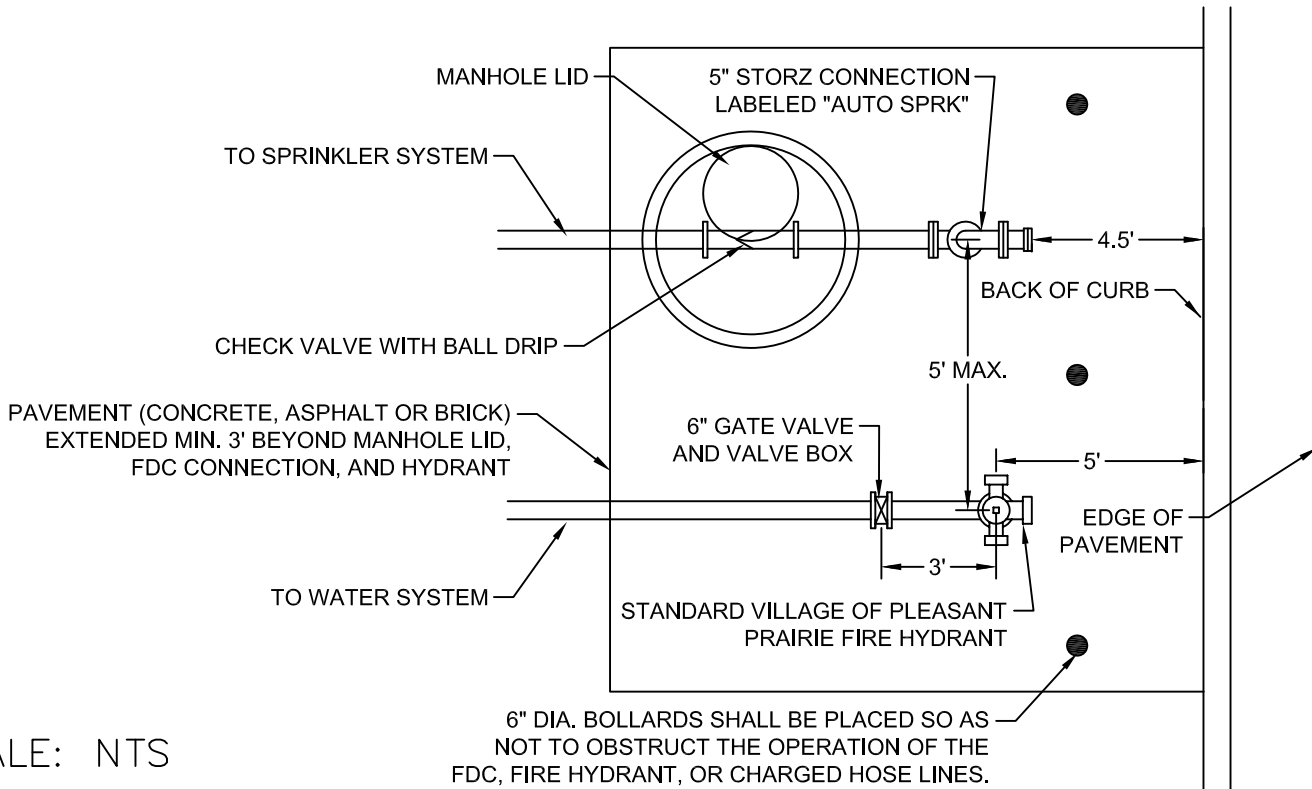
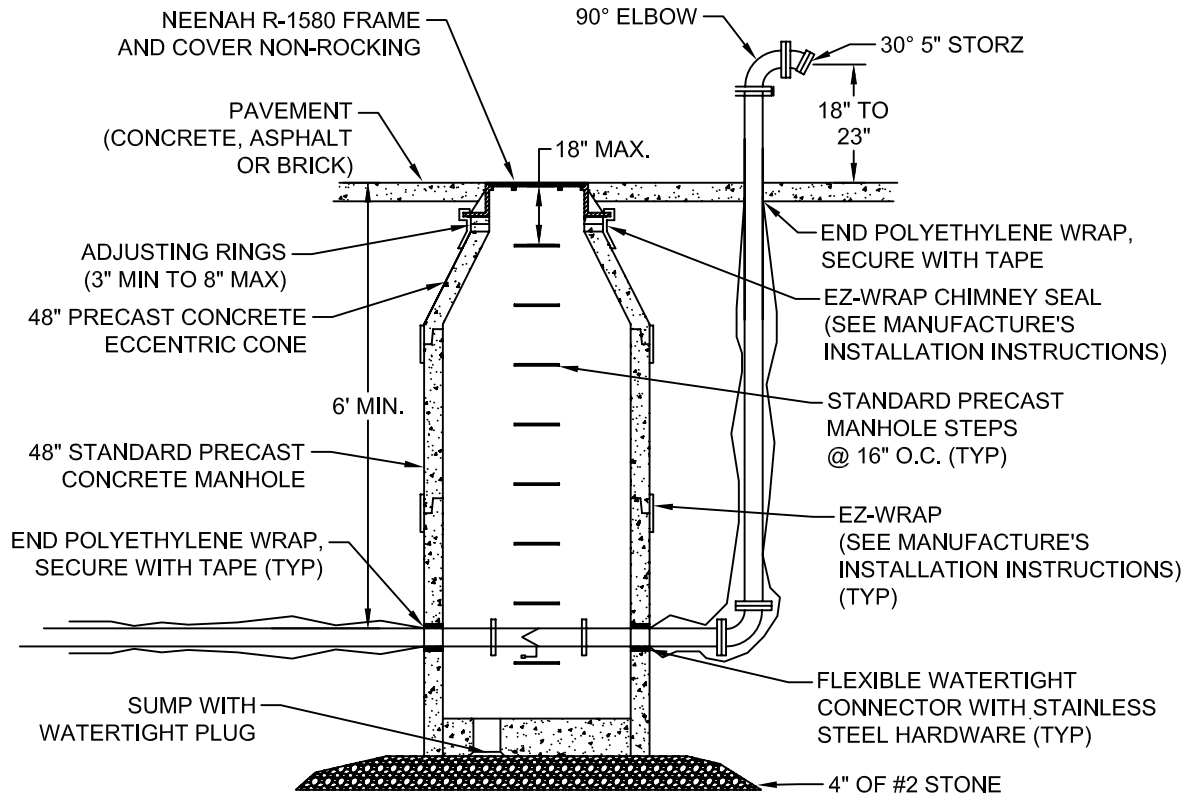
## Contents

1. Standard pumper pad with hydrant & FDC connection
2. Standard Village Hydrant specifications
3. Standard Exterior Bell & Strobe for Pump/Riser room and/or additional riser locations
4. Knox box (4400) location installation Guide
5. Knox Company – Knox vault 4400 series
6. Strobe – Whelen ISB Series – ISB 120 RED
7. Strobe – Federal Model 131ST RED

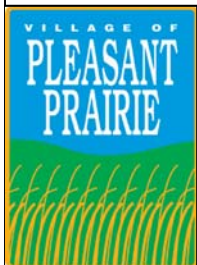


**NOTE:**

- SYSTEM SIZING SHALL BE COMPLETED BY A FIRE SUPPRESSION ENGINEER AND APPROVED OF BY THE VILLAGE OF PLEASANT PRAIRIE FIRE DEPARTMENT.
- SYSTEM INSTALLATION MUST BE CONSTRUCTED UNDER THE ONSITE SUPERVISION OF A LICENSED SPRINKLER FITTER.



SCALE: NTS



**PUMPER PAD FDC DETAIL**

DETAIL: FD - 1

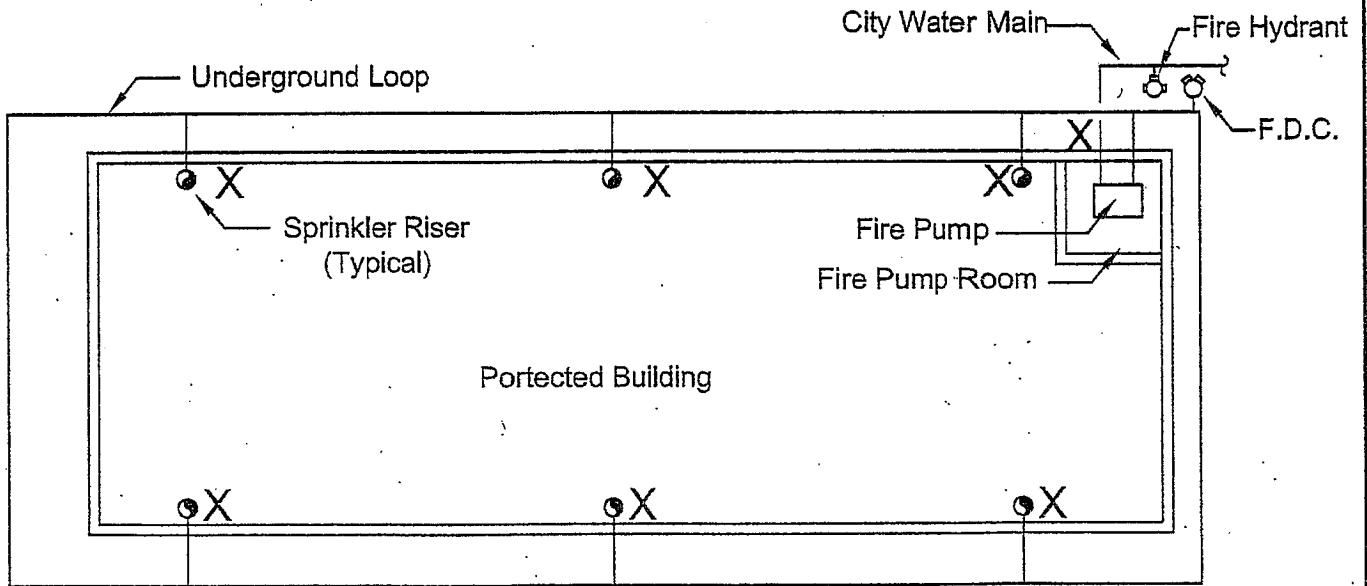
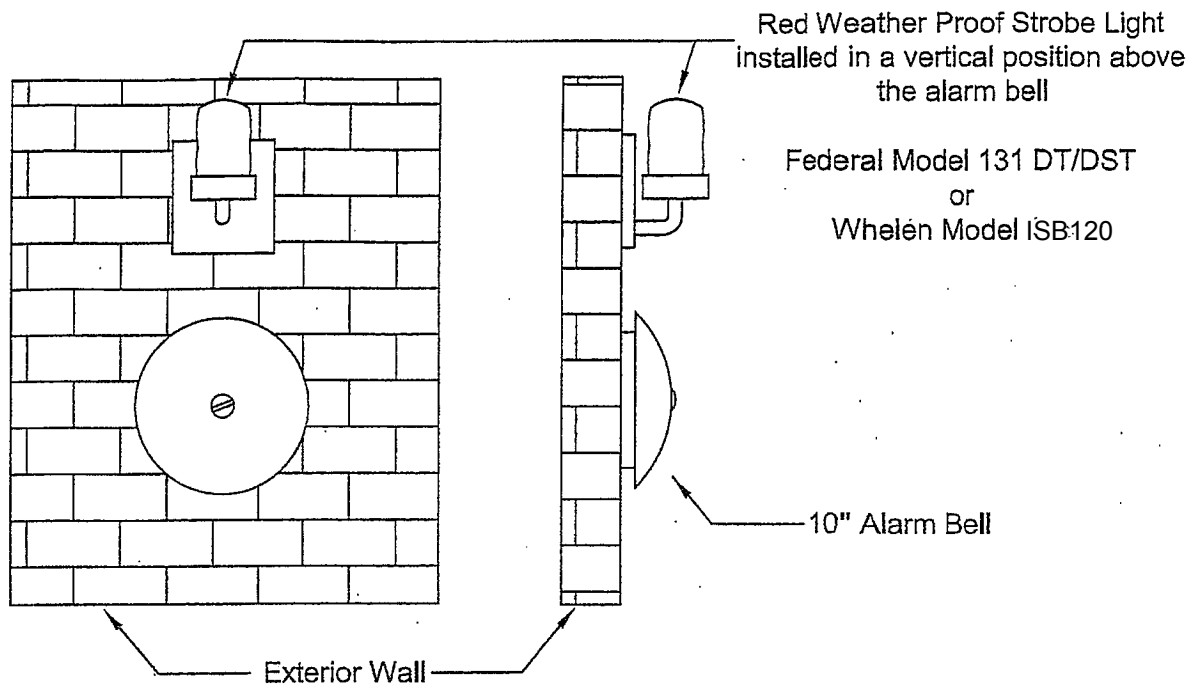
CREATED: 4-16-13

REVISED: 3-2-16

APPROVED BY: D. McELMURY







X = Required Notification Device Location

Scale: Not to Scale	Notification Device Location Details Ordinance # 180-16 K  Village of Pleasant Prairie Fire & Rescue Department 8044 88th Ave Pleasant Prairie Wi. 53158 262-694-8027	Approved By:
Date: 12 / 17 / 2007		Fire Chief Paul Guilbert
Drawn By: M.D.		Drawing Number:
Revised:		<b>FPSK-2</b>
Revised:		

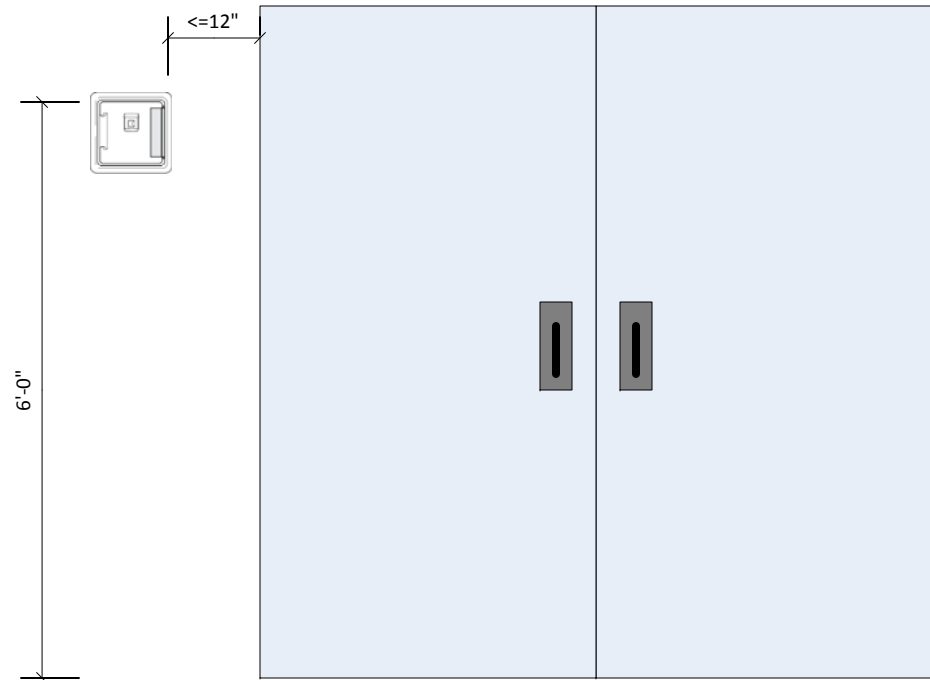
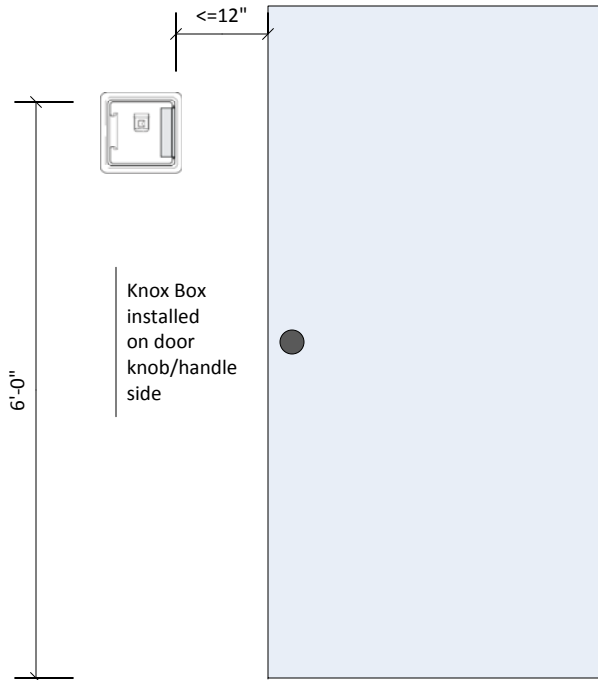
# Knox Box Placement Guide

Pleasant Prairie Fire & Rescue  
 8044-88<sup>th</sup> Avenue  
 Pleasant Prairie, WI 53158

fireandrescue@plprairie.com  
 262.694.8027  
 Pleasantprairieonline.com

On Recessed boxes, measurements are taken from box base (inside of flange)

**NOTE: To order Knox Boxes – contact the Fire Department. Knox Company will only accept orders from the Fire Department.**



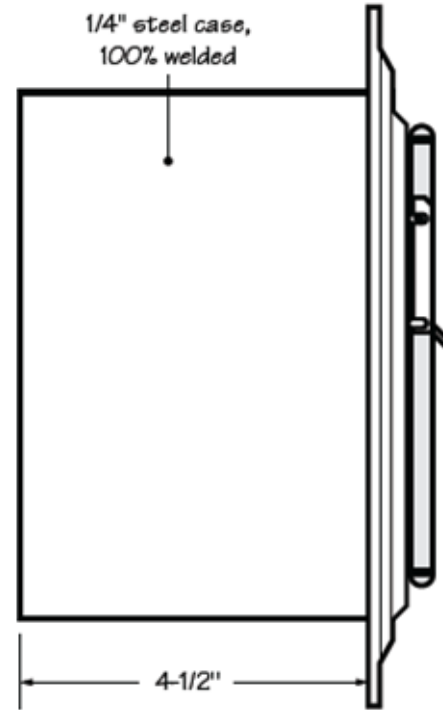
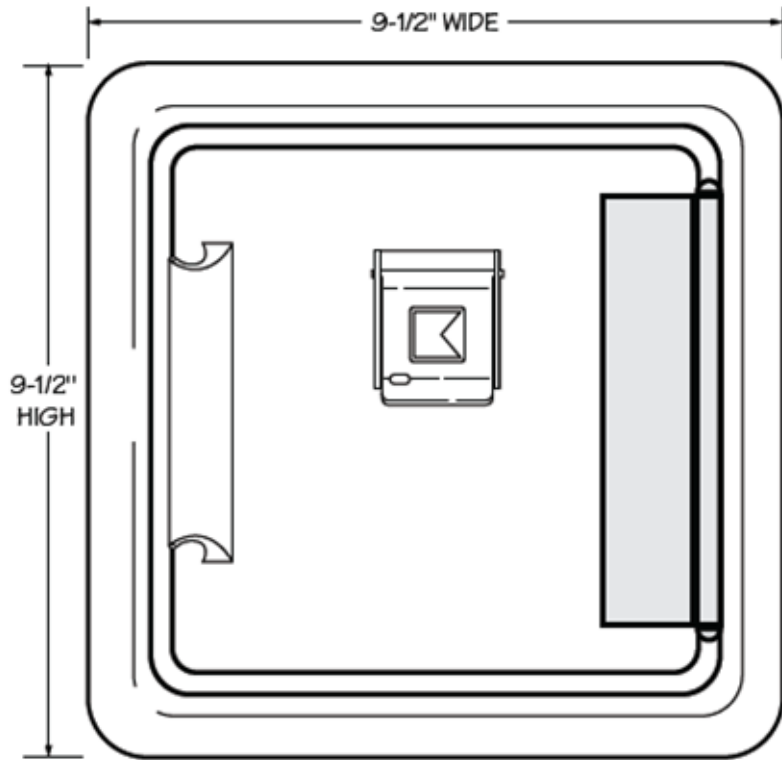
Typical installation locations for single and double doors. Exterior features such as lighting or stairways may alter standard installation locations.

Consult Fire Department prior to installations that may not fit typical locations and/or doorways.



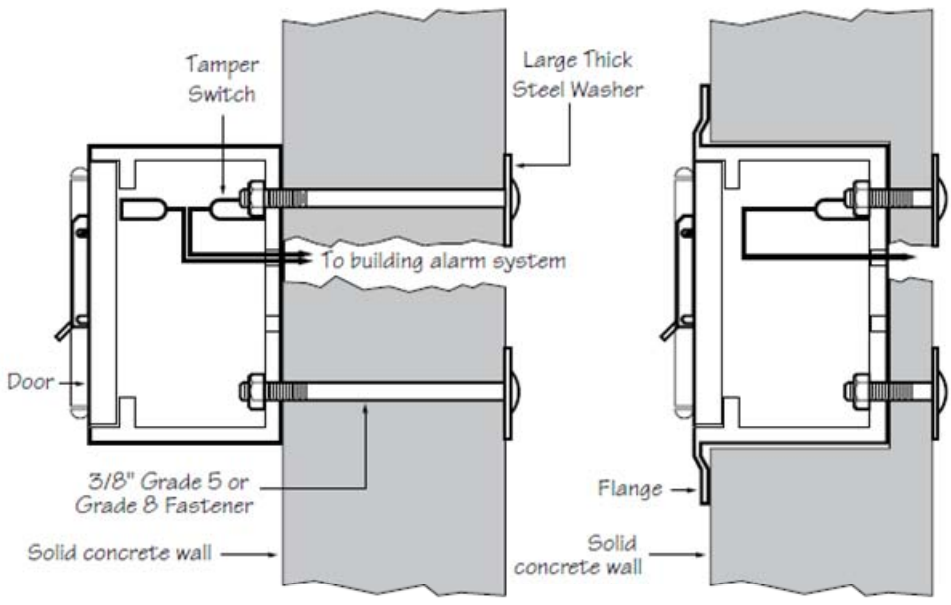
KNOX BOX 4400 PLACEMENT GUIDE		SIZE	FSCM NO	DWG NO	REV
DRAWN	CRAIG ROEPKE			KNOX BOX DOOR PLACEMENT LOCATION	A
ISSUED	2/23/2016	SCALE	1/2" = 1'-0"	SHEET	1 OF 3





KNOX BOX 4400 PLACEMENT GUIDE		SIZE	FSCM NO	DWG NO	REV
DRAWN	CRAIG ROEPKE			KNOX BOX 4400 FRONT/SIDE VIEWS	A
ISSUED	2/23/2016	SCALE	NO SCALE	SHEET	2 OF 3

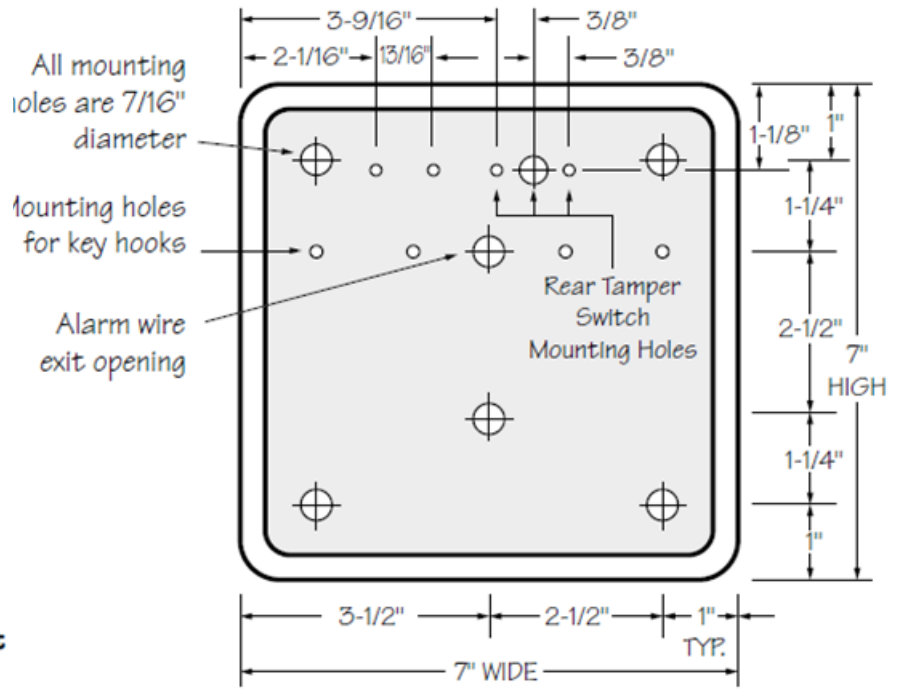




**Series 4400 Surface Mount**

**Series 4400 Recessed Mount**

**INSIDE VIEW**



KNOX BOX 4400 PLACEMENT GUIDE		SIZE	FSCM NO	DWG NO	REV
DRAWN	CRAIG ROEPKE			KNOX BOX MOUNTING & INSIDE VIEW	A
ISSUED	2/23/2016	SCALE	NO SCALE	SHEET	3 OF 3



**High Security Industrial/Government Key Vault**

Recessed Mount  
with Face Flange



Surface Mount  
with optional  
Tamper Switch



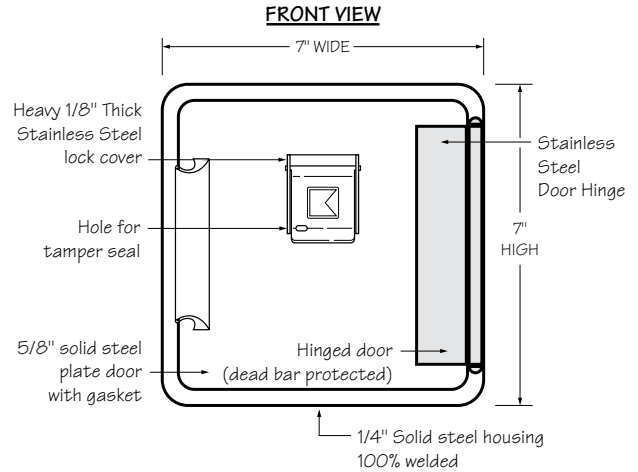
Knox-Vault™ key boxes are used in larger businesses, industrial properties, public buildings and universities. The heavy-duty, high security 4400 Series Knox-Vault protects and stores building keys, access cards and floor plans for emergency entry. The vault also provides secure storage for other internal and external applications.

**Features and Benefits**

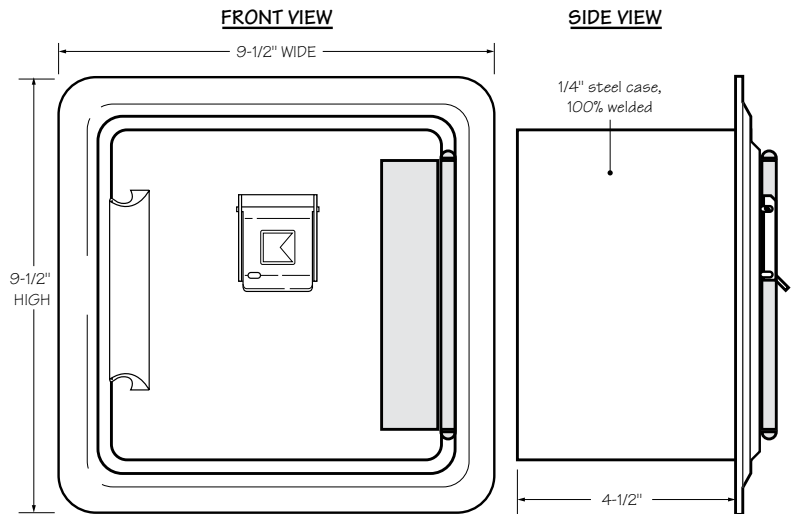
- Holds up to 50 keys in the large interior compartment
- Ensures high security with UL® Listed Medeco lock(s)
- Includes Knox-Coat® that is four times better than standard powder coat
- Resists moist conditions with a weather resistant door gasket
- Colors: Black, Dark Bronze or Aluminum
- Weight: Surface mount - 28 lbs.  
Recessed mount - 29 lbs.

**Options**

- Alarm tamper switches (UL Listed)
- Additional rust and corrosion protection (Aluminization)
- Recessed Mounting Kit (RMK) for recessed models only
- Custom vault depth available
- Dual lock configuration
- Inside switch for use on electrical doors, gates and other electrical equipment



**4400 Surface Mount**



**4400 Recessed Mount**

**Ordering Specifications**

*To insure procurement and delivery of the 4400 Series Knox-Vault, it is suggested that the following specification paragraph be used:*

**KNOX-VAULT** surface/recessed mount, with/without UL Listed tamper switches. 1/4" plate steel housing, 5/8" thick steel door with interior gasket seal and stainless steel hinge. Vault and lock UL Listed. Lock has 1/8" thick stainless steel dust cover with tamper seal mounting capability. Vault has anti-theft re-locking mechanism with drill resistant hard-plate lock protector.

Exterior Dimensions: Surface mount - 7"H x 7"W x 5"D  
Recessed mount flange - 9 1/2"H x 9 1/2"W

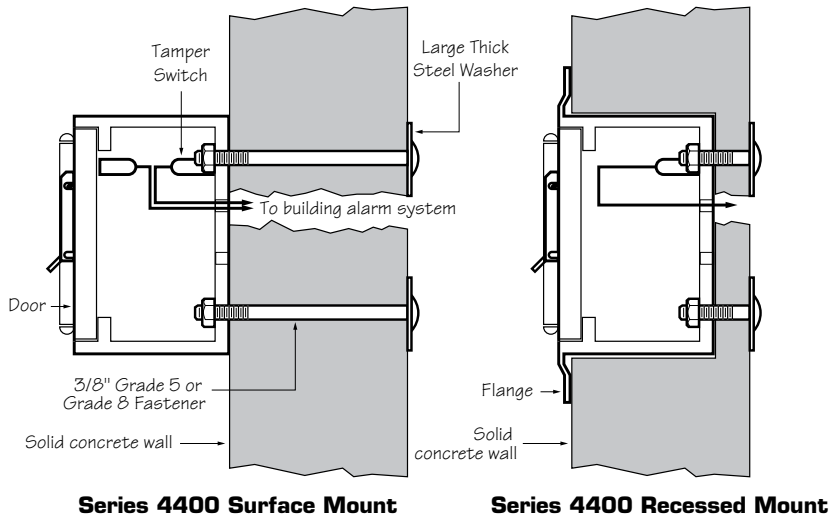
Lock: UL Listed. Double-action rotating tumblers and hardened steel pins accessed by a biased cut key.

Finish: Knox-Coat® proprietary finishing process  
Finish Color - Black, Dark Bronze or Aluminum

P/N: 4400 Series Knox-Vault (mfr's cat. ID)

Mfr's Name: **KNOX COMPANY**

**Suggested minimum mounting height  
6 feet above ground**



**Recessed Mounting Kit**

The 4400 Recessed Mounting Kit (RMK) is used for recessed models only. It contains a shell housing and mounting hardware to be cast-in-place in new concrete or masonry construction. After construction is completed, the Knox-Vault mounts inside the recessed shell housing. The RMK may only be used in new concrete or masonry construction.

**Installation In Cast Concrete**

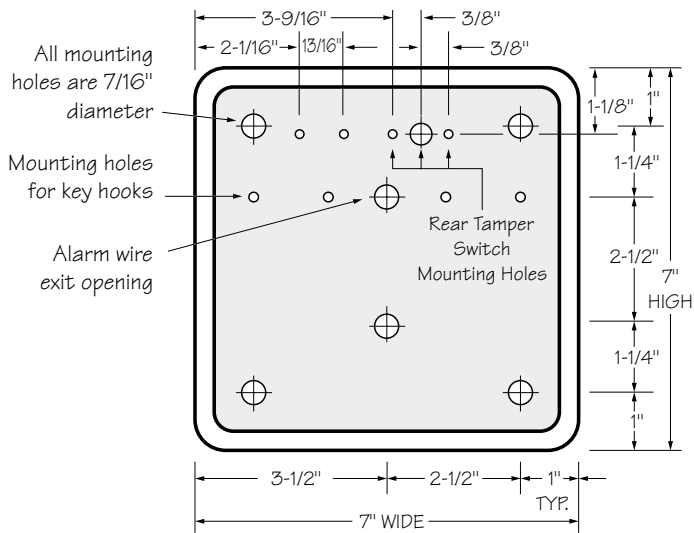
The optional Recessed Mounting Kit is for use in new concrete or masonry construction only. The kit includes a shell housing and mounting hardware to be cast-in-place. The KNOX-VAULT is mounted into the shell housing after construction is completed.

**Rough-In Dimensions**

8 1/2"H x 8 1/2"W x 7"D

**IMPORTANT:** Care should be taken to insure that the front of the RMK shell housing, including the cover plate and screw heads, is flush with the finish wall. The RMK must be plumbed to insure vertical alignment of the vault.

**INSIDE VIEW**

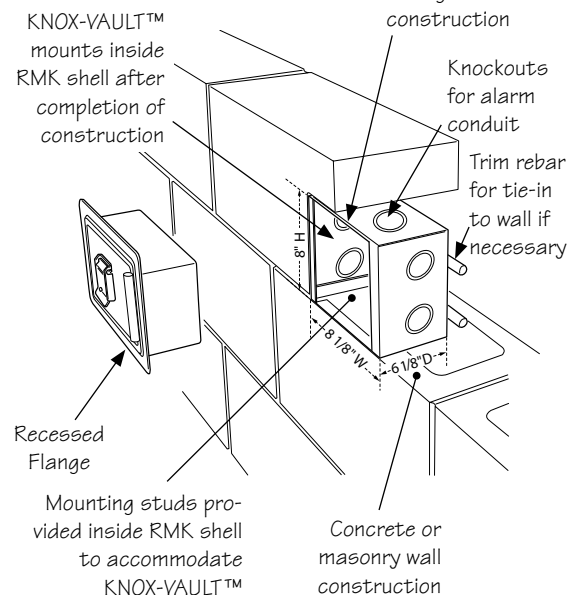


**Attention: KNOX-VAULT™ is a very strong device that MUST be mounted properly to ensure maximum security and resist physical attack.**

**Knox® Rapid Entry System**

The Knox Company manufactures a complete line of high security products including Knox-Box key boxes, key vaults, cabinets, key switches, padlocks, locking FDC caps, plugs and electronic master key security systems. For more information or technical assistance, please call Customer Service at 1-800-552-5669.

**Recessed Mounting Using Recessed Mounting Kit (RMK)**





# Starfire® Strobe Warning Lights

Models 131ST and 131DST



## OUR BRIGHTEST MEDIUM DUTY STROBE LIGHT

- Available in 12-24VDC, 120VAC and 240VAC
- Five dome colors
- 10,000 hour strobe tube
- Single or double flash strobe
- 1/2-inch pipe mount or optional magnetic mount
- UL Listed, cUL Listed, CSA Approved for indoor/outdoor use
- NEMA 3R, IP45 enclosure

Federal Signal's Starfire® strobe warning lights are available in single-flash (131ST) and double-flash (131DST) models. Through precise timing of the strobe flash, the double flash unit produces 1,200 effective candlepower; the single flash unit produces 1,000 effective candlepower.

Starfire models are available in 12-24VDC, 120VAC (50/60Hz) and 240VAC (50/60Hz). All units are less than nine inches high and six inches in diameter, but powerfully effective.

Starfire strobe warning lights contain their own strobe power supply in the base of the light. The strobe flash tube is mounted in an eight-pin octal socket base. The fresnel dome stands up to impact and abuse and is available in amber, blue, clear, green and red. The base of the light is made of corrosion-resistant anodized aluminum. Each Starfire model comes with a standard 1/2-inch pipe mount. An optional magnetic mount or surface mount can be ordered.

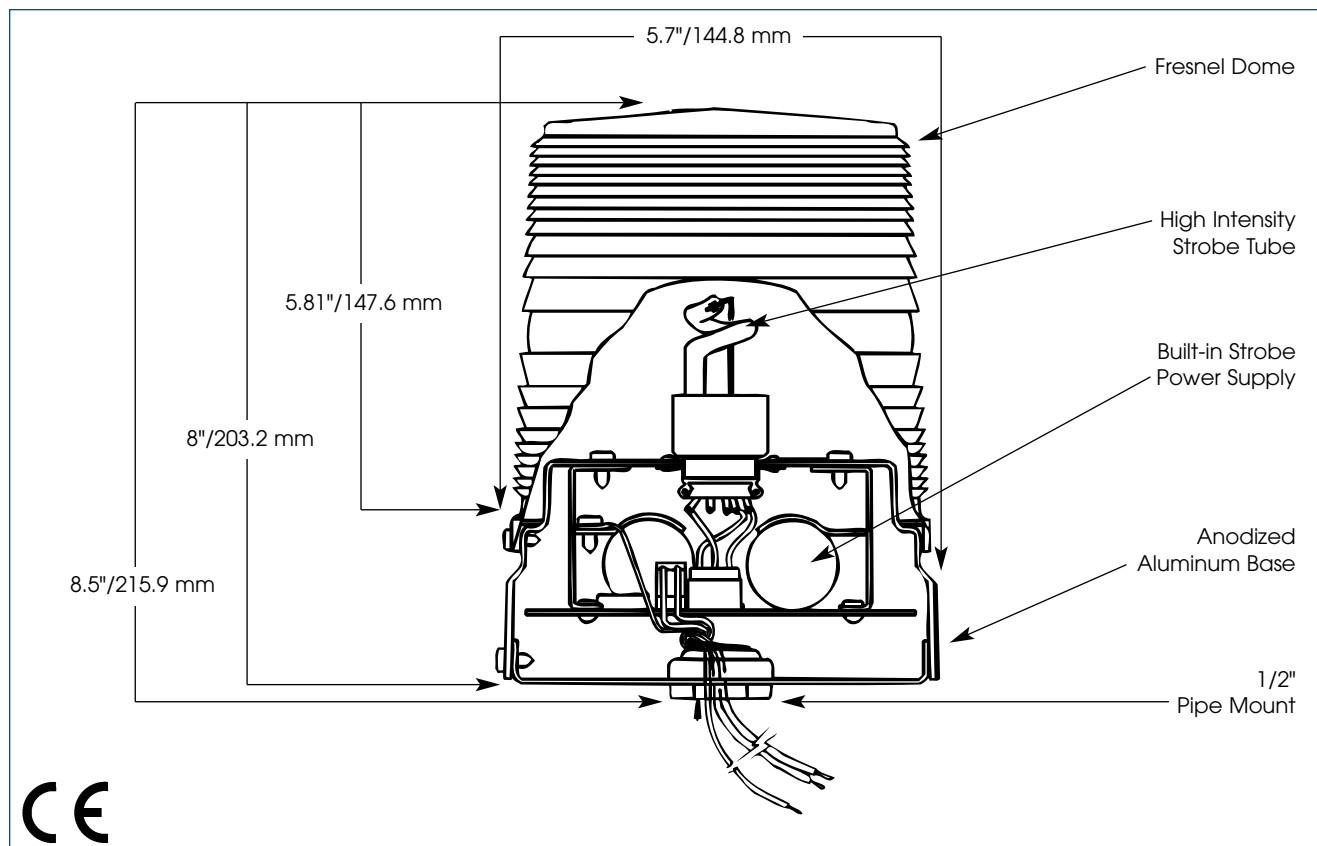
Because of its convenient size and intense light output, the Starfire strobes can be used for multiple applications. Excellent for in-plant use, the Models 131ST/DST warn of hazardous conditions, mark dangerous areas (either permanently or temporarily) and mounts on lift trucks, cranes and other moving devices. By using the magnetic mounting kit, these powerful strobes can be used on emergency, utility, maintenance or any other vehicle requiring temporary emergency warning.

Model	Voltage	Operating Current	Flash Rate/Minute	Candlepower Peak <sup>1</sup>	ECP <sup>2</sup>	Mount <sup>4</sup>
<b>131DST</b>	012-024VDC	4.50-2.10 amps	80 <sup>3</sup>	1,000,000	1,200	1/2" Pipe
<b>131DST</b>	120VAC	0.60 amps	80 <sup>3</sup>	1,000,000	1,200	1/2" Pipe
<b>131DST</b>	240VAC	0.30 amps	80 <sup>3</sup>	1,000,000	1,200	1/2" Pipe
<b>131ST</b>	012-024VDC	2.75-1.25 amps	80	2,000,000	1,000	1/2" Pipe
<b>131ST</b>	120VAC	0.60 amps	80	2,000,000	1,000	1/2" Pipe
<b>131ST</b>	240VAC	0.30 amps	80	2,000,000	1,000	1/2" Pipe

<sup>1</sup> Peak candlepower is the maximum light intensity generated by a flashing light during its light pulse  
<sup>2</sup> ECP (Effective Candlepower) is the intensity that would appear to an observer if the light were burning steadily  
<sup>3</sup> Double Flash  
<sup>4</sup> Magnet and surface mount kits available



## STARFIRE® STROBE WARNING LIGHT (131ST/131DST)



### SPECIFICATIONS

Lamp Life*:	10,000 Hours	10,000 Hours
Lamp Style:	Strobe	Strobe
Operating Temperature:	-31°F to 150°F	-35°C to 66°C
Net Weight:	2.0 lbs.	1.0 kg
Shipping Weight:	3.4 lbs.	1.5 kg
Height:	8.50"	215.9 mm
Width:	5.70"	144.8 mm

\* Optimal hours under ideal conditions.

### RATINGS

- UL Listed and CSA Approved for indoor/outdoor use
- CE Approved
- NEMA Type 3R; IP45 enclosure

### HOW TO ORDER

- Specify model, voltage and color
- Specify options:  
 Corner Bracket (LCMB2)  
 Wall Bracket (LWMB2)  
 Surface Mount (K844A211B)  
 Magnetic Mount (131MMK)

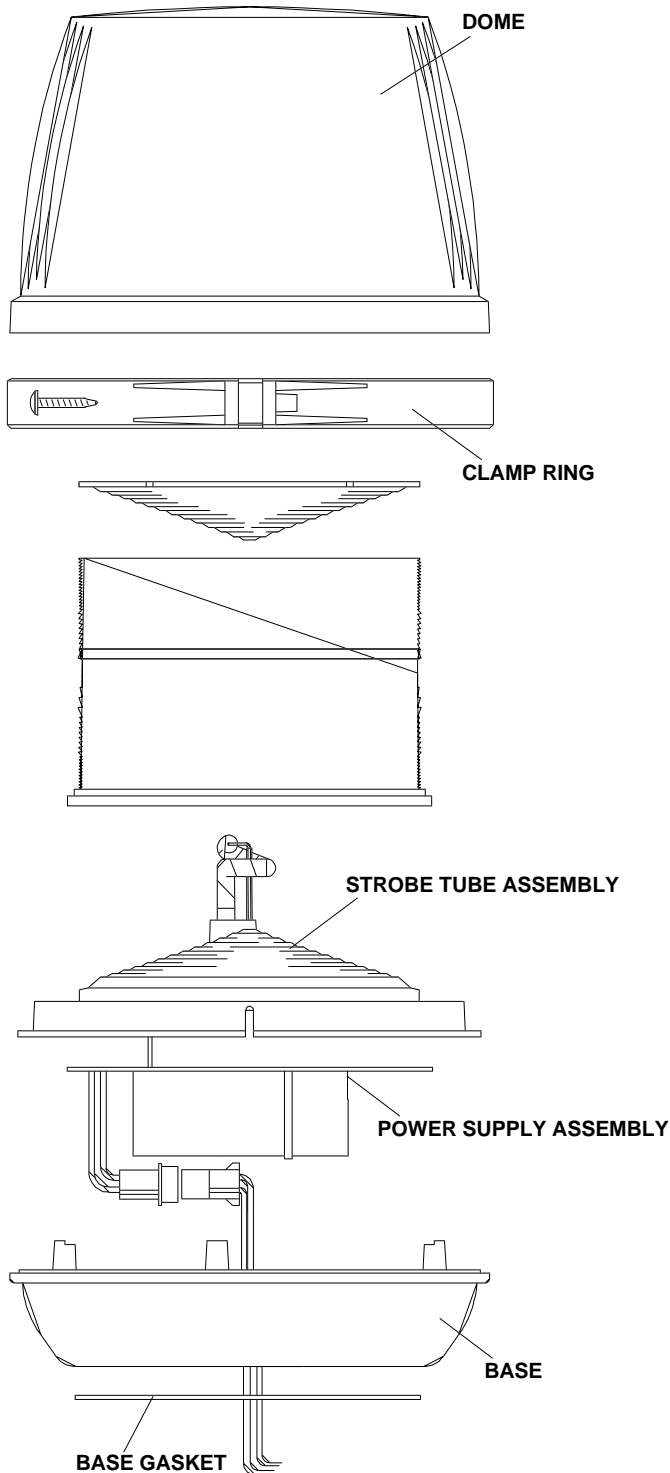
### REPLACEMENT PARTS

<u>Description</u>	<u>Part Number</u>	<u>Description</u>	<u>Part Number</u>
Dome, Amber	K8422B428A-01	PC Assembly, 12-24VDC (131ST)	K2001260C
Dome, Blue	K8422B428A-02	PC Assembly, 120VAC (131ST)	K2001188C
Dome, Clear	K8422B428A	PC Assembly, 240VAC (131ST)	K2001188C-01
Dome, Green	K8422B428A-03	PC Assembly, 12-24VDC (131DST)	K2001265C
Dome, Red	K8422B428A-04	PC Assembly, 120VAC (131DST)	K200865F
Strobe Tube	K8107178A	PC Assembly, 240VAC (131DST)	K200865F-01
Surface Mount Kit	K8444A211B	Dome Gasket	K8444A193A

Route 145, Winthrop Road  
Chester, CT 06412-0684  
TELEPHONE: (860) 526-9504  
TOLL FREE: 1-800-637-4736  
FACSIMILE: (860) 526-4784

## ISB SERIES STROBE LIGHT BEACONS

ISB24, 12/24 VOLTS DC, COMET FLASH  
ISB120, 120 VOLTS AC, COMET FLASH



SEE OTHER SIDE  
OF PAGE FOR  
REPLACEMENT  
PARTS LISTING.

**WARNING...**  
DISCONNECT THE  
POWER SOURCE AND  
**WAIT 10 MINUTES**  
BEFORE INSTALLING  
OR SERVICING THE  
STROBE LIGHT.

**REPLACEMENT PARTS  
LISTING FOR ISB  
SERIES STROBES**

ITEM	DESCRIPTION	QTY.	PART NUMBER	ISB24	ISB120
1	OPTIC DOME, AMBER	1	68-2180347-10	■	■
	OPTIC DOME, BLUE	1	68-2180347-20	■	■
	OPTIC DOME, CLEAR	1	68-2180347-30	■	■
	OPTIC DOME, GREEN	1	68-2180347-40	■	■
	OPTIC DOME, RED	1	68-2180347-50	■	■
2	STROBE TUBE ASSEMBLY	1	01-0468256-00	■	■
3	STROBE POWER SUPPLY, 120 VAC	1	02-0167154-00		■
	STROBE POWER SUPPLY, 12/24 VDC	1	01-0267042-00	■	
4	FUSE, 10 AMP, AUTO	1	32-0632010012	■	

## MOUNTING INSTRUCTIONS

### PERMANENT MOUNT

The ISB Series must be disassembled to drill mounting holes for permanent mounting.

1. Remove the clamp ring, remove the optic dome and disassemble the strobe as shown in the drawing.
2. Locate the three dimples in the base casting and drill three mounting holes. Drill and deburr a hole for the power wires.
3. Place the base gasket between the base and mounting surface. Route the strobe power wires through the gasket and the mounting hole. Mount the base with three screws.
4. Connect the power wires to the power source.
5. Re-assemble the strobe. Make sure that the wires are not pinched.

### WIRING INSTRUCTIONS

#### MODEL ISB24

1. Connect the RED wire to the positive DC voltage (+).
2. Connect the BLACK wire to DC ground (-).

#### MODEL ISB120

1. Connect the GREEN wire to the AC service green wire (ground).
2. Connect the BLACK wire to the AC service black wire (hot).
3. Connect the WHITE wire to the AC service white wire (neutral).

### PIPE MOUNT

The ISB Series may be mounted to a 1" NPT pipe.

1. Feed the power source cable through the pipe and connect the cable to the ISB Series strobe.
2. Screw the strobe to the pipe threads. Make sure that the wires are not pinched or severely twisted.

**WARNING - THE STROBE POWER SUPPLY IS A HIGH VOLTAGE DEVICE. DO NOT REMOVE TUBES OR DISMANTLE STROBE LIGHT ASSEMBLY WHILE IN OPERATION. WAIT 10 MINUTES AFTER TURNING OFF POWER BEFORE WORKING ON THE STROBE.**

# LAKEVIEW LOT 40

## LAKEVIEW CORPORATE PARK

### PLEASANT PRAIRIE, WISCONSIN

Note as Preliminary Site and Operational Plans

PROJECT DATA	
<b>APPLICABLE CODES:</b> INTERNATIONAL BUILDING CODE - 2009 AS MODIFIED BY THE WISCONSIN ENROLLED COMMERCIAL BUILDING CODE IN CHAPTER SPS 362.	
<b>BUILDING CLASSIFICATION:</b> STORAGE: S-1 (MODERATE HAZARD)	
<b>CONSTRUCTION CLASSIFICATION:</b> TYPE 2B - UNPROTECTED w/ AUTOMATIC SPRINKLER SYSTEM	
<b>BUILDING AREA:</b> 17873 SF.	
<b>PROJECT DEVELOPMENT DATA</b> <b>Lot 40 not Lot 87</b>	
<b>PROPOSED LAKEVIEW LOT 87:</b>	<b>M-1 GENERAL MANUFACTURING DISTRICT</b>
<b>SITE ZONING:</b>	16.61 ACRES (726,448 SF.) 17873 SF.
<b>SITE AREA:</b>	17873 SF.
<b>BUILDING AREA:</b>	31762 SF.
<b>BLDG. COVERAGE RATIO:</b>	420005 SF. 6.15%
<b>BUILDING IMPERVIOUS AREA:</b>	17873 SF.
<b>ALL OTHER IMPERVIOUS AREA:</b>	420005 SF.
<b>TOTAL IMPERVIOUS AREA:</b>	6.15%
<b>TOTAL IMPERVIOUS PERCENTAGE:</b>	6.15%
<b>GREENSPACE COVERAGE RATIO:</b>	236,080 SF.
<b>TOTAL LANDSCAPED AREA:</b>	37.5%
<b>TOTAL LANDSCAPED PERCENTAGE:</b>	37.5%
<b>PARKING:</b>	208 SPACES
<b>TOTAL CAR SPACES (INCLUDING HANDICAPPED):</b>	25 DOCK LOCATIONS
<b>TOTAL TRUCK/DOCK SPACES:</b>	
<b>NOTE:</b> PRIOR TO CONSTRUCTION, A PRECONSTRUCTION MEETING MUST BE HELD AT THE VILLAGE OFFICES. THE PRECONSTRUCTION CONFERENCE SHALL BE SCHEDULED AND MODERATED BY THE DESIGN ENGINEER OF RECORD.	

**OWNER:**  
DOHENY ENTERPRISES INC.  
6380 98T  
KENOSHA, WISCONSIN 53144  
PHONE: 847.366.6460  
ATTN: JOHN DOHENY

Doheny's

**CONTRACTOR:**  
PRINCIPLE CONSTRUCTION CORPORATION  
3400 WEST BRYN MAWR, SUITE 165  
ROSEMONT, ILLINOIS 60018  
PHONE: (617) 435-1835 EXT. 140  
ATTN: JIM BRUCATO

Principle  
CONSTRUCTION CORP.

**ARCHITECT:**  
PARTNERS IN DESIGN ARCHITECTS  
2610 LAKE COOK ROAD, SUITE 180  
RIVERWOODS, ILLINOIS 60015  
PHONE: (847) 946-0200  
ATTN: WERNER BRISKE, AIA

Partners in Design  
ARCHITECTS

**CIVIL ENGINEER:**  
PINNACLE ENGINEERING GROUP  
5580 W. BLUE POND ROAD, SUITE 314  
BROOKFIELD, WISCONSIN 53005  
PHONE: 414.368.5891  
ATTN: ADAM ANTZ, P.E.

PINNACLE ENGINEERING GROUP  
www.pinnacleeng.com

GENERAL NOTES	
1.	DO NOT SCALE DRAWINGS.
2.	CONTRACTOR SHALL FIELD VERIFY AND BECOME THOROUGHLY FAMILIAR WITH ALL CONDITIONS & DIMENSIONS.
3.	EACH CONTRACTOR SHALL REVIEW COMPLETE PLANS FOR RELATED WORK.
4.	ALL WORK SHALL BE IN COMPLIANCE WITH STATE & LOCAL CODES FOR RESPECTIVE TRADES.

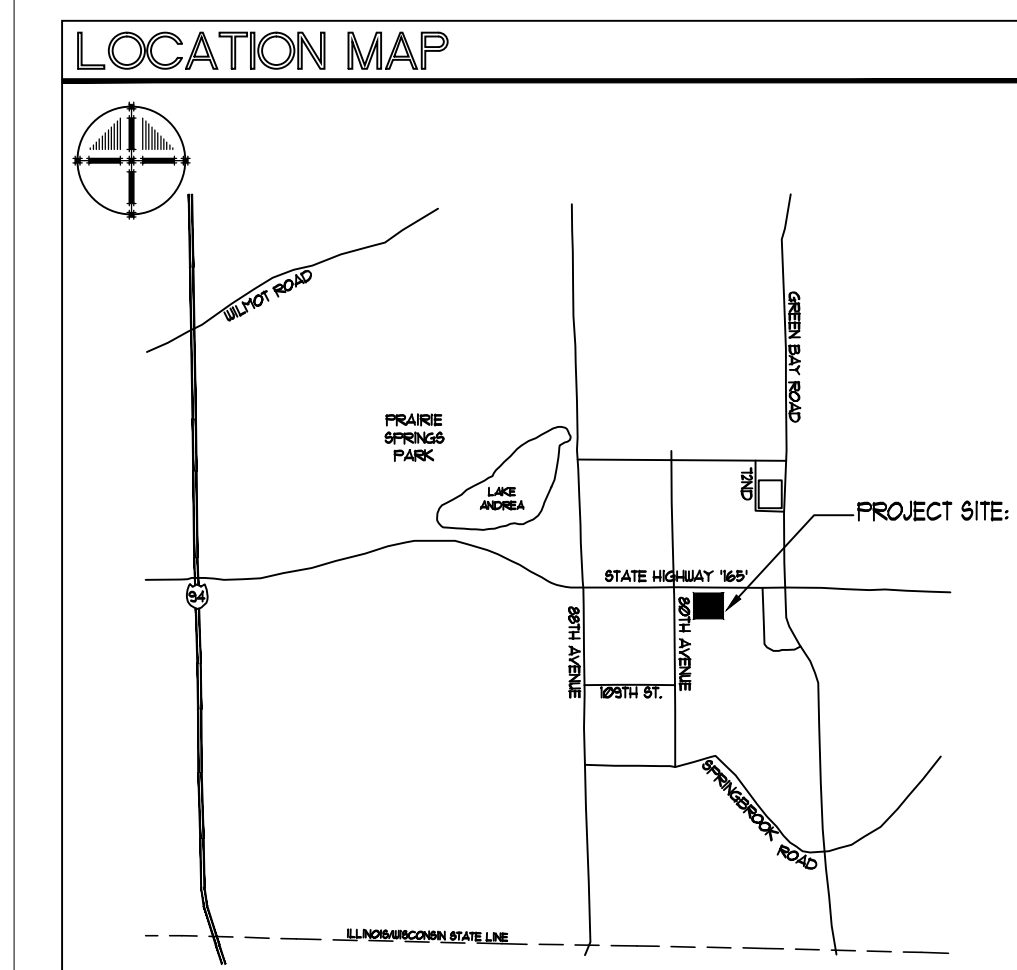
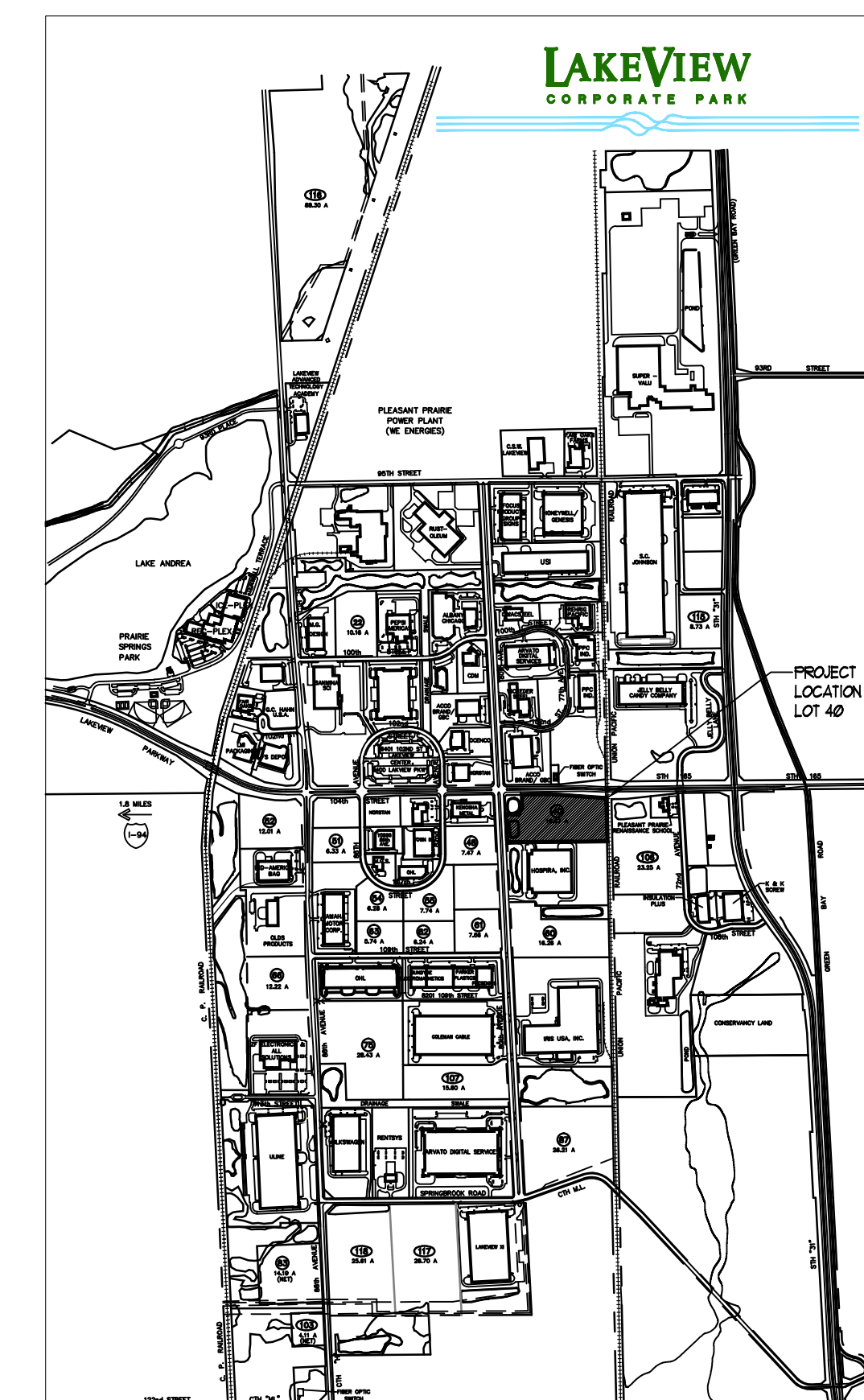
SHEET INDEX	
T1	TITLE SHEET
<b>CIVIL</b>	
C-1	COVER SHEET
C-2	EXISTING CONDITIONS
C-3	SITE DEMOLITION AND PAVING PLAN
C-4	GRADING PLAN
C-5	UTILITY PLAN
C-6	SITE STABILIZATION PLAN
C-7	CONSTRUCTION DETAILS
C-8	CONSTRUCTION DETAILS
C-9	CONSTRUCTION DETAILS
<b>ARCHITECTURAL</b>	
A1	SITE PLAN & DETAILS
A01	SITE PHOTOS
A4	CONCEPTUAL BUILDING ELEVATIONS

#### GOVERNING AGENCY CONTACTS

<b>PLEASANT PRAIRIE VILLAGE HALL</b> 930 39TH STREET PLEASANT PRAIRIE, WI 53158 OFFICE: (262) 694-1400	<b>ENGINEERING DEPARTMENT</b> MATT FINEOR, P.E. - VILLAGE ENGINEER OFFICE: (262) 925-6719 EMAIL: mfineor@pprairieil.com	<b>BUILDING INSPECTION DEPARTMENT</b> SANDRO PEREZ - BUILDING INSPECTION SUPERINTENDENT OFFICE: (262) 694-9304 DIRECT: (262) 925-6722 EMAIL: sperez@pprairieil.com	THOMAS CLARK - LIEUTENANT OFFICE: (262) 694-8021 EMAIL: toclark@pprairieil.com
<b>COMMUNITY DEVELOPMENT DEPARTMENT</b> JEAN VERDIE-HARRIS, DIRECTOR - PLANNER, ZONING ADMINISTRATOR OFFICE: (262) 925-6718 EMAIL: jverdier-harris@pprairieil.com	KURT DAVIDSEN, P.E. - ASSISTANT VILLAGE ENGINEER OFFICE: (262) 925-6728 EMAIL: kdavidsen@pprairieil.com	DONALD KOENIG - BUILDING INSPECTOR OFFICE: (262) 694-9304 EMAIL: dkoenig@pprairieil.com	ELIANE JOHNSON - WATER RESOURCE SPECIALIST OFFICE: 262-884-7236 EMAIL: eliane.johnson@wisconsin.gov
PEGGY HERRICK - ASSISTANT PLANNER & ZONING ADMINISTRATOR OFFICE: (262) 925-6716 EMAIL: pherrick@pprairieil.com	<b>PUBLIC WORKS DEPARTMENT</b> JOHN STENGER, JR. - SUPERINTENDENT ROGER PRANGE, PRINCIPAL BUILDING 8600 GREEN BAY ROAD OFFICE: (262) 925-6768 EMAIL: jstenger@pprairieil.com	MICHAEL KAPRELIAN - BUILDING INSPECTOR OFFICE: (262) 694-9304 EMAIL: mkaprelian@pprairieil.com	PETER WOOD - WATER RESOURCES ENGINEER OFFICE: 262-884-7260 EMAIL: peter.wood@wisconsin.gov
KRISTINA TRANEL - DEPUTY PLANNER & ZONING ADMINISTRATOR OFFICE: (262) 925-6711 EMAIL: ktanel@pprairieil.com	JESSE HOLLE, P.E. - CONSTRUCTION MANAGER OFFICE: (262) 948-0949 EMAIL: jholle@pprairieil.com	<b>FIRE &amp; RESCUE DEPARTMENT</b> DOUG TOLMERY - CHIEF OF FIRE & RESCUE 8044 88TH AVENUE OFFICE: (262) 694-8021 EMAIL: dtolmery@pprairieil.com	ALAN MIKE TOYEK OFFICE: 262.636.8949 EMAIL: mt74@wi.gov
STEVE ULAHOVICH - ENGINEERING TECHNICIAN OFFICE: (262) 925-6761 EMAIL: sulahovich@pprairieil.com	STEVE ULAHOVICH - ENGINEERING TECHNICIAN OFFICE: (262) 925-6761 EMAIL: sulahovich@pprairieil.com	CRAG ROEFKE - DEPUTY CHIEF OFFICE: (262) 694-8021 EMAIL: croefke@pprairieil.com	

#### PUBLIC UTILITY CONTACTS

<b>AMERICAN TRANSMISSION COMPANY</b> ERIAN NOGEE OFFICE: 262-906-6995 EMAIL: erian.nogee@atco.com EMERGENCY NUMBER: (800) 912-5341	<b>IDG TELECOM</b> SOUTHEAST WISCONSIN OFFICE: 811.483.1742
<b>WISCONSIN D.O.T.</b> KEVIN KOEHNKE, PERMITS COORDINATOR SOUTHEAST REGION OFFICE: (262) 548-5891 EMAIL: kevin.koehnke@dowd.wis.gov	<b>THE WARNER CABLE</b> STEVE CRAMER - UTILITY COORDINATOR OFFICE: 414.217.4045 EMAIL: steve.cramer@ucable.com EMERGENCY NUMBER: 800.672.2288
	<b>WE ENERGIES</b> LINDA SCHREIER KENOSHA SOUTH OFFICE: 262.552.3228 EMAIL: linda.schreier@we-energies.com
	<b>NATURAL GAS EMERGENCY:</b> 800.246.5275 <b>ELECTRICAL EMERGENCY:</b> 800.667.4781



REVISIONS	

Review Comments  
8-15-16  
Peggy Herrick  
Assistant Planner

PROJECT NUMBER:  
535.09.034  
DATE: JULY 18, 2016

SITE AND OPERATIONAL PLANS

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF PINNACLE ENGINEERING GROUP, LLC

- ### NOTES
- ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB OR BUILDING FOUNDATION UNLESS NOTED OTHERWISE. ALL UTILITY DIMENSIONS ARE TO OUTSIDE OF PIPE OR CENTER OF STRUCTURE UNLESS OTHERWISE NOTED. ALL PAVING DIMENSIONS ARE TO FACE OF CURB OR TO EDGE OF PAVEMENT, EXCEPT FOR THE SETBACK FROM PARKING LOTS, MANEUVERING LANES AND FINE ACCESS LANES, WHERE THE SETBACK IS MEASURED FROM THE BACK OF CURB TO THE PROPERTY LINE.
  - ALL PROPOSED CURB AND GUTTER SHALL BE 18" STANDARD CURB AND GUTTER (SEE DETAIL), UNLESS OTHERWISE NOTED. CURB AND GUTTER DRAINING AWAY FROM THE FACE OF CURB IS NOTED AS REVERSE CURB AND GUTTER.
  - BUILDING DIMENSIONS AND ADJACENT PARKING AND UTILITY LAYOUT HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION CURRENT AT THE DATE OF THIS DRAWING. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST. THEREFORE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS AND NOTIFY THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
  - THE CONTRACTOR SHALL CONTACT DIGGERS HOTLINE (1-800-242-8511) PRIOR TO ANY WORK TO LOCATE UTILITIES AND SHALL CONTACT THE OWNER SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENT.
  - IMPROVEMENTS ADJACENT TO BUILDING IF SHOWN SUCH AS TRUCK DOCK, RETAINING WALLS, SIDEWALKS, CURBING, FENCES, CANOPIES, RAMPS, HANDICAP ACCESS, PLANTERS, DUMPSTERS, AND TRANSFORMERS ETC. HAVE BEEN SHOWN FOR APPROXIMATE LOCATION ONLY. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS, SPECIFICATIONS, AND DETAILS.
  - REFER TO ELECTRICAL PLANS FOR LIGHTING LOCATIONS, SPECIFICATIONS, AND DETAILS.
  - SEE ADDITIONAL NOTES AND DETAILS ON SITE DIMENSIONAL PLANS AND CONSTRUCTION DETAILS.
  - ALL PAVING SHALL CONFORM TO STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION AND APPLICABLE VILLAGE OF PLEASANT PRAIRIE ORDINANCES, AND SPECIFICATIONS CONTAINED WITHIN THIS PLAN SET.
  - CONTRACTOR SHALL CONSULT STRIPING COLOR WITH OWNER PRIOR TO CONSTRUCTION.
  - PROVIDE CONTRACTOR GRADE ACRYLIC STRIPING PAINT FOR NEW ASPHALT OR COATED ASPHALT. APPLY MARKING PAINT AT A RATE OF ONE (1) GALLON PER THREE TO FOUR HUNDRED (300-400) LINEAL FEET OF FOUR (4) INCH WIDE STRIPES OR TO MANUFACTURER'S SPECIFICATION, WHICHEVER IS GREATER.
  - THOROUGHLY CLEAN SURFACES FREE OF DIRT, SAND, GRAVEL, OIL AND OTHER FOREIGN MATTER. CONTRACTOR RESPONSIBLE TO INSPECT EXISTING PAVEMENT SURFACES FOR CONDITIONS AND DEFECTS THAT WILL ADVERSELY AFFECT QUALITY OF WORK, AND WHICH CANNOT BE PUT INTO AN ACCEPTABLE CONDITION THROUGH NORMAL PREPARATORY WORK AS SPECIFIED.
  - DO NOT PLACE MARKING OVER UNSOUND PAVEMENTS. IF THESE CONDITIONS EXIST, NOTIFY OWNER. STARTING INSTALLATION CONSTITUTES CONTRACTOR'S ACCEPTANCE OF SURFACE AS SUITABLE FOR INSTALLATION.
  - LAYOUT MARKINGS USING GUIDE LINES, TEMPLATES AND FORMS, STENCILS AND TEMPLATES SHALL BE PROFESSIONALLY MADE TO INDUSTRY STANDARDS. "FREE HAND" PAINTING OF ARROWS, SYMBOLS, OR WORDING SHALL NOT BE ALLOWED. APPLY STRIPES STRAIGHT AND EVEN.
  - PROTECT ADJACENT CURBS, WALKS, FENCES, AND OTHER ITEMS FROM RECEIVING PAINT.
  - BARRICADE MARKED AREAS DURING INSTALLATION UNTIL THE MARKING PAINT IS DRIED AND READY FOR TRAFFIC.
  - ASPHALTIC CONCRETE PAVING SPECIFICATIONS-  
 CODES AND STANDARDS: THE PLACING, CONSTRUCTION AND COMPOSITION OF THE ASPHALTIC BASE COURSE AND ASPHALTIC CONCRETE SURFACING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460 AND 465 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, EDITION OF 2005, HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS THE STATE HIGHWAY SPECIFICATIONS.  
 WEATHER LIMITATIONS: APPLY TACK COATS WHEN AMBIENT TEMPERATURE IS ABOVE 50° F (10° C) AND WHEN TEMPERATURE HAS NOT BEEN BELOW 32° F (0° C) FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NOT APPLY WHEN BASE IS WET OR CONTAINS EXCESS OF MOISTURE. CONSTRUCT ASPHALTIC CONCRETE SURFACE COURSE WHEN ATMOSPHERIC TEMPERATURE IS ABOVE 40° (4° C) AND WHEN BASE IS DRY AND WHEN WEATHER IS NOT RAINY. BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30° F (-1° C).  
 GRADE CONTROL: ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION.  
 CRUSHED AGGREGATE BASE COURSE: THE TOP LAYER OF BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS.

### LEGEND

	LIGHT DUTY PAVEMENT		TAPER CURB HEAD (SEE DETAIL)
	HEAVY DUTY PAVEMENT		18" CURB & GUTTER (SEE DETAIL)
	CONCRETE PAVEMENT (TRUCK DOCKS & DOLLY PADS)		REVERSE 18" CURB & GUTTER (SEE DETAIL)
	CONCRETE SIDEWALK		5.0' WIDE CONCRETE SIDEWALK (SEE DETAIL)
	4" SOLID WHITE STRIPE		BUILDING DOOR SLAB (2% MAX SLOPE WITHIN DRIVE IN OR MAN DOOR)
	4" DIAGONAL AT 45° SPACED 2' O.C.		STEEL STAIRS (SEE ARCHITECTURAL PLANS)
	R7-8 HANDICAP PARKING SIGN (SEE DETAIL)		CONCRETE SLOPE PAVING
			PARKING COUNT- NOT TO BE PAINTED
			MAN DOOR
			OVERHEAD DOOR

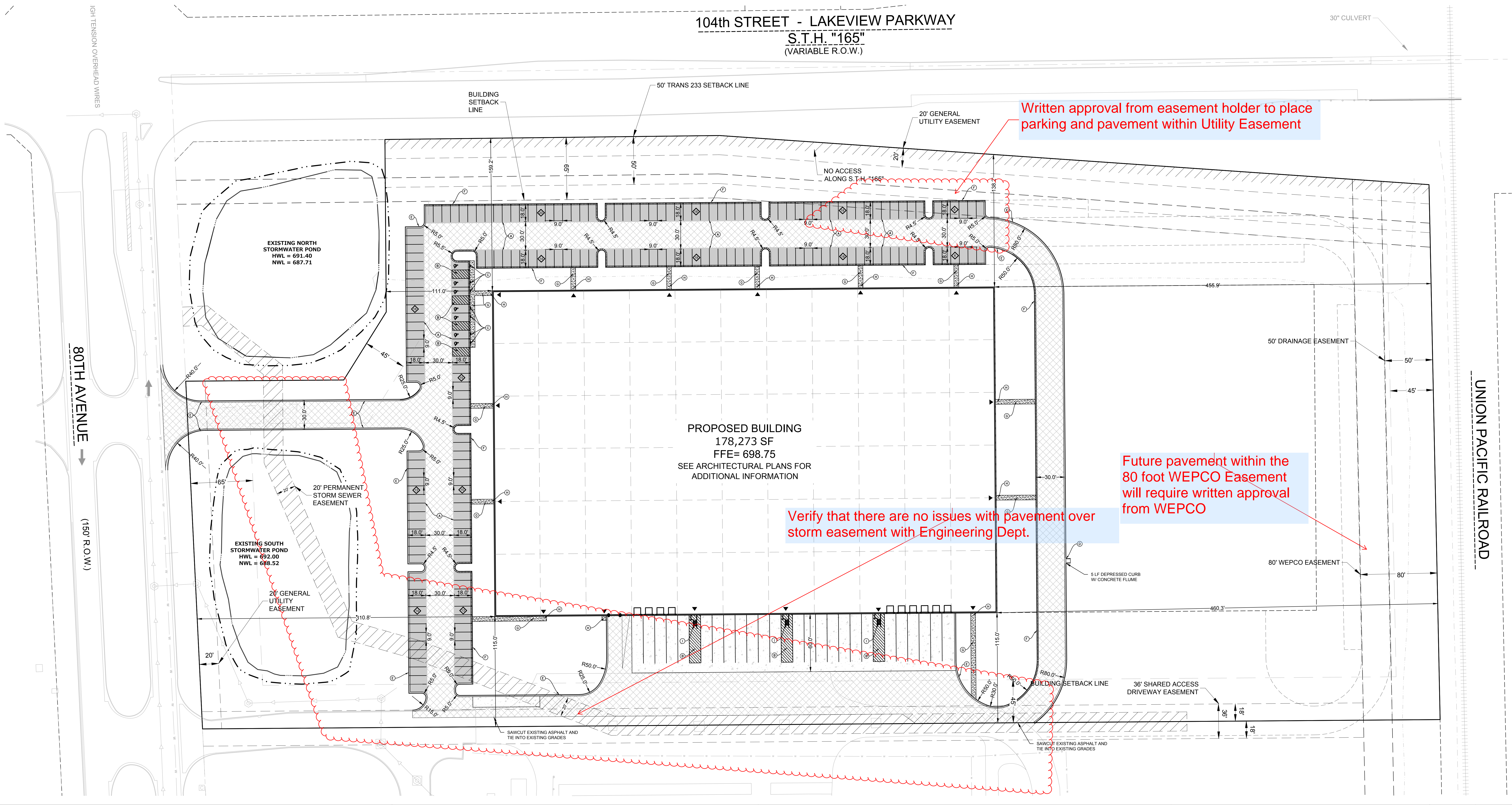
### EXISTING CONDITIONS SURVEY:

EXISTING CONDITIONS SURVEY PROVIDED BY PINNACLE ENGINEERING GROUP. ALTHOUGH PEG HAS NO REASON TO BELIEVE THE SURVEY IS INACCURATE, PEG MAKES NO WARRANTIES THAT EXISTING INFORMATION CONTAINED WITHIN THESE PLANS IS ALL-INCLUSIVE OR ACCURATE. CONTRACTOR SHALL UNDERTAKE NECESSARY EFFORTS TO VERIFY THE EXISTING CONDITIONS PRIOR TO THE START OF MATERIAL PROCUREMENT AND CONSTRUCTION EFFORTS/ACTIVITIES.

### SITE DATA

SITE AREA:	16.7 AC
DISTURBED AREA:	10.9 AC
BUILDING FOOTPRINT AREA:	4.1 AC (178,273 S.F.)
ADDED CAR PARKING SPACES:	206 SPACES (7 A.D.A.)
ADDED TRUCK DOCK SPACES:	25
PAVEMENT AREA:	3.1 AC
PAVEMENT AREA (WITH FUTURE EXPANSION):	4.6 AC
IMPERVIOUS AREA:	7.2 AC
IMPERVIOUS AREA (WITH FUTURE EXPANSION):	12.6 AC
GREEN SPACE:	9.5 AC (57%)
GREEN SPACE (WITH FUTURE EXPANSION):	4.1 AC (25%)
ZONING DISTRICT:	M-2
(PLEASANT PRAIRIE)	

GRAPHICAL SCALE (FEET)  
0 1" = 0' 80'



PLAN | DESIGN | DELIVER  
www.pinnacle-engr.com

**PINNACLE ENGINEERING GROUP**  
ENGINEERING | NATURAL RESOURCES | SURVEYING

WISCONSIN OFFICE:  
18850 W. BLUEMOUND ROAD  
BROOKFIELD, WI 53005  
(262) 754-8888  
CHICAGO | MILWAUKEE | RATIONSVILLE

**LAKEVIEW LOT 40**  
PLEASANT PRAIRIE, WI

**SITE DIMENSION & PAVING PLAN**

### REVISIONS

NO.	DESCRIPTION	DATE

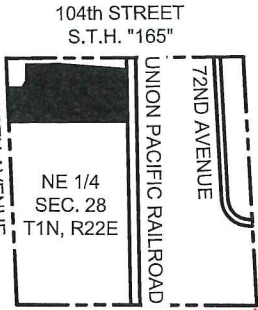
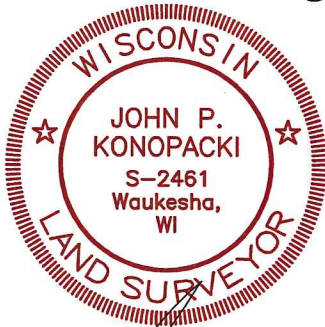
REG. NO. W-559.000A-WT  
REG. NO. MAC  
START DATE: 07/11/16  
SCALE: 1"=100'

SHEET  
C-3  
C-9

FOR REVIEW ONLY  
SITE DIMENSION & PAVING PLAN  
www.pinnacle-engr.com

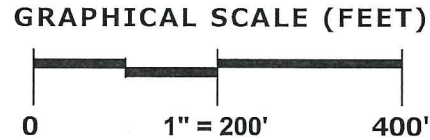
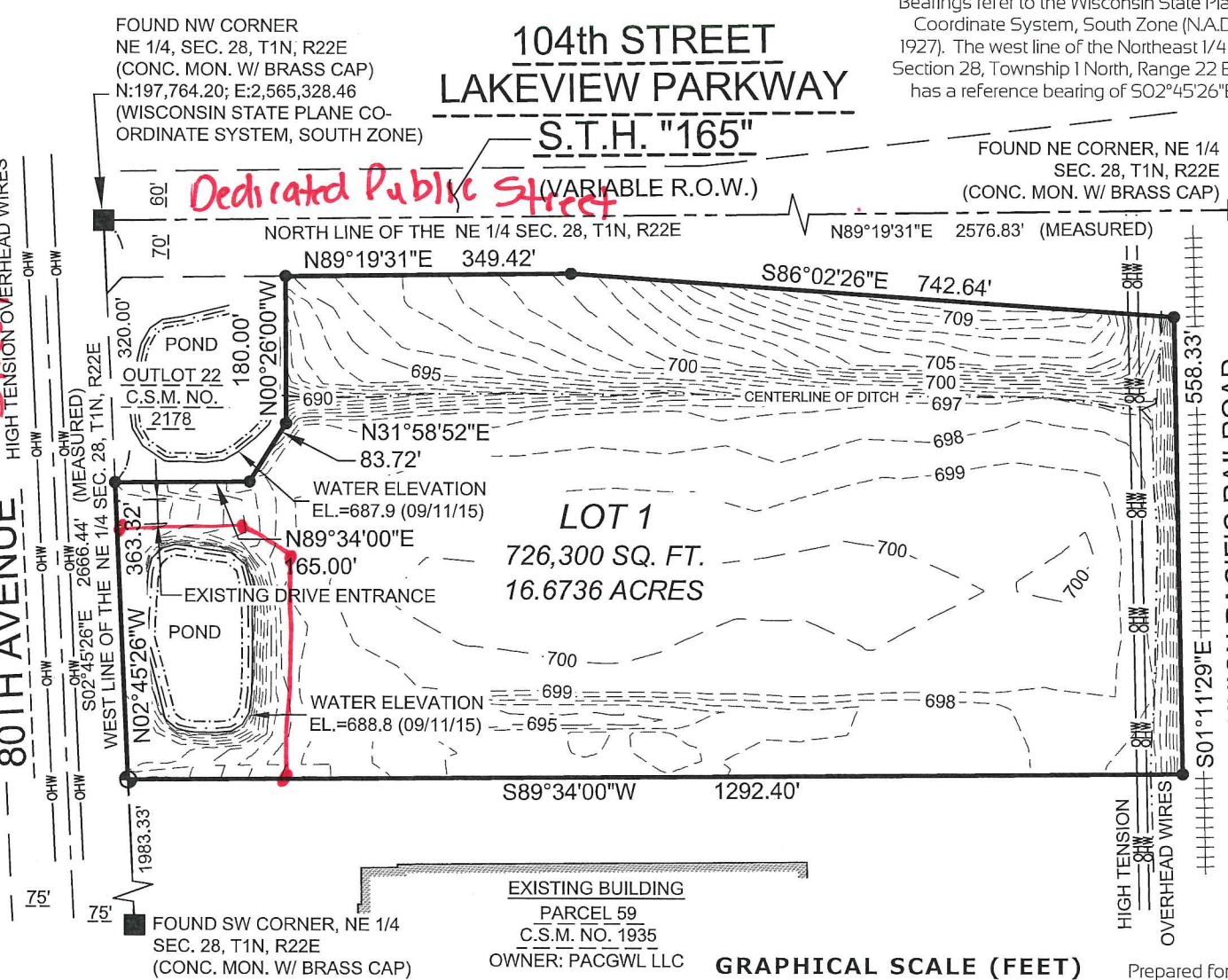
# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

Being a revision of Parcel 58 of Certified Survey Map No. 2178, being a part of the Northwest 1/4 of the Northeast 1/4 of Section 28, Town 1 North, Range 22 East, in the Village of Pleasant Prairie, County of Kenosha, State of Wisconsin.



VICINITY SKETCH  
SCALE 1"=2000'

*Dedicated Public Street*  
**80TH AVENUE**  
(150' R.O.W.)



**Subject Property**  
Zoning: M2 General Manufacturing District  
Tax Key Number: 92-4-122-281-0258

Bearings refer to the Wisconsin State Plane Coordinate System, South Zone (N.A.D. 1927). The west line of the Northeast 1/4 of Section 28, Township 1 North, Range 22 East has a reference bearing of S02°45'26"E.

**UNION PACIFIC RAILROAD**

- NOTES:**
- Outlot 22 of Certified Survey Map No. 2178 owned by LAKEVIEW CORPORATE PARK OWNERS ASSOCIATION INC.
  - Vertical Datum: National Geodetic Vertical Datum of 1929 (NGVD29). Contours are shown at a 1' interval based on actual ground survey of the current ground terrain. Reference Benchmark: Concrete monument with brass cap at the northwest corner of the Northeast 1/4 Section 28, Town 1 North, Range 22 East; Elevation = 690.73.
  - Flood Zone Classification: The property lies with in Zone "X" of the Flood Insurance Rate Map Community Panel No. 55059C0194D with an effective date of JUNE 19, 2012.
  - All measurements have been made to the nearest one-hundredth of a foot and all angular measurements have been made to the nearest one second.

Prepared for:  
Doheny Enterprises, Inc.  
6950 51st Street  
Kenosha, WI 53144  
847-366-6460

Prepared By:  
**PINNACLE ENGINEERING GROUP**  
15850 BLUEMOUND ROAD 1 SUITE 210  
BROOKFIELD, WI 53005  
OFFICE: (262) 754-8888







# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

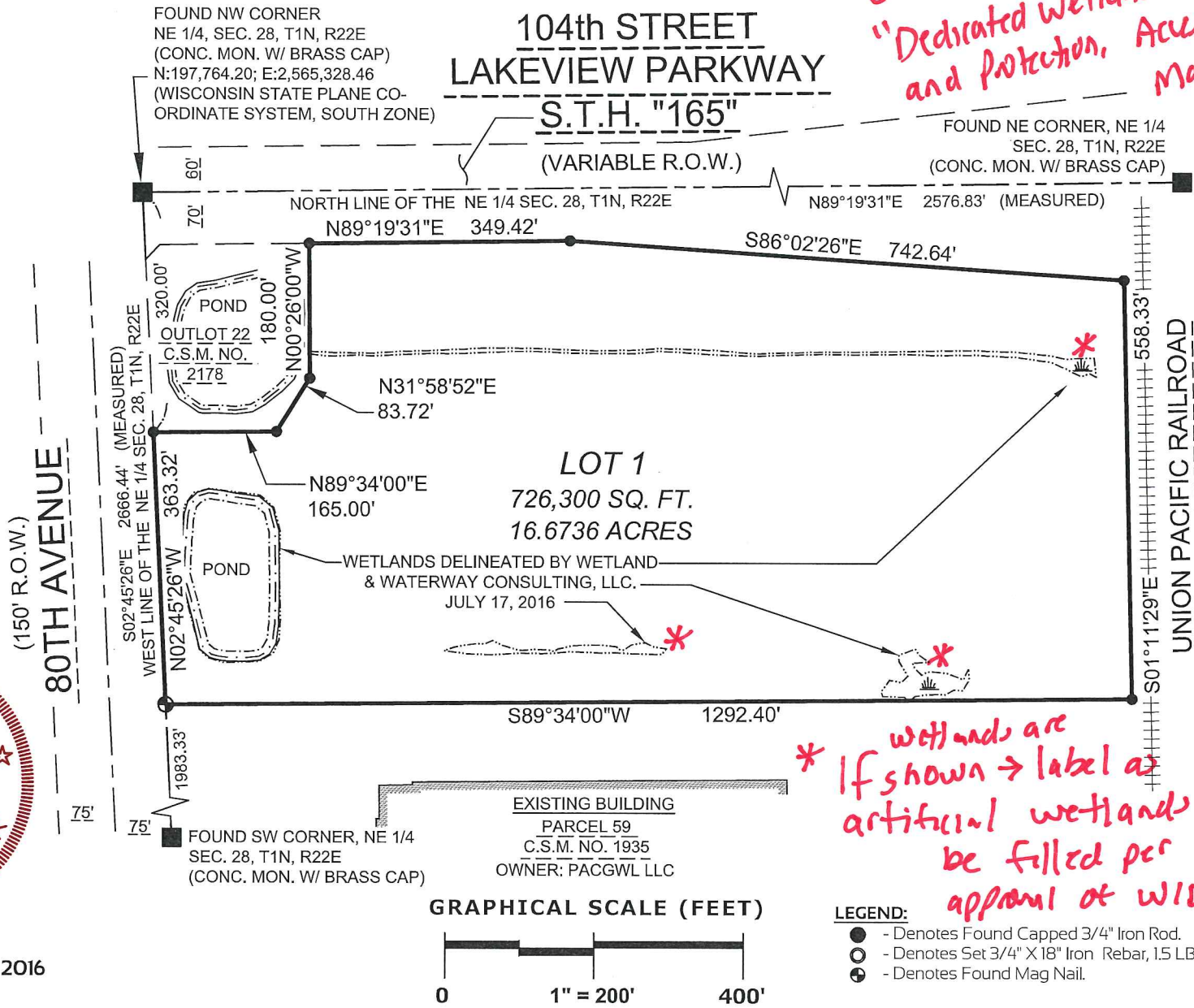
Being a revision of Parcel 58 of Certified Survey Map No. 2178, being a part of the Northwest 1/4 of the Northeast 1/4 of Section 28, Town 1 North, Range 22 East, in the Village of Pleasant Prairie, County of Kenosha, State of Wisconsin.



## WETLANDS

**NOTE:**  
- Wetlands delineated by Wetland & Waterway Consulting, LLC on July 17, 2016.

AUGUST 12, 2016



*For wetlands that remain -  
Label as  
"Dedicated Wetland Preservation  
and Protection, Access and  
Maintenance  
Easement"*

*\* If shown → label as  
artificial wetlands to  
be filled per  
approval of WIDNR.*

- LEGEND:**
- - Denotes Found Capped 3/4" Iron Rod.
  - - Denotes Set 3/4" X 18" Iron Rebar, 15 LBS./FT.
  - ⊕ - Denotes Found Mag Nail.

Prepared By:  
**PINNACLE ENGINEERING GROUP**  
15650 BLUEMOUND ROAD | SUITE 210  
BROOKFIELD, WI 53005  
OFFICE: (262) 754-8888

# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

Being a redivision of Parcel 58 of Certified Survey Map No. 2178, being a part of the Northwest 1/4 of the Northeast 1/4 of Section 28, Town 1 North, Range 22 East, in the Village of Pleasant Prairie, County of Kenosha, State of Wisconsin.

## SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN)  
WAUKESHA COUNTY) SS

I, John P. Konopacki, Professional Land Surveyor, do hereby certify:

That I have surveyed, mapped and redivided Parcel 58 of Certified Survey Map No. 2178, recorded in the Kenosha County Register of Deeds office on March 29, 2000, as Document No. 1177146, being a redivision of Parcel 58 of Certified Survey Map No. 1935, in the Northwest 1/4 of the Northeast 1/4 of Section 28, Town 1 North, Range 22 East, Village of Pleasant Prairie, Kenosha County, Wisconsin, which is bounded and described as follows:

Commencing at the northwest corner of said Northeast 1/4 of Section 28;  
Thence South 02°45'26" East along the west line of said Northeast 1/4 and the east right of way line of 80th Avenue, 320.00 feet to the Point of Beginning;  
Thence North 89°34'00" East along the south line of Outlot 22 of Certified Survey Map No. 2178, 165.00 feet;  
Thence North 31°58'52" East along the east line of said Outlot 22, 83.72 feet;  
Thence North 00°26'00" West along said east line, 180.00 feet to the south right of way line of 104th Street - Lakeview Parkway - State Trunk Highway "165";  
Thence North 89°19'31" East along said south right of way line, 349.42 feet;  
Thence South 86°02'26" East along said south right of way line, 742.64 feet to the west line of the Union Pacific Railroad;  
Thence South 01°11'29" East along said west line, 558.33 feet to the north line of Parcel 59 of Certified Survey Map No. 1935;  
Thence South 89°34'00" West along said north line, 1292.40 feet to the aforesaid west line of the Northeast 1/4 of Section 28 and the east right of way line of 80th Avenue;  
Thence North 02°45'26" West along said east right of way line, 363.32 feet to the Point of Beginning.

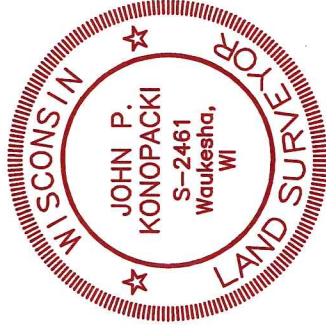
Containing 726,300 Square Feet (16.6736 Acres) land more or less.

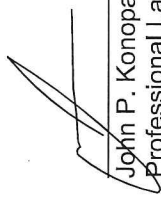
That I have made such survey, land division and map by the direction of Doheny Enterprises, Inc., owner of said land.

That such plat is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

That I have fully complied with the requirements of Chapter 236 of the Wisconsin State Statutes and the Village of Pleasant Prairie Land Division Ordinance in surveying, mapping and dividing the same.

Date: AUGUST 12, 2016



  
John P. Konopacki  
Professional Land Surveyor S-2461

*and  
Development  
Control*

## WISCONSIN DEPARTMENT OF TRANSPORTATION HIGHWAYTRANS 233 NOTES:

1. Setback Notes: There shall be no improvements or structures placed between the highway and the setback line.
2. Access Notes: As owner I hereby restrict all lots and blocks, in that no owner, possessor, user, nor licensee, nor other person shall have any right of direct vehicular ingress or egress with "5TH - "165", as shown on the plat; it being expressly intended that this restriction shall constitute a restriction for the benefit of the public according to 5236.293, Stats., and shall be enforceable by the Department of Transportation.
3. Noise Notes: The lots of this land division may experience noise at the levels exceeding the levels in 5Trans 405.04, Table I. These levels are based on federal standards. The Department of Transportation is not responsible for abating noise from existing state trunk highways or connecting highways, in the absence of any increase by the Department to the highway's through-lane capacity.

Prepared By:  
**PINNACLE ENGINEERING GROUP**  
15850 BLUEMOUND ROAD | SUITE 210  
BROOKFIELD, WI 53005  
OFFICE: (262) 754-8888

# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

Being a revision of Parcel 58 of Certified Survey Map No. 2178, being a part of the Northwest 1/4 of the Northeast 1/4 of Section 28, Town 1 North, Range 22 East, in the Village of Pleasant Prairie, County of Kenosha, State of Wisconsin.

The following "Dedication of Easement Provisions" and "Restrictive Covenants" were drafted by the Village of Pleasant Prairie and is shown heron as a condition of map approval. Inclusion thereof on this document is not to be considered practicing law in the State of Wisconsin by the above signed Land Surveyor, the Land Surveyor is not responsible for rights granted, perceived or otherwise stated herein.

## DEDICATIONS and EASEMENTS:

### 1. DEDICATED WETLAND PRESERVATION AND PROTECTION, ACCESS AND MAINTENANCE EASEMENT

A nonexclusive easement coextensive with the area shown as a Wetland Preservation and Protection, Access and Maintenance Easement area within Lot 1 on this CSM is hereby dedicated, given, granted and conveyed by the Owner to the Village for wetland protection and preservation and maintenance purposes and uses and for related ingress and egress. Unless the Village exercises the rights granted to it pursuant to this easement, the Village shall have no obligation to do anything related to its rights under this easement.

⇒ Add add'l  
dedication and  
easement language

## RESTRICTIVE COVENANTS:

1. The Owner hereby covenants that the Lot 1 Owner shall have the obligation of protecting and preserving the Wetland Preservation and Protection, Access and Maintenance Easement areas shown on Lot 1 of this CSM. Such preservation and maintenance shall include without limitation and as needed, removing of dead, dying or decayed trees, plant material or evasive species; re-planting wetland plant life as approved by the Village and the Wisconsin Department of Natural Resources; and removing of trash and debris in order to prevent a nuisance condition. No mowing or cutting of the wetland vegetation shall be allowed without the permission of the Village. No buildings, signage or fences shall be erected within the Wetland Preservation and Protection, Access and Maintenance Easement which may cause damage to the wetland area. The covenant shall run with the land and shall be binding upon the Owner of Lot 1 of this CSM, their successors, assigns and successors-in-title of the lands, in their capacity as Owners of such land, and shall benefit and be enforceable by the Village. The Owner of Lot 1 of this CSM shall perform such maintenance as may be needed, without compensation and to the satisfaction of the Village. This covenant will not restrict or prohibit the Owner of Lot 1 on this CSM from seeking and obtaining the required permits and approvals from the appropriate federal or State agencies having jurisdiction to fill or adjust the wetland areas on Lot 1 insofar as the appropriate permits and approvals are obtained from the federal, State and Village agencies prior to commencing any wetland disturbing or fill activities.

To the extent that the Village performs any such wetland related maintenance activities on behalf of the landowner, the Owner of Lot 1 shall be liable for any costs which may be incurred by the Village, which the Village may recover from such Owner as special assessments or special charges under Section 66.0627 (or successors and assigns or other similar provisions) of the Wisconsin Statutes or otherwise according to law. Unless the Village exercises the rights granted to it in the Dedication and Easement Provisions as referenced on this CSM, the Village shall have no obligation to do anything pursuant to its rights under the easement dedications.

Remove if wetlands are all filed

## CONSENT OF CORPORATE MORTGAGEE

\_\_\_\_\_, a corporation duly organized and existing under and by virtue of the laws of the State of \_\_\_\_\_ mortgagee of the described land, does hereby consent to the surveying, dividing and mapping of the land described in the forgoing affidavit of John P. Konopacki, surveyor, and does hereby consent to the certification of owner.

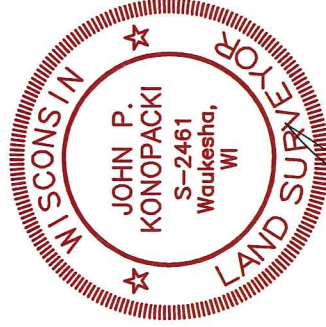
IN WITNESS WHEREOF, the said \_\_\_\_\_, has caused these presents to be signed by its President, and its corporate seal to be hereunto affixed this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

Date \_\_\_\_\_ President \_\_\_\_\_

STATE OF WISCONSIN) \_\_\_\_\_ COUNTY) SS

Personally came before me this \_\_\_\_\_ day of \_\_\_\_\_, 2016, \_\_\_\_\_, to me known to be the person who executed the foregoing instrument and to me known to be such officer of said corporation and acknowledged the same.

Notary Public \_\_\_\_\_  
Name: \_\_\_\_\_  
State of Wisconsin \_\_\_\_\_  
My Commission Expires: \_\_\_\_\_



Prepared By:

**PINNACLE ENGINEERING GROUP**  
15850 BLUEMOUND ROAD | SUITE 210  
BROOKFIELD, WI 53005  
OFFICE: (262) 754-8888

AUGUST 12, 2016

This instrument drafted by John P. Konopacki, PL S-License No. S-2461

PEGJOB#559.00  
SHEET 6 OF 7

# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

Being a redivision of Parcel 58 of Certified Survey Map No. 2178, being a part of the Northwest 1/4 of the Northeast 1/4 of Section 28, Town 1 North, Range 22 East, in the Village of Pleasant Prairie, County of Kenosha, State of Wisconsin.

## PLAN COMMISSION APPROVAL

Approved by the Plan Commission of the Village of Pleasant Prairie on this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

Date \_\_\_\_\_

Thomas W. Terwall, Chairman

## VILLAGE BOARD APPROVAL

Approved by the Village Board of the Village of Pleasant Prairie, Wisconsin, on this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

Date \_\_\_\_\_

John P. Steinbrink, Village President

Date \_\_\_\_\_

Jane M. Romanowski, Village Clerk

## OWNER'S CERTIFICATE

Doheny Enterprises, Inc., a corporation duly organized and existing under and by virtue of the laws of the State of \_\_\_\_\_, as owner, does hereby certify that said corporation caused the land described on this certified survey map to be surveyed, divided and mapped as represented on this certified survey map.

Doheny Enterprises, Inc., as owner, does further certify that this certified survey map is required by Chapter 236 of the Wisconsin State Statutes to be submitted to the following for approval or objection:

1. Village of Pleasant Prairie

IN WITNESS WHEREOF, the said Doheny Enterprises, Inc. has caused these presents to be signed by (name) \_\_\_\_\_, (title) \_\_\_\_\_, at \_\_\_\_\_, on this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

In the presence of: Doheny Enterprises, Inc.

Name - Title \_\_\_\_\_

STATE OF \_\_\_\_\_ COUNTY ) SS

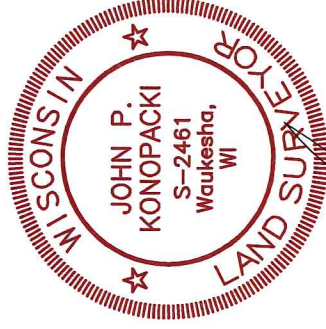
Personally came before me this \_\_\_\_\_ day of \_\_\_\_\_, 2016, (name) \_\_\_\_\_, (title) \_\_\_\_\_ and to me known to be such \_\_\_\_\_ of the above named corporation, to me known to be the person who executed the foregoing instrument, as such officer as the deed of said corporation, and acknowledged that they executed the foregoing instrument by its authority.

Notary Public \_\_\_\_\_

Name: \_\_\_\_\_

State of \_\_\_\_\_

My Commission Expires: \_\_\_\_\_



  
JULY 13, 2016

Prepared By:

**PINNACLE ENGINEERING GROUP**  
15850 BLUEMOUND ROAD | SUITE 210  
BROOKFIELD, WI 53005  
OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

PEG JOB#5559.00  
SHEET 7 OF 7

## DRAFT

### DOHENY ENTERPRISES, INC. DEDICATION AND EASEMENT PROVISIONS

1. The fee interest in the areas shown as a **Dedicated Public Street** on this Certified Survey Map (CSM) was previously dedicated, given, granted and conveyed by the previous landowner to the Village of Pleasant Prairie, its successors and assigns (the "Village") as it pertains to 80<sup>th</sup> Avenue and to the Wisconsin Department of Transportation (the "WI DOT") as it pertains to State Trunk Highway (STH) 165 for the construction, installation, repair, alteration, replacement, planting and maintenance of public highway improvements, uses and purposes, including, without limitation, pavement, curbs and gutters, bike lanes, if required by the Village or WI DOT, street signs, street lights, street trees, sanitary sewerage system improvements, water system improvements, storm sewer and drainage system improvements, utility and communications facilities, street tree landscaping, and for all related ingress and egress, construction, installation, repair, alteration, replacement, planting and maintenance activities. Such fee interest is subject to the following: a nonexclusive easement hereby reserved by the current Owner or the future Owner(s) of the Lot shown on this CSM which is adjacent to the Dedicated Public Street for the required planting, mowing, watering and maintenance of grass within the grassy terrace area, for the maintenance and replanting of street trees and the clearance, maintenance, repair and replacement of the bike lane, if required by the Village or WI DOT in the area between the roadway and the Lot. In the event of any conflict between the rights of the Village or the WI DOT under its existing fee interest in the Dedicated Public Street areas shown on this CSM and the rights of the Owner, or of the future Owners of the Lot, or of the LakeView Corporate Park Owners' Association, Inc. pursuant to the dedication retained herein, the rights of the Village or the WI DOT shall be deemed to be superior.
2. Perpetual nonexclusive easements coextensive with the areas shown as a **Dedicated 20' General Utility Easement** on this CSM were dedicated, given, granted and conveyed by the previous Owner as shown on CSM No. 2178 and recorded at the Kenosha County Register of Deeds Office for those utilities including, but not limited to, those commonly known as WE Energies, AT & T and Time Warner Cable Inc. and their respective successors and assigns (collectively the "Utility and Communications Grantees"), for the purposes of constructing, installing, operating, repairing, altering, replacing and maintaining utility and communication lines and other related facilities to serve Lot 1 and for any related ingress and egress. This Dedicated General Utility Easement shall also include the right to trim or cut down trees, bushes, branches, and roots as may be reasonably required, that are interfering with the Utility and Communication Grantees use of the easement areas. To the extent possible, all such utility and communications lines and facilities shall be installed underground. Upon the installation of the utility cables and related appurtenances, the elevation of the existing ground surface within the Dedicated General Utility Easement area shall only be altered in accordance with separate agreement between Utility and Communications Grantees and Grantor and as may be approved by the Village. Upon the installation of the utilities, restoration of all such land, as nearly as is reasonably possible, to the condition existing prior to installation of such utilities within the General Utility Easement areas on which such easements are located as

does not interfere with the purpose of the utility and communications easements and the use of such easements by the Utility and Communications Grantees in accordance with a separate agreement between the Grantor and Grantees regarding the transfer of the restoration and maintenance responsibilities. No buildings, fences, or structures of any kind shall be placed within the General Utility Easement areas without the prior written approval of the Utility and Communication Grantees.

The Village generally allows private utilities, including but not limited to electric and communications facilities, to be installed in public street rights-of-way areas with prior written approval from the Village, subject to the requirements of applicable Village ordinances and the requirements of such public uses and purposes of the Village. Further, each individual private utility, electric or communications company shall be responsible for promptly restoring the public street areas to their pre-existing condition, at its own cost, after any use of such areas. In the event the private companies do not restore the public street areas to a vegetatively stabilized condition, the Owner shall be ultimately responsible for the costs of such restoration and may pursue its remedies against the respective utility company(ies). Under no circumstances shall any private utility, electric or communications company conduct any open cutting of the public streets without prior written approval of the Village. Any such private utility or communications facilities shall be promptly relocated, at the cost of the individual utility, electric or communications company, upon written request of the Village, to serve the public functions and purposes of the Village in the public street area. In the event of any conflict between the rights of the Village and the rights of the private utility, electric or communications company in such public street areas, the Village's rights shall be deemed to be superior.

3. A perpetual nonexclusive easement coextensive with the area shown as a **Dedicated Storm Water Management, Retention Basin, Access and Maintenance Easement** within Outlot 1 on this CSM is hereby dedicated, given, granted and conveyed by Doheny Enterprises, Inc. to the Village for the Owner's and adjacent land owners private storm water drainage system improvements, storm water retention basin storage and conveyance, uses and purposes, and for all related ingress and egress, construction, installation, repair, alteration, replacement and maintenance activities. This Dedicated Storm Water Management, Retention Basin, Access and Maintenance Easement shall be exclusive, except for the Owner's use, planting and irrigating, care and maintenance of the Dedicated Storm Water Management, Retention Basin, Access and Maintenance Easement area on Outlot 1 as it will not interfere with the improvements, uses and purposes of the Village. Because off-site land corporate park owners are benefitting from the Outlot 1 retention basin and related storm water drainage system improvements, the Owner intends to dedicate Outlot 1 in a fee interest transfer to the LakeView Corporate Park Owners' Association, Inc. for private storm water drainage system improvements, storm water retention basin storage and conveyance, uses and purposes, and for all related ingress and egress, construction, installation, repair, alteration, replacement and maintenance activities. In the event of any conflicts between the rights of the Village pursuant to the Dedicated Storm Water Management, Retention Basin, Access and Maintenance Easement and the rights of any other persons or entities with respect to the Dedicated Easement, the Village's rights under this Easement shall be deemed to be superior.

## RESTRICTIVE COVENANTS

1. The Owner hereby covenants that Doheny Enterprises, Inc. (the "Owner") or its successor-in-title (LakeView Corporate Park Owner's Association, Inc.) shall have the obligation of maintaining the **Dedicated Storm Water Drainage, Retention Basin, Access and Maintenance Easement** area shown as Outlot 1 on this CSM in a functional, neat and nuisance free condition to handle storm water in and draining to the Lot until and unless said Outlot 1 is transferred to the LakeView Corporate Park Owner's Association, Inc. as the new Outlot 1 Owner. Such maintenance shall include, without limitation and as needed, grading, seeding or sodding, maintaining erosion control methods to protect the drainageways; ditching to re-establish design capacity; removing of trash, debris, leaves and brush; clearing, repairing and replacing inlets, outlets and catch basin structures; mowing; and weeding to prevent nuisance conditions. The Outlot 1 Owner further covenants that there shall be no structures, fences, gates, signs, berming or altering of the grade of the land within the Easement area which blocks, diverts or re-routes the drainage flow or which might interfere with the storm water function and flow, unless express written approval is granted by the Village and subject to any such conditions as the Village may impose. This covenant shall run with the land, shall be binding upon the Owner, its successors, successors and assigns and successors-in-title of the land, in their capacity as the Owner of Outlot 1, and shall benefit and be enforceable by the Village.

To the extent that the Village performs any such storm water drainage or retention basin related maintenance activities on the Outlot 1 property, the Owner shall be liable for any costs which may be incurred by the Village, which the Village may recover from such Owner as special assessments or special charges under Section 66.0627 (or successors or similar provisions) of the Wisconsin Statutes or otherwise according to law. Unless the Village exercises the rights granted to it in the Dedication and Easement Provisions on this CSM, the Village shall have no obligation to do anything pursuant to its rights under these easement dedications.
2. The Owner hereby covenants that the Lot 1 Owner shall have the obligation of planting, maintaining and replacing the **Street Trees** located within the 88<sup>th</sup> Avenue right-of-way area shown on this CSM. Such planting and maintenance shall include without limitation and as needed planting, staking, mulching, weeding, pruning, watering, replanting, and removing of trash, debris, leaves and brush around the trees in order to prevent a nuisance condition. No driveways, signage, mail boxes, parking areas, structures or fences shall be erected within the right-of-ways, which might damage the street trees or might interfere with the Village's rights to maintain the public street improvements, unless approved by the Village. This covenant shall run with the land, shall be binding upon the Owner, its successors, successors and assigns and successors-in-title of the land, in their capacity as the Owner of Lot 1, and shall benefit and be enforceable by the Village. Such street tree planting and maintenance shall be performed regularly, without compensation, and to the satisfaction of the Village.

To the extent that the Village performs any such street tree related maintenance



activities, the Owner shall be liable for any costs which may be incurred by the Village, which the Village may recover from such Owners as special assessments or special charges under Section 66.0627 (or successors or similar provisions) of the Wisconsin Statutes or otherwise according to law.

Development Projects/Commercial LakeView Corporate Park Developments/Doheny/Dedication and Easement Provisions



VILLAGE OF PLEASANT PRAIRIE  
 SITE AND OPERATIONAL PLAN  
 AND CONDITIONAL USE PERMIT ZONING APPLICATION

**USE THIS FORM FOR:**  
 Tenants/Use changes proposing to occupy 50% or more of an existing commercial/industrial building.  
 To construct a new or addition to principal or accessory structure.  
 Use requires a Conditional Use Permit.

FOR OFFICE USE ONLY	
Application Filed on	20
Preliminary Determination of Completeness on:	20
Revised Plans Submitted:	20
<input type="checkbox"/> Public Hearing Required: Hearing Date:	20
Published on: and	20 Notices sent on: 20
Approved by <input type="checkbox"/> Plan Commission on	20
<input type="checkbox"/> Zoning Administrator on	20
Denied by <input type="checkbox"/> Plan Commission on	20
<input type="checkbox"/> Zoning Administrator on	20

**SECTION 1: GENERAL INFORMATION**

NAME OF BUSINESS: Doherty Enterprises, Inc.  
 SITE ADDRESS: 7707 104th Street  
 BRIEF PROJECT DESCRIPTION: Approximately 175,000 sq Warehouse for distribution of consumer pack supplies. Project will include approximately 15,000 sq of office functions.  
 PROPOSED NUMBER OF FULL TIME EMPLOYEES: 55  
 PROPOSED NUMBER OF PART-TIME EMPLOYEES: 140  
 SITE SIZE: 726,300 sq. ft. 16.6736 acres  
 PROPOSED BUILDING SIZE: Approx 178,000 sq.ft. HEIGHT: approx 40'-6" ft.  
 PROPOSED ADDITION SIZE: — sq.ft. HEIGHT: — ft.  
 LEGAL DESCRIPTION: SEE ATTACHED

TAX PARCEL NUMBER(S): 92-4-122-281-025B  
 CURRENT ZONING CLASSIFICATION(S) OF THE PROPERTY: \_\_\_\_\_

1. Is a zoning map amendment proposed with this project?  Yes  No  
 ▪ If yes, proposed Zoning Classification(s): \_\_\_\_\_
2. Is a zoning text amendment proposed with this project?  Yes  No  
 ▪ If yes, provide a copy of the proposed text amendment with this application

3. If property is zoned M-1 or M-2, indicate the Occupancy Type pursuant to the Use and Occupancy Classification specified in Chapter 3 of the 2006 International Building Code (2006 IBC). Include all that apply and associated square footage for each classification:

- Factory Group F-1 (Moderate-hazard) \_\_\_\_\_ sq ft
- Factory Group F-2 (Low-hazard) \_\_\_\_\_ sq ft
- Storage Group S-1 (Moderate-hazard) 163,000 sq ft
- Storage Group S-2 (Low-hazard) \_\_\_\_\_ sq ft
- Business Group B 15,000 sq ft
- High-Hazard Group H\* \_\_\_\_\_ sq ft
- Other \_\_\_\_\_ sq ft
- Other \_\_\_\_\_ sq ft

*\*If Use and Occupancy Classification is High-Hazard Group H please provide a detailed written narrative that explains the specific use, quantity of storage and handling of the high hazard materials along with appropriate MSSD sheets with this application.*

**PUBLIC SERVICES:**

1. Is the property serviced by Public Sanitary Sewer?  YES  NO
  - If no, the closest public sewer is located at \_\_\_\_\_
2. Is the property serviced by Public Water?  YES  NO
  - If no, the closest public water is located at \_\_\_\_\_
3. Maximum number of gallons/minute of water expected to be used per day is: ~~120 GPM~~  
EST. 30 GPM

**THIS APPLICATION IS FOR A: (check one)**

- Preliminary Site and Operational Plan:** An applicant may apply for preliminary site and operational plan approval in connection with an erosion control permit application for early mass grading, or in connection with an early foundation permit, or for other good cause shown
- New Site and Operational Plan**
- Amendment to an existing Site and Operational Plan**
  - Date of initial site and operational plan approval: \_\_\_\_\_
  - Date of each approved amendment: \_\_\_\_\_

**SECTION 2: EXISTING USES AND BUILDINGS ON THE SITE**

Are there any existing buildings on the site?  YES  NO

- If yes, provide an attachment that explains the current uses on the property and current uses in each building and if the use(s) is proposed to continue; and the gross floor area and height of each building.
- If no, what is the current use of the property? VACANT LAND

**SECTION 3: PHOTOGRAPHS**

**Standard-sized photographs** (not Polaroid) showing all aspects of the site (e.g. locations of proposed improvements, bodies of navigable water, wetlands, wooded areas, etc.) and of the exterior of structures or other site improvements, together with a statement regarding each photograph, which includes the date the photograph was taken, the location from which it was taken, the direction in which the camera was pointed, and a description of what is shown in the photograph. With respect to all existing signs, the applicant shall file photographs of all existing signs and shall specify in the written statement accompanying each such photograph and show the dimensions of such sign. Digital images are acceptable.

**SECTION 4: CONDITIONAL USE**

1. **Does the proposed project require a Conditional Use Permit?**  YES  NO
  - If no then skip to Section 5.
  - If yes, then continue with this Section.
2. **Are you amending an existing Conditional Use Permit?**  YES  NO
  - If yes, provide a copy of the Conditional Use Grant Document you are proposing to amend.
  - If no, continue with this Section.
3. If you answered YES to either question 1 or 2 above then this application shall include information as to how the proposed project will not impair an adequate supply of light and air to adjacent properties; increase danger of fire; cause traffic congestion or traffic circulation problems; create storm water flooding or drainage; create obnoxious odors, problems or otherwise endanger the public health, safety or welfare; will not hinder, harm or distract the provision of public services; and that the proposed project is not inherently inconsistent with either the district in which it is located or adjoining districts or neighborhoods as required pursuant to the Village Zoning Ordinance.

**SECTION 5: NON-CONFORMING USE**

1. **Is any use on the site a nonconforming use?**  YES  NO
  - If no, then skip to Section 7.
  - If yes, then continue with this section.
2. If you answered YES to question 1 above, prima facie proof of each element of legal nonconforming use status shall be submitted to the Village with this application (i.e. that the nonconforming use was legal in its inception, that the use was active and actual and not merely casual, occasional, incidental or accessory when it became nonconforming, that the use has been continuous with no gap of 12 or more consecutive months since it became nonconforming, that no building or structure housing the nonconforming use has been structurally repaired or altered to the extent of fifty (50) percent or more of its assessed value since the use became nonconforming, and that the use has not been changed in nature or physically extended or expanded since becoming nonconforming).

## SECTION 6: PERFORMANCE STANDARDS

Pursuant to the Village Zoning Ordinance, any application for a permit under this ordinance or any use subject to the regulations and standards set forth in the Village Zoning Ordinance shall be accompanied by a sworn statement by the owner of the subject property that said property and use will be operated in accordance with the performance standards set forth in Section 420-38 of the Village Ordinance. Continued compliance with the regulations and standards is required. Violations of such standards shall be remedied as required by the Village Zoning Ordinance.

No land or building in any district shall be operated in such a manner so as to create any dangerous, injurious, noxious or otherwise objectionable fire, explosive or other hazard; noise or vibration, smoke, dust, dirt or other form of air pollution; water pollution; electrical, radioactive or other disturbances; glare; or other substance, condition or element (referred to herein as "dangerous or objectionable elements") in such amount as to adversely affect the surrounding area or premises; provided that any use permitted by this ordinance may be undertaken and maintained if it conforms to the regulations of this subsection limiting dangerous and objectionable elements at the specified point or points of the determination of their existence.

The Village may require additional information be submitted to ensure that the Village Performance Standards are being met.

## SECTION 7: PLAN COMPONENTS

The application shall include a list of all documents, materials or information that are attached to and a part of the application form. Submit eight (8) full-sized and one (1) set reduced to 11" x 17" of all plans and other attachments shall be included as part of this application, except if a component has been waived or deferred in writing by the Village Zoning Administrator. **For specific details related to each of the required information and plans see the attachment entitled "Plan Components and Related Standards" in Section 420-57 of the Village Zoning Ordinance.**

- Application—Applicant, Site, Use, Project and Plan Information
- Application fee
- Operational plan
- Title sheet
- Survey
- Site plan
- Grading and drainage plan
- Building and fire protection plans
- Lighting plan
- Landscape and open space plan
- Signage plan
- Industrial/commercial waste survey
- Performance standards compliance
- Additional requirements, as determined by the Village Zoning Administrator, other appropriate Village staff members, or the Village Plan Commission, as appropriate.

Two or more plans may be combined, provided that all of the information submitted on the combined plan is clearly legible, but in no case shall the combined plans fail to show any of the information required for each individual plan as described below, unless such information is waived or deferred pursuant to the Zoning Ordinance.

**SECTION 8: SIGNATURES**

I, (We), hereby certify that all the above statements and all attachments submitted herewith are true and correct to the best of my knowledge. In addition I, (we) understand the requirements and procedures for Site and Operational Plan/Conditional Use Permit approval.

**PROPERTY OWNER:**

Name: Edward H. Harty, Jr.  
 (Please Print)  
 Signature: [Signature]  
 Address: 1808 Swift Drive 60523  
Oak Brook IL  
 (City) (State) (Zip)  
 Phone: 630-586-8167  
 Fax: \_\_\_\_\_  
 E-mail: ehartyjr@centegy.com  
 Date: 7/15/2016

**APPLICANT:**

Name: JOHN T. DOHEANY  
 (Please Print)  
 Signature: [Signature]  
 Address: 6950 81st St.  
KENOSHA WI 53144  
 (City) (State) (Zip)  
 Phone: 262 605 3010  
 Fax: 262 605 1079  
 E-mail: JOHN@DOHEANY.COM  
 Date: 7/13/16

Is the applicant the owner of the property?  YES  NO

If no, then either proof of the applicant's legal interest in the subject real property (e.g. accepted offer to purchase, lease, etc., which may be appropriately redacted to preserve confidential information) or written authorization signed by the owner for the applicant to act as the owner's agent in connection with the application shall be included with the application.

**DEVELOPER (if Applicable)**

Name: \_\_\_\_\_  
 (Please Print)  
 Signature: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 (City) (State) (Zip)  
 Phone: \_\_\_\_\_  
 Fax: \_\_\_\_\_  
 E-mail: \_\_\_\_\_  
 Date: \_\_\_\_\_

**USER OR OCCUPANT OF SITE:**

Name: \_\_\_\_\_  
 (Please Print)  
 Signature: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 (City) (State) (Zip)  
 Phone: \_\_\_\_\_  
 Fax: \_\_\_\_\_  
 E-mail: \_\_\_\_\_  
 Date: \_\_\_\_\_

Lot 40 – Doheny Enterprises

**Legal Description:**

As described in Chicago Title Insurance Company commitment number KE-2619 with an effective date of October 15, 2015 and issued October 26, 2015

Parcel A:

Parcel 58 of Certified Survey Map No/ 2178, recorded in the Kenosha County Register of Deeds office on March 29, 2000, as Document No. 1177146, being a redivision of Parcel 58 of Certified Survey Map No. 1935, in the Northwest  $\frac{1}{4}$  of the Northeast  $\frac{1}{4}$  of Section 28, Town 1 North, Range 22 East, in the Village of Pleasant Prairie, County of Kenosha, State of Wisconsin.

Operational plan.

(1) Operational plan requirements. The applicant shall prepare and file as part of the application for site and operational plan approval an operational plan which shall include at least the following information or materials:

(a) A detailed narrative description of the operations, processes and functions of the existing and proposed uses to be conducted in or on the real property constituting the site, together with any diagrams, maps, charts or other visual aids that are helpful in understanding the operations and any potential adverse impacts on neighboring properties.

Doheny's is a leader in the swimming pool supply industry with 10 distribution centers nationwide. Doheny's has been in Kenosha for 20 years and is currently in 3 warehouses there with plans to consolidate those locations into a single distribution center in Pleasant Prairie. The company sells swimming pool supplies to the consumer and commercial markets via catalogs, websites, outbound telemarketing and a local retail pool store. The primary function of the proposed distribution center is to house our contact center, warehousing functions of pick, pack and shipping via FedEx, UPS, and common carrier. The company will not manufacture or assembly any items at this facility and it will act solely as storage of dry finished goods. The company is seasonal with peak employment and inbound outbound shipping traffic during the warmer months of the year.

(b) A detailed description of the proposed project or activity giving rise to the need for site and operational plan approval and a detailed explanation of how such project or activity relates to the site and to the existing or proposed operations to be conducted in or on the real property constituting the site.

The proposed project is to construct a new 175,000 36' clear distribution center on the vacant lot located at 7707 104<sup>th</sup> St. Construction will start in the fall of 2016 with a completion in 2017.

(c) Gross floor area of the existing building(s) and/or proposed addition.

175,000 sq/ft

(d) Anticipated hours of operation, hours open to the public, and hours of deliveries or shipments.

8:00am until 5pm – peak hours 6:00am until 10:00pm

(e) Anticipated startup and total number of full- and part-time employees.

Doheny's employs 55 fulltime employees and 140 seasonal.

(f) Anticipated number of shifts and the anticipated number of employees per shift.

Doheny's contact center runs M-F 8am-6pm for non-seasonal months (Oct-Feb) and M-F 6am-10pm and S-S 8am-5pm for its peak season (March-Sept)

Doheny's warehouse runs M-F 8am-6pm for non-seasonal months (Oct-Feb) and M-F 6am-8pm and S-S 8am-1pm for its peak season (March-Sept)

(g) Anticipated maximum number of employees on site at any time of the day.

Doheny's would anticipate 140 employees on its peak day

(h) Number of anticipated students, participants or persons to be gathered in places of assembly, if applicable.

n/a

(i) Number of parking spaces required per this chapter and the method used to calculate such number.

160 parking spaces calculated based on prior need (note: not all employees of Doheny's require a parking spot)



(j) Number of existing and proposed on-site parking spaces to be provided (conventional spaces and handicapped accessible spaces to be stated separately).

208 parking spaces, 1 per 1,000 sq/ft of space

(k) Anticipated daily average and maximum potential number of automobile trips to and from the site (excluding trucks).

Peak 150 cars

(l) Anticipated daily average and maximum potential number of truck trips to and from the site.

Peak 30 trucks

(m) Types and quantities of goods and materials to be made, used or stored on site.

The products stored at this facility will be swimming pool supplies. Mainly swimming pool chemicals, pool equipment, and accessories.

(n) Types of equipment or machinery to be used on site.

Fork Lifts are the only equipment used and no machinery.

(o) Types and quantities of solid or liquid waste materials which will require disposal.

n/a

(p) Method of handling, storing and disposing of solid or liquid waste materials.

n/a

(q) Methods of providing site and building security other than the Village Police Department.

Typical distribution offsite monitoring security system with cameras

(r) Description of the methods to be used to maintain all buildings, structures, site improvements and sites in a safe, structurally sound, neat, well cared for and attractive condition.

As an owner occupied site the care and attention to detail will always be maintained at the highest levels.

(s) Description of potential adverse impacts to neighboring properties or public facilities and measures to be taken to eliminate or minimize such adverse impacts.

We do not anticipate any adverse impact outside of typical construction. We plan for site grading, utilities, footings, this fall and wall and final construction starting in the spring.

(t) A list of all local, Kenosha County (highway access), State and federal permits or approvals required for the project or activity giving rise to the need for site and operational plan approval. Provide copies of such permits and approvals that have been obtained.

Will submit

(2) Operational plan standards. In addition to any other applicable requirements or standards specified in this chapter, the following requirements or standards shall apply to the operational plan:

(a) No use shall be conducted in such a way as to constitute a public or private nuisance.

(b) No use shall be conducted in such a way as to violate any of the performance standards set out in § [420-38](#) of this chapter.

(c) (reserved)

(d) No owner, occupant or user of real property shall conduct a use so intensively that there is inadequate provision of on-site parking spaces and/or loading spaces to accommodate the needs of such use.

(e) All buildings, structures, site improvements and sites shall be maintained in a safe, structurally sound, neat, well cared for and attractive condition.

(f) Within a building, any provision of live entertainment in connection with a business or club use involving the selling or service of alcoholic beverages shall comply with the following restrictions:

[1] Live entertainment shall be provided only on a raised platform that is not less than 23 inches higher than the elevation of the surrounding floor surfaces where customers, members or their guests are sitting, standing or dancing;

[2] Customers, members or their guests shall at all times be separated from the raised platform on which live entertainment is being provided by a distance of not less than four feet and a physical barrier to mark and enforce such separation distance; and

[3] There shall be no touching of any kind between entertainers and customers, members or their guests.

(g) No proposed new or expanded use shall be permitted to create or significantly exacerbate unsafe traffic conditions on any street or highway in the Village.

(h) Indoor pyrotechnic displays are prohibited.

Return to: Katrina Karow  
Kenosha Water Utility  
4401 Green Bay Road  
Kenosha, WI 53144  
Email: kkarow@kenosha.org

Date Sent: 7-18-16  
Date Due: \_\_\_\_\_

**VILLAGE OF PLEASANT PRAIRIE  
INDUSTRIAL WASTE SURVEY**

To be submitted to the  
**Kenosha Water Utility**

**General Information**

1. Facility Name: DOHENY'S
2. Mailing Address: 6950 51<sup>ST</sup> ST.
3. City, State, Zip Code: KENOSHA WI 53144
4. Site Address: 7707 104<sup>th</sup> ST LOT 40
5. Standard Industrial Classification Code (SIC): \_\_\_\_\_
6. Name, Title and Telephone Number of the Authorized Representative and the Company Contact Person Responsible for Environmental Compliance.

*Authorized Representative*  
Name: JOAN DOHENY  
Title: PRESIDENT  
Phone #: 262 605 3010

*Company Contact*  
Name: JOAN DOHENY  
Title: PRESIDENT  
Phone #: 262 605 3010

The authorized representative must be a president, secretary, treasurer, or vice-president of the corporation in charge of a principle business function, or general partner or proprietor, or an individual designated by the aforementioned corporate official. The designated individual must meet the following criteria: (1) the person must be responsible for the overall operation of the facilities from which discharges originate, (2) the person is authorized in writing, and (3) the written authorization is submitted to the POTW.

7. List All Environmental Control Permits Held by or for the Facility.

N/A  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Operational Characteristics**

- 1. Existing Number of Employees: Full Time 55 Part Time 140
- 2. Operational Schedule: Days/Wk M-F Hours/Day 8:00-5:00 # Shifts 1
- 3. Describe the nature of the business conducted at this facility ( if more than one type ,of business or manufacturing takes place, list all activities):  
DISTRIBUTION OF DRY GOODS TO SWAMP POOL MARKET
- 4. List principal raw materials used: N/A
- 5. List products produced and the average rate of production: N/A
- 6. List types of wastes created during production and any by-products produced: N/A
- 7. Estimate the quantity of water to be used by the facility during a six month period. Record the gallons of water anticipated by this facility. 93 100 CW USED gallons.  
Indicate the source of the facility's water: Kenosha \_\_\_\_\_ Pleasant Prairie X  
Meter number or address assigned to water meter(s). \_\_\_\_\_
- 8. Type of discharges: Continuous X Batch \_\_\_\_\_  
If batch was indicated, give the average frequency and approximate volume of any batch discharges: \_\_\_\_\_
- 9. Describe the uses of water at this facility: BATH ROOMS, KITCHEN

**Wastewater Information**

1. A process wastewater IS any wastewater discharged other than for sanitary, non-contact cooling or boiler blow-down purposes. List activities which generate a process wastewater and the time and duration of each discharge.

Wastewater Producing Process	Time and Duration of Discharges
<u>N/A</u>	

2. For each process wastewater stream list all the materials and pollutants which to believe may be present in the discharge.

N/A  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

3. Contact cooling water is cooling water that during the process comes into contact with process material, thereby becoming contaminated. Non-contact cooling water does not come into contact with process materials. Does this facility utilize cooling water?

4. Water volume used and discharged to sanitary sewer. A review of previous water usage bills may be helpful in assigning values to the following flows. If sanitary flow is not metered, provide an estimate based on 20 gallons per day for each employee (i.e. water balance).

		Gallons per Day		Type of Wastewater Discharge (Continuous, Batch, None)
		Consumed	Discharges	
Sanitary Usage		<u>1,100</u>		NOTE! WE USED 93,100 GPD FT OVER THE LAST 6 months
Process	Wastewater Usage		<u>N/A</u>	
Cooling	Water Usage		<u>N/A</u>	
Other Usage		<u>N/A</u>		
Total Volume				

5. Describe all locations where wastewaters enter the collection system \_\_\_\_\_  
 \_\_\_\_\_

6. Is there a sampling manhole on site? No  Yes \_\_\_\_\_  
 If yes, describe the locations: \_\_\_\_\_  
 \_\_\_\_\_

7. Are sanitary and process wastewaters separated? No N/A Yes \_\_\_\_\_

8. Is boiler blowdown water discharged to the sanitary sewer? No  Yes \_\_\_\_\_

9. Does your facility haul any process wastewater? No  Yes \_\_\_\_\_

**Compliance Information**

1. Is there any usage of toxic compounds at the facility? No Y Yes \_\_\_\_\_  
 If yes, list and use check list on last page.

2. Are there any floor drains in the manufacturing or chemical storage area? No N/A Yes \_\_\_\_\_

3. Is there a Spill Prevention Control and Countermeasure Plan in effect for this facility?  
 No  Yes \_\_\_\_\_ If yes, describe procedure: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

5. Is any form of waste water pretreatment practiced at this facility? No X Yes \_\_\_\_\_  
If yes, describe: \_\_\_\_\_

6. List any specific pretreatment standards that apply to this facility: N/A

7. If pretreatment standards are not being met on a consistent basis, describe what additional and maintenance or pretreatment must be performed to achieve compliance.

N/A

8. State the estimated timetable (compliance schedule) for the implementation of additional operations and maintenance or for the commencement and completion of major events leading to the construction and operation of the pretreatment facilities required to achieve compliance.

FALL 2017

**Submissions**

Include a schematic (print) of the facility that shows the water intake points(s), existing sanitary sewer, discharge points (connection(s) to sanitary collection system), and direction of wastewater flows at the facility. Provide a diagram of water flow through any processes that use water for any purpose.

**Signatory Requirement**

I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate this information submitted. Based on my inquiry of the person or persons directly responsible for gathering the information, the information submitted is to the best of my knowledge and belief true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment.

JOHN DOHERY

Print Name: Authorized Representative

PRESIDENT

Title

[Signature]

Signature: Authorized Representative

7/13/16

Date

**Appendix  
Toxic Pollutants Listed in 40CFR 307(a)**

Known Absent	Suspected Present	Known Present	Pollutant
✓			1 Acenaphthene
✓			2 Acrolein
✓			3 Acrylonitrile
✓			4 Aldrin/Dieldrin
✓			5 Antimony and compounds
✓			6 Arsenic and compounds
✓			7 Asbestos
✓			8 Benzene
✓			9 Benzidine
✓			10 Beryllium and compounds
✓			11 Cadmium and compounds
✓			12 Carbon tetrachloride
✓			13 Chlordane
✓			14 Chlorinated benzenes
✓			15 Chlorinated ethanes
✓			16 Chlorinalkyl ethers
✓			17 Chlorinated naphthalene
✓			18 Chlorinated phenols
✓			19 Chloroform
✓			20 2-chlorophenol
✓			21 Chromium and compounds
✓			22 Copper and compounds
✓			23 Cyanides
✓			24 DDT and metabolites
✓			25 Dichlorobenzenes
✓			26 Dichlorobenzidine
✓			27 Dichloroethylenes
✓			28 2,4-dichlorophenol
✓			29 Dichloropropane & Dichloropropene
✓			30 2,4-dimethylphenol
✓			31 Dinitrotoluene
✓			32 Diphenylhydrazine
✓			33 Endosulfan and metabolites

Known Absent	Suspected Present	Known Present	Pollutant
✓			34 Endrin and metabolites
✓			35 Ethylbenzene
✓			36 Fluoranthene
✓			37 Haloethers
✓			38 Halomethanes
✓			39 Heptachlor and metabolites
✓			40 Hexachlorobutadiene
✓			41 Hexachlorocyclopentadiene
✓			42 Hexachlorocyclohexane
✓			43 Isophrone
✓			44 Lead and compounds
✓			45 Mercury and compounds
✓			46 Naphthalene
✓			47 Nickel and compounds
✓			48 Nitrobenzene
✓			49 Nitrophenols
✓			50 Nitrosamines
✓			51 Pentachlorophenol
✓			52 Phenol
✓			53 Phthalate esters
✓			54 Polychlorinated biphenyls (PCBs)
✓			55 Polynuclear aromatic hydrocarbon
✓			56 Selenium and compounds
✓			57 Silver and compounds
✓			58 2,3,7,8-Tetrachlorodibenzo- p-dioxin (TCDD)
✓			59 Tetrachloroethylene
✓			60 Thallium and compounds
✓			61 Toluene
✓			62 Toxaphene
✓			63 Trichloroethylene
✓			64 Vinyl chloride
✓			65 Zinc and compounds

7/15/2016

Village of Pleasant Prairie  
9915 39<sup>th</sup> Avenue  
Pleasant Prairie, WI 53158

**Re: Lakeview Lot 40- Doheny's Preliminary Stormwater Plan**

Pinnacle Engineering Group (PEG) would like to officially request consideration by the Village of Pleasant Prairie Engineering staff for this Preliminary Stormwater Plan to support the civil engineering documents for the Preliminary Site and Operational Plan Review.

The intent is to achieve stormwater management standards for the proposed industrial development located near the southeast corner of the intersection of STH 165 and 80<sup>th</sup> Ave. The proposed site plan includes a 175,000 SF industrial building with adequate employee parking and truck court with docks. In total, the disturbed area for the development encompasses approximately 15 acres.

The existing site is mostly vacant, with two existing detention ponds located on the west side of the site, near 80<sup>th</sup> Ave. Existing drainage patterns include a high point along the center of the site with an existing ditch that conveys stormwater from the north half of the site to the existing detention pond located in the northwest corner of the site. The south half of the site is conveyed via existing storm sewer piping to the pond located at the southwest corner of the site. This portion of the site is also a shared truck court and storm sewer main with the adjacent development to the south.

PEG was able to obtain the existing stormwater management plan for the existing Hospira facility to the adjacent property to the south, which was prepared in 1995 by HNTB. This report includes the design for the two existing ponds located on the site. The report and the as-built plans confirm that the roof drainage from the Hospira building goes to the south to a separate stormwater pond and does not drain to the two ponds located within the proposed Lot 40 development. Only the existing north Hospira truck court drainage is conveyed to the south pond within Lot 40.

When reviewing the existing topographic survey and looking at the ponds, it was discovered that the ponds were not built per plan. The outlets of each pond, as well as the pipe between the ponds are all at different elevations/slopes than what is listed in the existing stormwater report and as-built plans. The size (and therefore storage volume) of the ponds was also smaller than what was proposed in the plans. Due to this, the Village has asked PEG to provide an updated stormwater analysis based on the proposed development and the existing conditions of the pond. The existing stormwater report listed the following release rates:

**Existing Proposed Discharge Rates:**

10-year= **5.0 cfs**

100-year= **10.0 cfs**

As requested by the Village, the release rates from the ponds shall not exceed these flows. The ponds currently discharge into the 80<sup>th</sup> Ave storm sewer along the west side of the north pond via an 18" culvert. In order to achieve these release rates, PEG modeled the proposed development in HydroCAD and determined that modifications to each pond outlet were necessary to keep the same pond configuration and storage volume. This includes adding a multi-stage



outlet structure to the north pond outlet and a restrictor plate to the south pond outlet. Specific details for these modifications can be found in the preliminary civil plans. These modifications helped achieve the following release rates:

**Proposed Discharge Rates (From HydroCAD model):**

10-year: **4.74 cfs**

100-year: **7.84 cfs**

Upon conceptual approval of the Civil Plans, Pinnacle Engineering Group will move forward with a full Stormwater Management Plan. This document would then be supplied to the City to accompany future plan submittals.

If you should have any comments or questions, feel free to call us at 262-754-8888. We would be happy to discuss any items described within this document.

Sincerely,

**PINNACLE ENGINEERING GROUP**



Matt Carey, P.E., LEED AP

Project Manager

***Enclosures:***

- Existing 1995 Drainage Report, Pond Summary Map
- Proposed Hydrology Exhibit
- Proposed Hydrocad Model

HNTB  
9/28/95

# POND SUMMARY MAP

SS DATA PER  
TIM HASTINGS  
5/10/95

STH 165

PROPOSED 18" CONTROL PIPE

POND 1

NWL 688.0  $Q_{10} \text{ MAX.} = 28 \text{ cfs}$

PROPOSED INTERCONNECTION

POND 2

NWL 689.5 D.A. TO PONDS 1 & 2 = 27.5 ac

PARCEL A

PROPOSED 24" CONTROL PIPE

POND 3

NWL 691.0  
 $Q_{10} \text{ MAX.} = 25 \text{ cfs}$

D.A. TO PONDS 3 & 4 = 44 ac

PROPOSED INTERCONNECTION

POND 4

NWL 691.0

PARCEL B

FEATURE DIRECT DISCHARGE  
w/o DETENTION  
 $Q_{10} \text{ MAX.} = 20 \text{ cfs}$

PARCEL C

FOR PONDS 1 & 2,  
ACTUAL  $Q_{10} = 5 \text{ cfs}$   
ACTUAL  $Q_{100} = 10 \text{ cfs}$

FOR PONDS 3 & 4,  
ACTUAL  $Q_{10} = 9 \text{ cfs}$   
ACTUAL  $Q_{100} = 17 \text{ cfs}$

N



1" = 400'

WC-9B

$Q_i = Q_o = 52 \text{ cf}$   
PROPOSED 24'  
INV. ELEV. = 6.

0

LEGEND

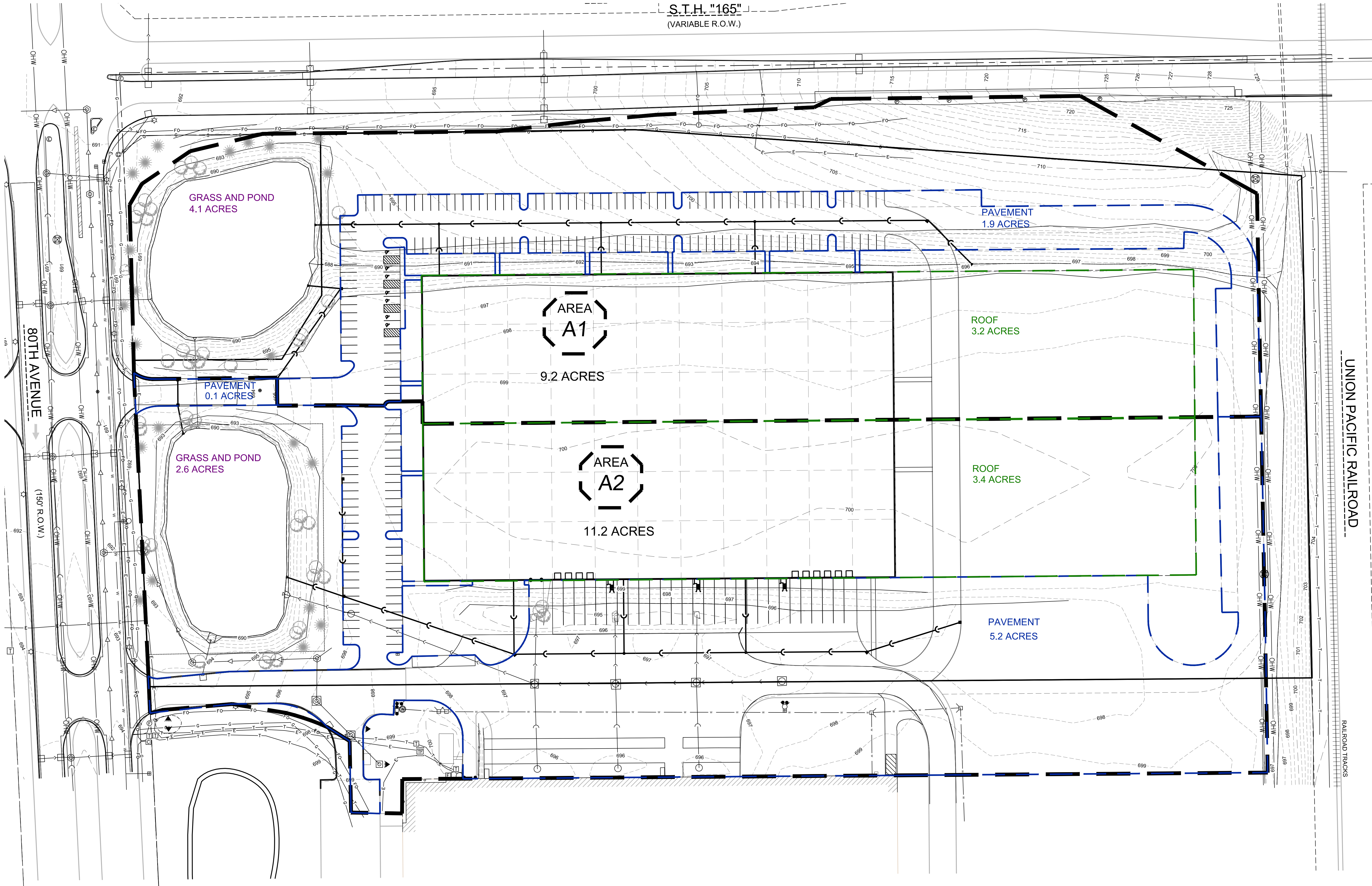
$Q_i =$

H-3A

$Q_i = 224 \text{ cfs}$   
 $Q_o = 5 \text{ cfs}$   
MAX. W.S. = 701.1  
PROPOSED 24" cpc  
INV. ELEV. = 699.6

$Q_i = 461 \text{ cfs}$   
 $Q_o = 147 \text{ cfs}$   
MAX. W.S. = 684.3  
PROPOSED 2-36" cpc's  
INV. ELEV. = 679.0

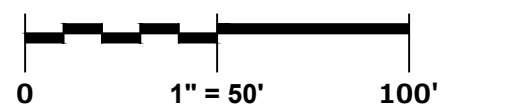
S.T.H. "165"  
(VARIABLE R.O.W.)



UNION PACIFIC RAILROAD

RAILROAD TRACKS

GRAPHICAL SCALE (FEET)



# LAKEVIEW LOT 40 - PROPOSED DRAINAGE MAP

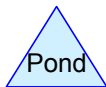
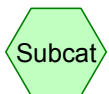
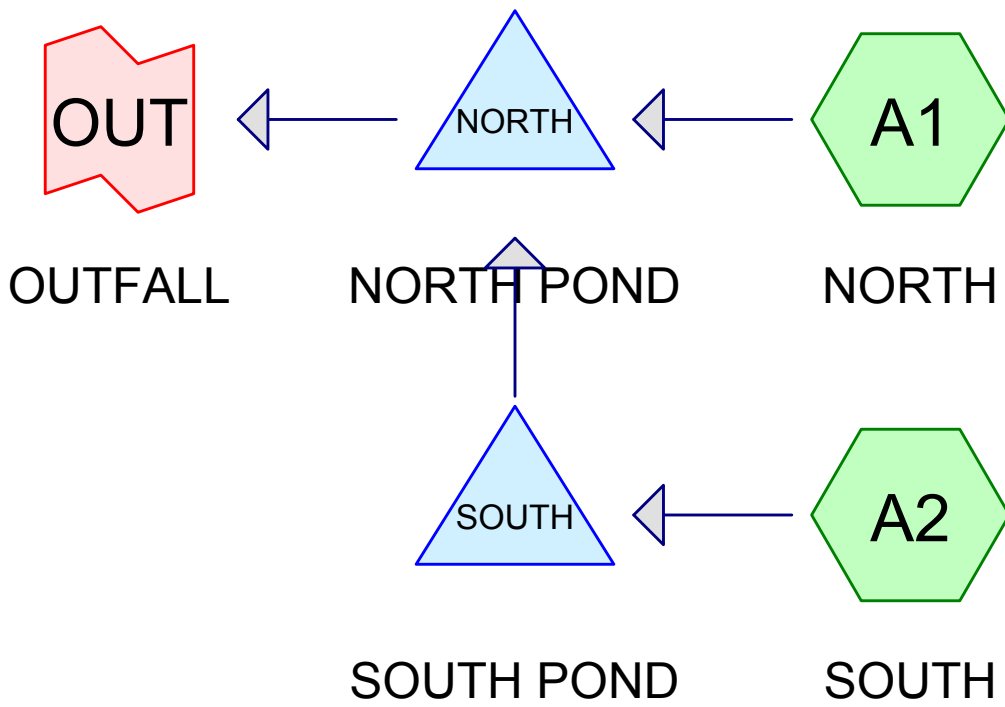
07/08/2016

PINNACLE ENGINEERING GROUP

15850 W. BLUEMOUND ROAD | SUITE 210 | BROOKFIELD, WI 53005 | WWW.PINNACLE-ENGR.COM |

PLAN | DESIGN | DELIVER

PEGJOB# 559.00A



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Type II 24-hr 2-YEAR Rainfall=2.67"  
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Page 2

**Summary for Subcatchment A1: NORTH**

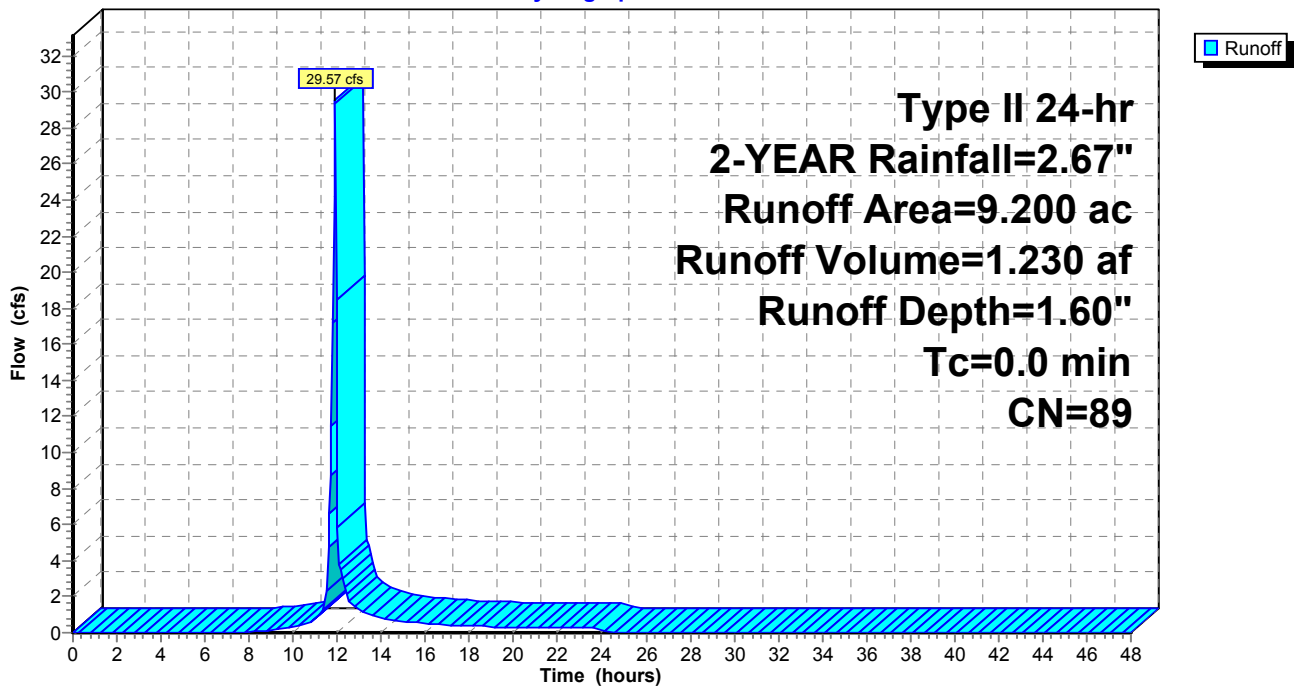
Runoff = 29.57 cfs @ 11.89 hrs, Volume= 1.230 af, Depth= 1.60"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-48.00 hrs, dt= 0.05 hrs  
Type II 24-hr 2-YEAR Rainfall=2.67"

Area (ac)	CN	Description
3.200	98	Roofs, HSG C
1.900	98	Paved parking, HSG C
0.700	98	Water Surface, HSG C
3.400	74	>75% Grass cover, Good, HSG C
9.200	89	Weighted Average
3.400		36.96% Pervious Area
5.800		63.04% Impervious Area

**Subcatchment A1: NORTH**

Hydrograph



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Type II 24-hr 2-YEAR Rainfall=2.67"

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**Summary for Subcatchment A2: SOUTH**

Runoff = 32.89 cfs @ 12.01 hrs, Volume= 1.897 af, Depth= 2.03"

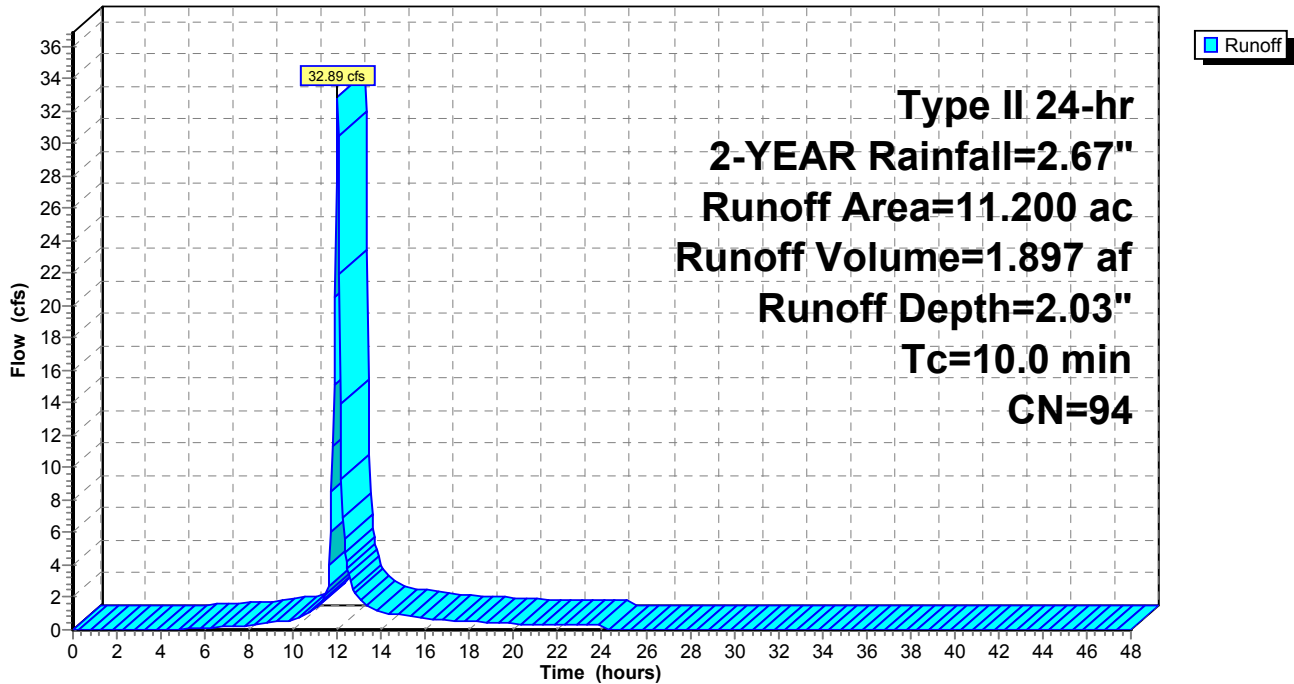
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-48.00 hrs, dt= 0.05 hrs  
Type II 24-hr 2-YEAR Rainfall=2.67"

Area (ac)	CN	Description
5.200	98	Paved parking, HSG C
0.600	98	Water Surface, HSG C
2.000	74	>75% Grass cover, Good, HSG C
3.400	98	Roofs, HSG C
11.200	94	Weighted Average
2.000		17.86% Pervious Area
9.200		82.14% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					Direct Entry,

**Subcatchment A2: SOUTH**

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**Summary for Pond NORTH: NORTH POND**

Inflow Area = 20.400 ac, 73.53% Impervious, Inflow Depth > 1.82" for 2-YEAR event  
 Inflow = 31.71 cfs @ 11.89 hrs, Volume= 3.088 af  
 Outflow = 3.65 cfs @ 13.53 hrs, Volume= 3.022 af, Atten= 88%, Lag= 98.0 min  
 Primary = 3.65 cfs @ 13.53 hrs, Volume= 3.022 af

Routing by Dyn-Stor-Ind method, Time Span= 0.00-48.00 hrs, dt= 0.05 hrs  
 Peak Elev= 689.33' @ 13.53 hrs Surf.Area= 31,430 sf Storage= 49,345 cf

Plug-Flow detention time= 237.0 min calculated for 3.022 af (98% of inflow)  
 Center-of-Mass det. time= 210.8 min ( 1,132.5 - 921.7 )

Volume	Invert	Avail.Storage	Storage Description
#1	687.71'	182,027 cf	<b>Custom Stage Data (Prismatic)</b> Listed below (Recalc)
Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
687.71	29,584	0	0
688.00	30,000	8,640	8,640
689.00	30,866	30,433	39,073
690.00	32,575	31,721	70,793
691.00	35,703	34,139	104,932
692.00	38,522	37,113	142,045
693.00	41,443	39,983	182,027

Device	Routing	Invert	Outlet Devices
#1	Primary	687.71'	<b>18.0" Round Culvert</b> L= 53.3' RCP, groove end projecting, Ke= 0.200 Inlet / Outlet Invert= 687.71' / 686.11' S= 0.0300 ' Cc= 0.900 n= 0.013 Concrete pipe, straight & clean, Flow Area= 1.77 sf
#2	Device 1	687.71'	<b>13.0" Vert. Orifice/Grate</b> C= 0.600
#3	Device 2	687.71'	<b>10.0" W x 10.0" H Vert. Orifice/Grate</b> C= 0.600
#4	Device 2	690.50'	<b>36.0" Horiz. Orifice/Grate</b> C= 0.600 Limited to weir flow at low heads

**Primary OutFlow** Max=3.65 cfs @ 13.53 hrs HW=689.33' TW=0.00' (Dynamic Tailwater)

- ↑ **1=Culvert** (Passes 3.65 cfs of 9.92 cfs potential flow)
- ↑ **2=Orifice/Grate** (Passes 3.65 cfs of 4.61 cfs potential flow)
- ↑ **3=Orifice/Grate** (Orifice Controls 3.65 cfs @ 5.25 fps)
- ↑ **4=Orifice/Grate** ( Controls 0.00 cfs)

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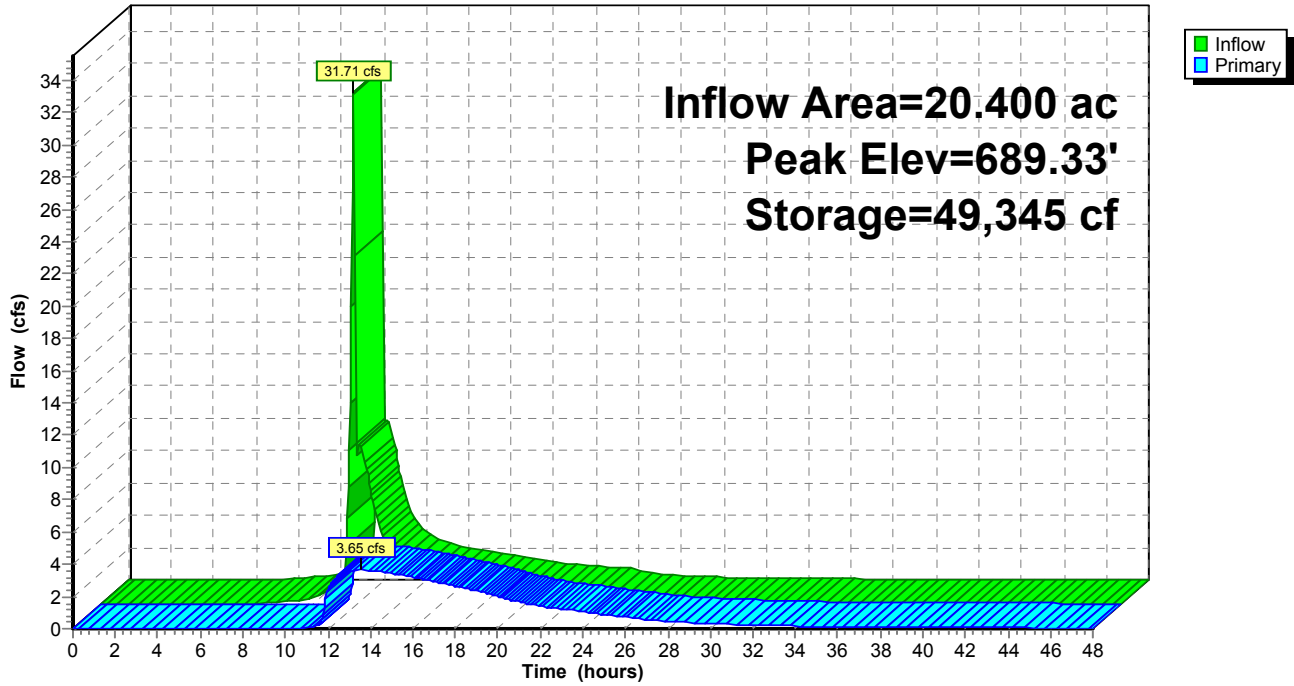
Type II 24-hr 2-YEAR Rainfall=2.67"

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### Pond NORTH: NORTH POND

Hydrograph





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**Summary for Pond SOUTH: SOUTH POND**

Inflow Area = 11.200 ac, 82.14% Impervious, Inflow Depth = 2.03" for 2-YEAR event  
 Inflow = 32.89 cfs @ 12.01 hrs, Volume= 1.897 af  
 Outflow = 6.93 cfs @ 12.26 hrs, Volume= 1.858 af, Atten= 79%, Lag= 14.9 min  
 Primary = 6.93 cfs @ 12.26 hrs, Volume= 1.858 af

Routing by Dyn-Stor-Ind method, Time Span= 0.00-48.00 hrs, dt= 0.05 hrs  
 Peak Elev= 689.92' @ 12.26 hrs Surf.Area= 28,739 sf Storage= 39,391 cf

Plug-Flow detention time= 213.5 min calculated for 1.856 af (98% of inflow)  
 Center-of-Mass det. time= 202.1 min ( 995.8 - 793.7 )

Volume	Invert	Avail.Storage	Storage Description
#1	688.52'	176,374 cf	<b>Custom Stage Data (Prismatic)</b> Listed below (Recalc)
Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
688.52	27,523	0	0
689.00	27,810	13,280	13,280
690.00	28,816	28,313	41,593
692.00	33,428	62,244	103,837
693.00	36,243	34,836	138,672
694.00	39,160	37,702	176,374

Device	Routing	Invert	Outlet Devices
#1	Primary	688.52'	<b>24.0" Round RCP_Round 24"</b> L= 117.0' RCP, groove end projecting, Ke= 0.200 Inlet / Outlet Invert= 688.52' / 687.92' S= 0.0051 '/' Cc= 0.900 n= 0.013 Concrete pipe, straight & clean, Flow Area= 3.14 sf
#2	Device 1	688.52'	<b>18.0" Vert. Orifice/Grate</b> C= 0.600

**Primary OutFlow** Max=6.93 cfs @ 12.26 hrs HW=689.92' TW=688.92' (Dynamic Tailwater)

↑ **1=RCP\_Round 24"** (Passes 6.93 cfs of 8.13 cfs potential flow)

↑ **2=Orifice/Grate** (Orifice Controls 6.93 cfs @ 4.03 fps)

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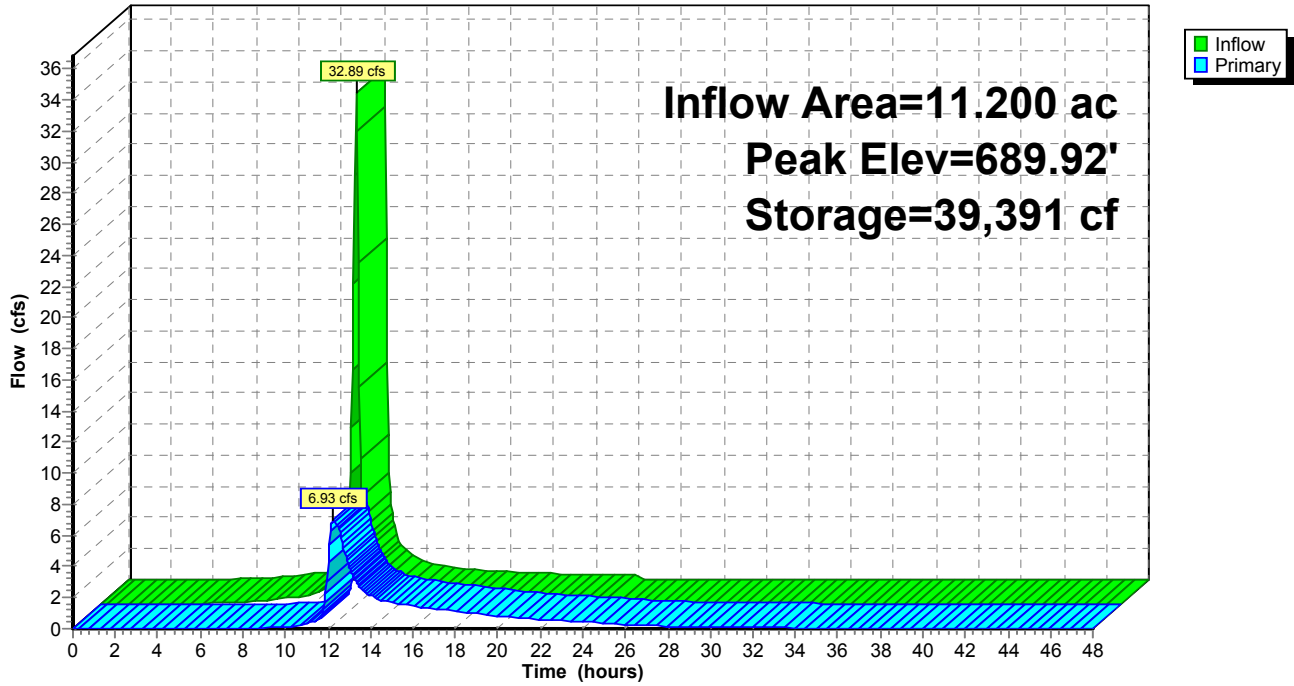
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Type II 24-hr 2-YEAR Rainfall=2.67"

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**Pond SOUTH: SOUTH POND**

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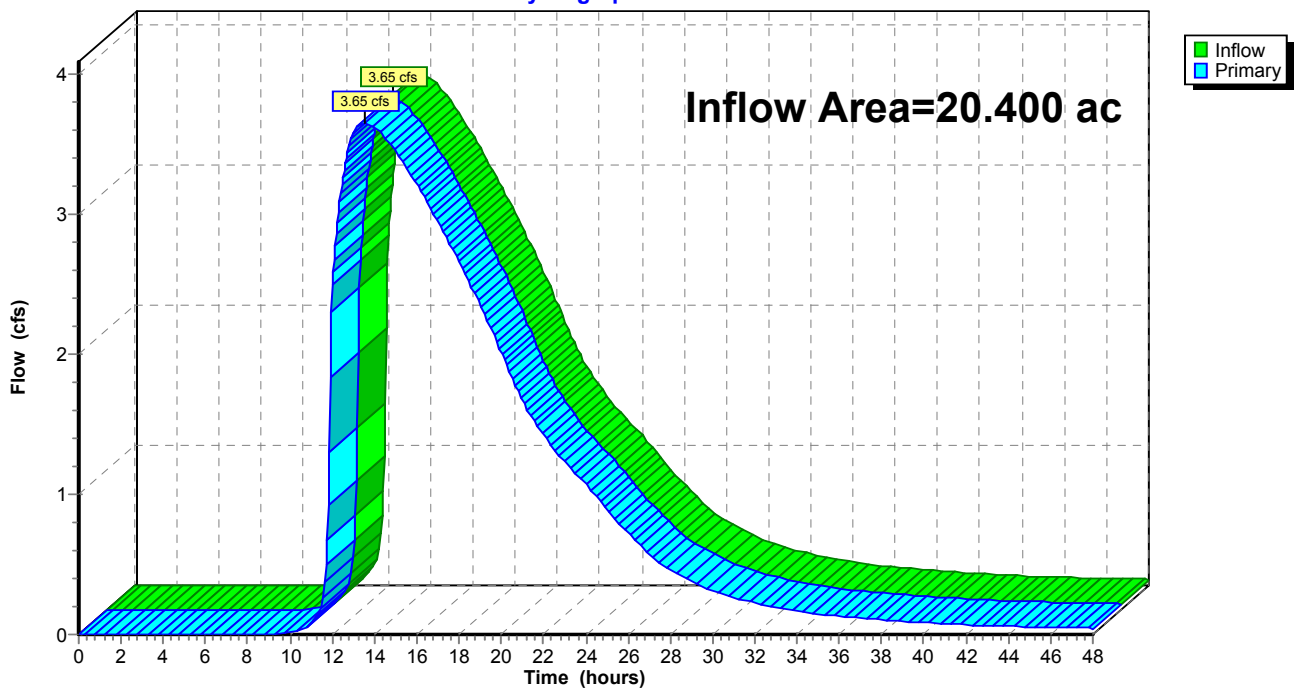
**Summary for Link OUT: OUTFALL**

Inflow Area = 20.400 ac, 73.53% Impervious, Inflow Depth > 1.78" for 2-YEAR event  
Inflow = 3.65 cfs @ 13.53 hrs, Volume= 3.022 af  
Primary = 3.65 cfs @ 13.53 hrs, Volume= 3.022 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-48.00 hrs, dt= 0.05 hrs

**Link OUT: OUTFALL**

Hydrograph



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Type II 24-hr 10-YEAR Rainfall=3.73"

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**Summary for Subcatchment A1: NORTH**

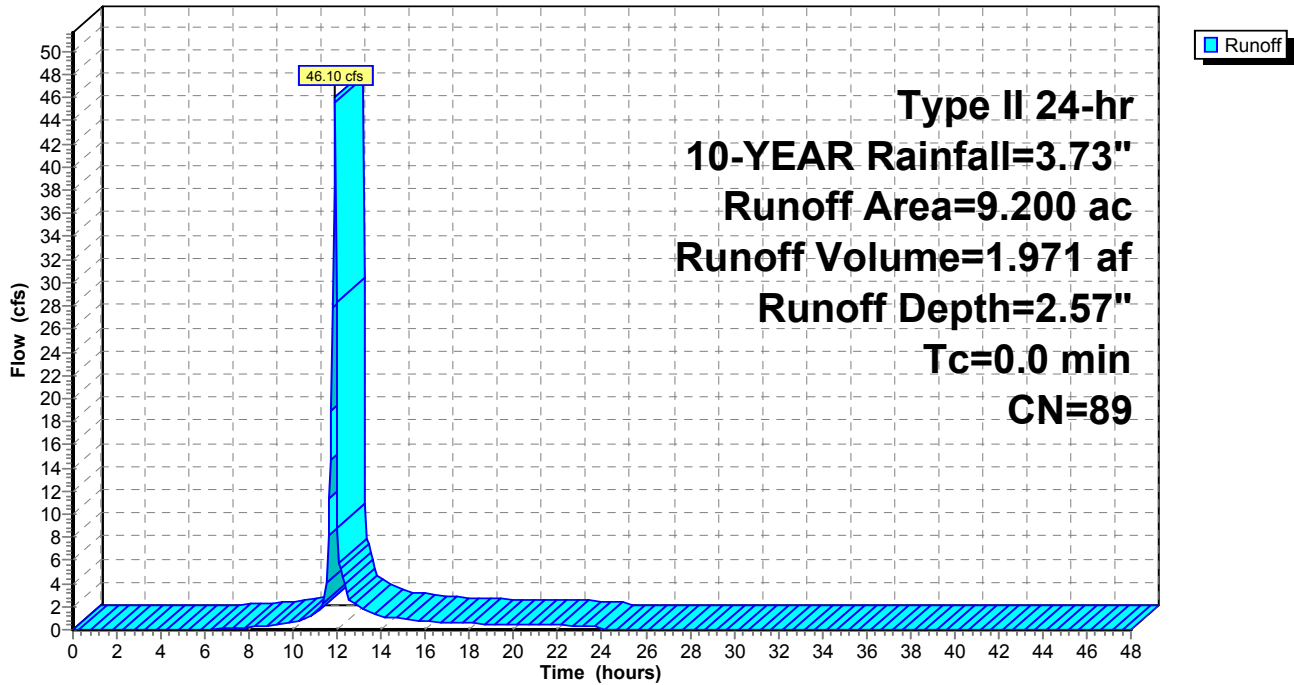
Runoff = 46.10 cfs @ 11.89 hrs, Volume= 1.971 af, Depth= 2.57"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-48.00 hrs, dt= 0.05 hrs  
Type II 24-hr 10-YEAR Rainfall=3.73"

Area (ac)	CN	Description
3.200	98	Roofs, HSG C
1.900	98	Paved parking, HSG C
0.700	98	Water Surface, HSG C
3.400	74	>75% Grass cover, Good, HSG C
9.200	89	Weighted Average
3.400		36.96% Pervious Area
5.800		63.04% Impervious Area

**Subcatchment A1: NORTH**

Hydrograph



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Type II 24-hr 10-YEAR Rainfall=3.73"

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**Summary for Subcatchment A2: SOUTH**

Runoff = 48.34 cfs @ 12.01 hrs, Volume= 2.856 af, Depth= 3.06"

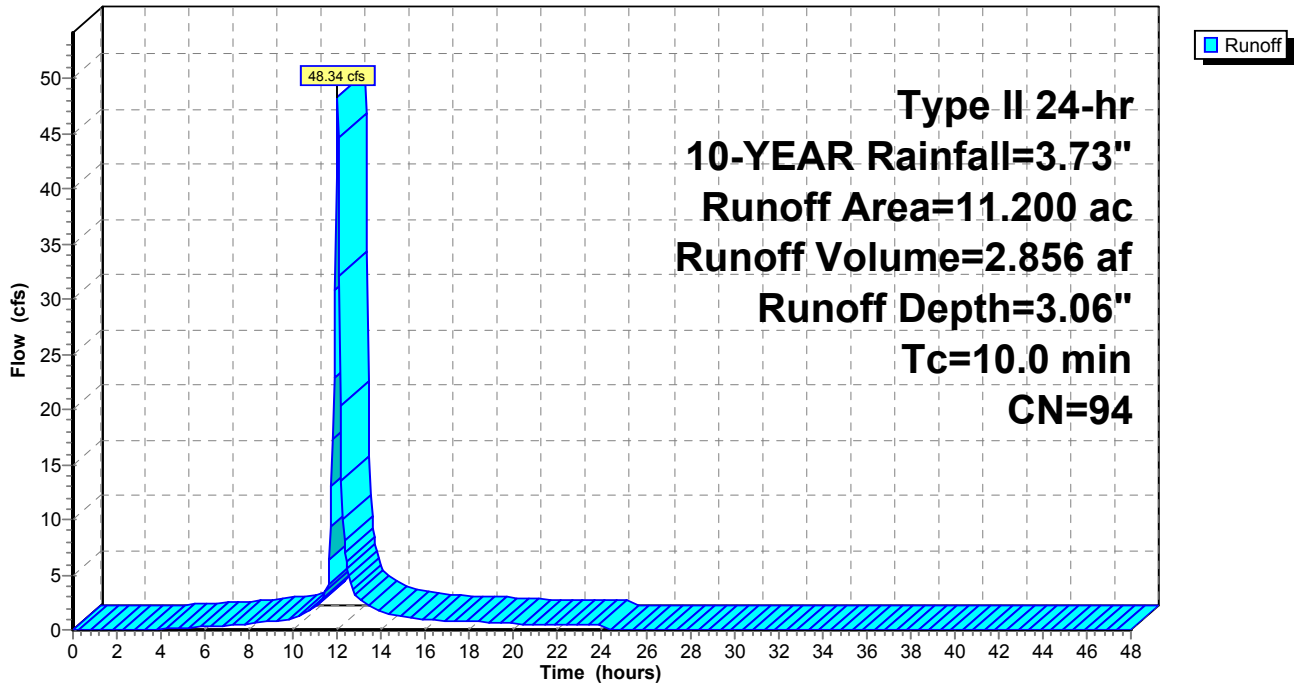
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-48.00 hrs, dt= 0.05 hrs  
Type II 24-hr 10-YEAR Rainfall=3.73"

Area (ac)	CN	Description
5.200	98	Paved parking, HSG C
0.600	98	Water Surface, HSG C
2.000	74	>75% Grass cover, Good, HSG C
3.400	98	Roofs, HSG C
11.200	94	Weighted Average
2.000		17.86% Pervious Area
9.200		82.14% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					Direct Entry,

**Subcatchment A2: SOUTH**

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**Summary for Pond NORTH: NORTH POND**

Inflow Area = 20.400 ac, 73.53% Impervious, Inflow Depth > 2.81" for 10-YEAR event  
 Inflow = 50.18 cfs @ 11.89 hrs, Volume= 4.785 af  
 Outflow = 4.74 cfs @ 13.56 hrs, Volume= 4.713 af, Atten= 91%, Lag= 99.8 min  
 Primary = 4.74 cfs @ 13.56 hrs, Volume= 4.713 af

Routing by Dyn-Stor-Ind method, Time Span= 0.00-48.00 hrs, dt= 0.05 hrs  
 Peak Elev= 690.15' @ 13.56 hrs Surf.Area= 33,036 sf Storage= 75,628 cf

Plug-Flow detention time= 246.4 min calculated for 4.713 af (98% of inflow)  
 Center-of-Mass det. time= 227.4 min ( 1,152.9 - 925.6 )

Volume	Invert	Avail.Storage	Storage Description
#1	687.71'	182,027 cf	<b>Custom Stage Data (Prismatic)</b> Listed below (Recalc)
Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
687.71	29,584	0	0
688.00	30,000	8,640	8,640
689.00	30,866	30,433	39,073
690.00	32,575	31,721	70,793
691.00	35,703	34,139	104,932
692.00	38,522	37,113	142,045
693.00	41,443	39,983	182,027

Device	Routing	Invert	Outlet Devices
#1	Primary	687.71'	<b>18.0" Round Culvert</b> L= 53.3' RCP, groove end projecting, Ke= 0.200 Inlet / Outlet Invert= 687.71' / 686.11' S= 0.0300 '/' Cc= 0.900 n= 0.013 Concrete pipe, straight & clean, Flow Area= 1.77 sf
#2	Device 1	687.71'	<b>13.0" Vert. Orifice/Grate</b> C= 0.600
#3	Device 2	687.71'	<b>10.0" W x 10.0" H Vert. Orifice/Grate</b> C= 0.600
#4	Device 2	690.50'	<b>36.0" Horiz. Orifice/Grate</b> C= 0.600 Limited to weir flow at low heads

**Primary OutFlow** Max=4.74 cfs @ 13.56 hrs HW=690.15' TW=0.00' (Dynamic Tailwater)

- ↑ **1=Culvert** (Passes 4.74 cfs of 13.82 cfs potential flow)
- ↑ **2=Orifice/Grate** (Passes 4.74 cfs of 6.11 cfs potential flow)
- ↑ **3=Orifice/Grate** (Orifice Controls 4.74 cfs @ 6.83 fps)
- ↑ **4=Orifice/Grate** ( Controls 0.00 cfs)

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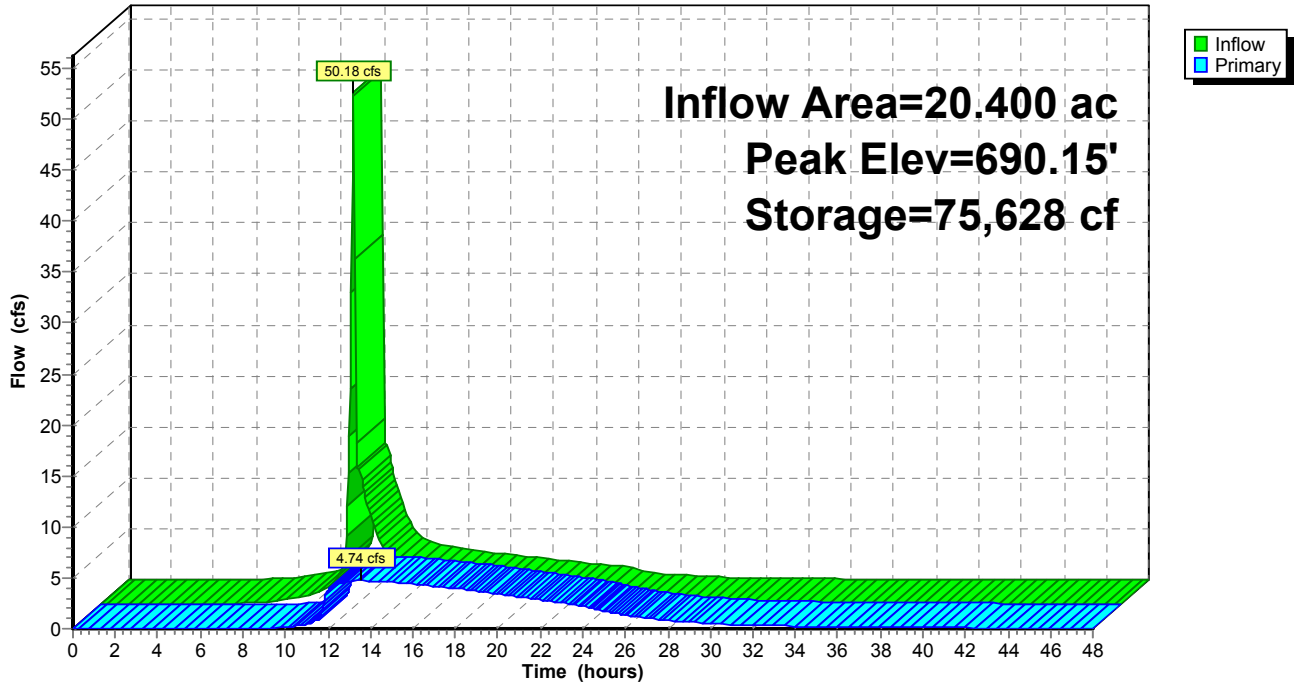
Type II 24-hr 10-YEAR Rainfall=3.73"

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### Pond NORTH: NORTH POND

Hydrograph



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**Summary for Pond SOUTH: SOUTH POND**

Inflow Area = 11.200 ac, 82.14% Impervious, Inflow Depth = 3.06" for 10-YEAR event  
 Inflow = 48.34 cfs @ 12.01 hrs, Volume= 2.856 af  
 Outflow = 8.43 cfs @ 12.17 hrs, Volume= 2.814 af, Atten= 83%, Lag= 9.8 min  
 Primary = 8.43 cfs @ 12.17 hrs, Volume= 2.814 af

Routing by Dyn-Stor-Ind method, Time Span= 0.00-48.00 hrs, dt= 0.05 hrs  
 Peak Elev= 690.59' @ 12.31 hrs Surf.Area= 30,173 sf Storage= 58,949 cf

Plug-Flow detention time= 242.7 min calculated for 2.814 af (99% of inflow)  
 Center-of-Mass det. time= 233.4 min ( 1,016.0 - 782.6 )

Volume	Invert	Avail.Storage	Storage Description
#1	688.52'	176,374 cf	<b>Custom Stage Data (Prismatic)</b> Listed below (Recalc)
Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
688.52	27,523	0	0
689.00	27,810	13,280	13,280
690.00	28,816	28,313	41,593
692.00	33,428	62,244	103,837
693.00	36,243	34,836	138,672
694.00	39,160	37,702	176,374

Device	Routing	Invert	Outlet Devices
#1	Primary	688.52'	<b>24.0" Round RCP_Round 24"</b> L= 117.0' RCP, groove end projecting, Ke= 0.200 Inlet / Outlet Invert= 688.52' / 687.92' S= 0.0051 '/' Cc= 0.900 n= 0.013 Concrete pipe, straight & clean, Flow Area= 3.14 sf
#2	Device 1	688.52'	<b>18.0" Vert. Orifice/Grate</b> C= 0.600

**Primary OutFlow** Max=8.17 cfs @ 12.17 hrs HW=690.53' TW=689.61' (Dynamic Tailwater)

↑ **1=RCP\_Round 24"** (Passes 8.17 cfs of 12.84 cfs potential flow)

↑ **2=Orifice/Grate** (Orifice Controls 8.17 cfs @ 4.62 fps)



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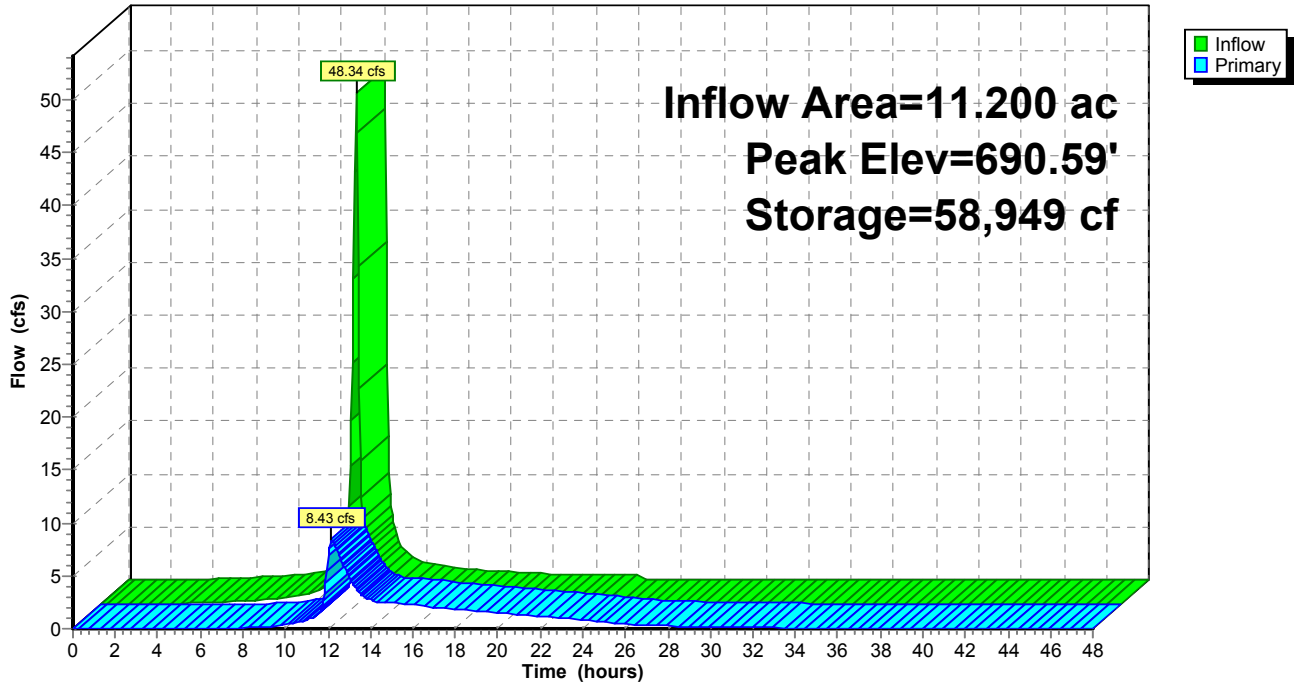
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**Pond SOUTH: SOUTH POND**

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Type II 24-hr 10-YEAR Rainfall=3.73"

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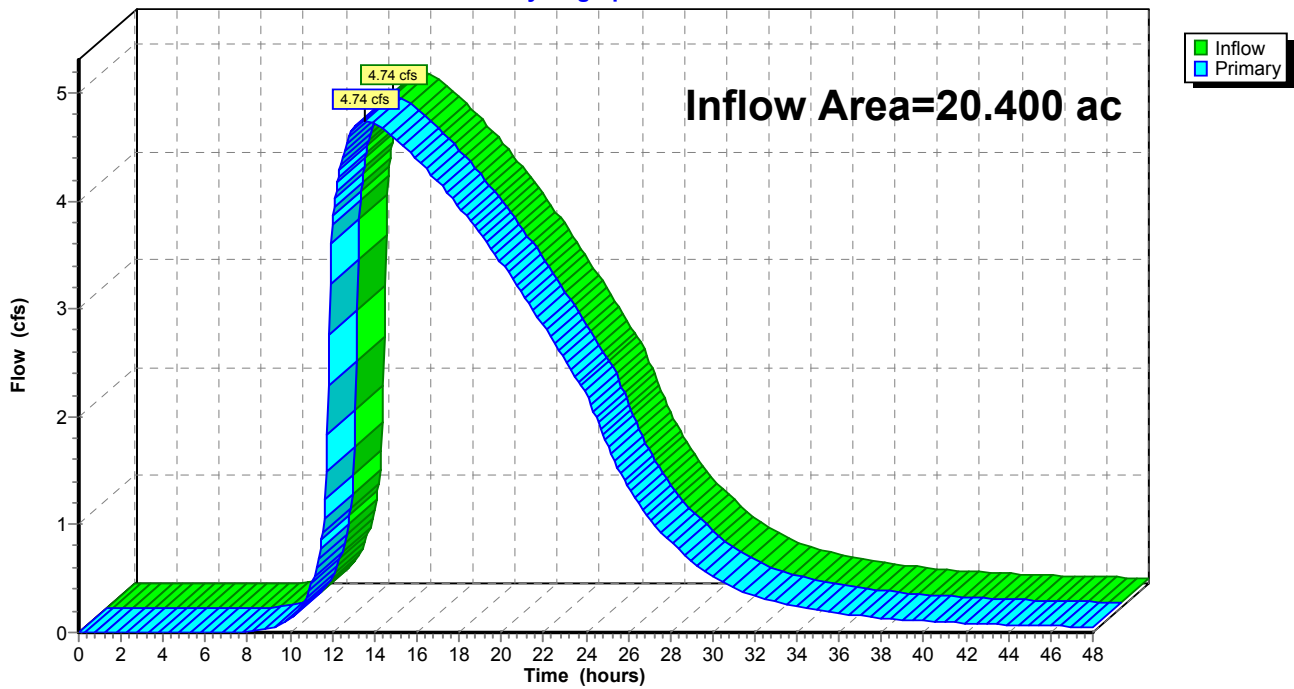
**Summary for Link OUT: OUTFALL**

Inflow Area = 20.400 ac, 73.53% Impervious, Inflow Depth > 2.77" for 10-YEAR event  
Inflow = 4.74 cfs @ 13.56 hrs, Volume= 4.713 af  
Primary = 4.74 cfs @ 13.56 hrs, Volume= 4.713 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-48.00 hrs, dt= 0.05 hrs

**Link OUT: OUTFALL**

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Type II 24-hr 100-YEAR Rainfall=5.85"  
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**Summary for Subcatchment A1: NORTH**

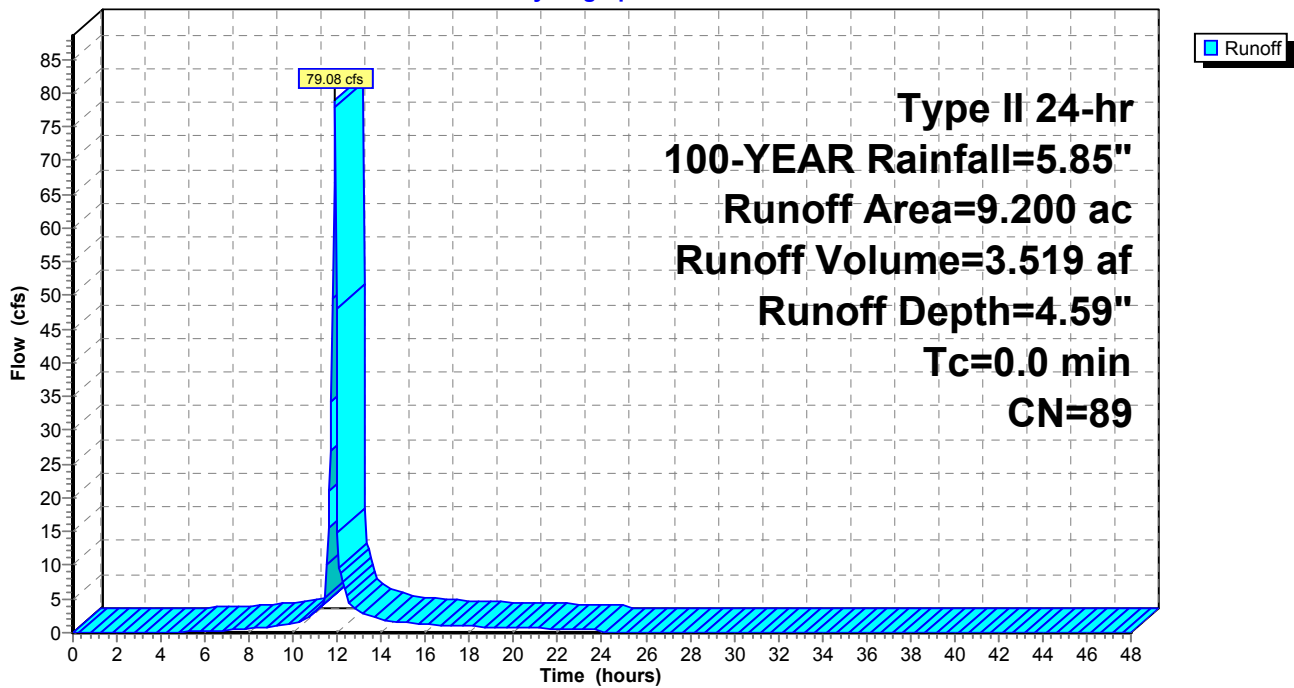
Runoff = 79.08 cfs @ 11.89 hrs, Volume= 3.519 af, Depth= 4.59"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-48.00 hrs, dt= 0.05 hrs  
Type II 24-hr 100-YEAR Rainfall=5.85"

Area (ac)	CN	Description
3.200	98	Roofs, HSG C
1.900	98	Paved parking, HSG C
0.700	98	Water Surface, HSG C
3.400	74	>75% Grass cover, Good, HSG C
9.200	89	Weighted Average
3.400		36.96% Pervious Area
5.800		63.04% Impervious Area

**Subcatchment A1: NORTH**

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Type II 24-hr 100-YEAR Rainfall=5.85"

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**Summary for Subcatchment A2: SOUTH**

Runoff = 78.82 cfs @ 12.01 hrs, Volume= 4.805 af, Depth= 5.15"

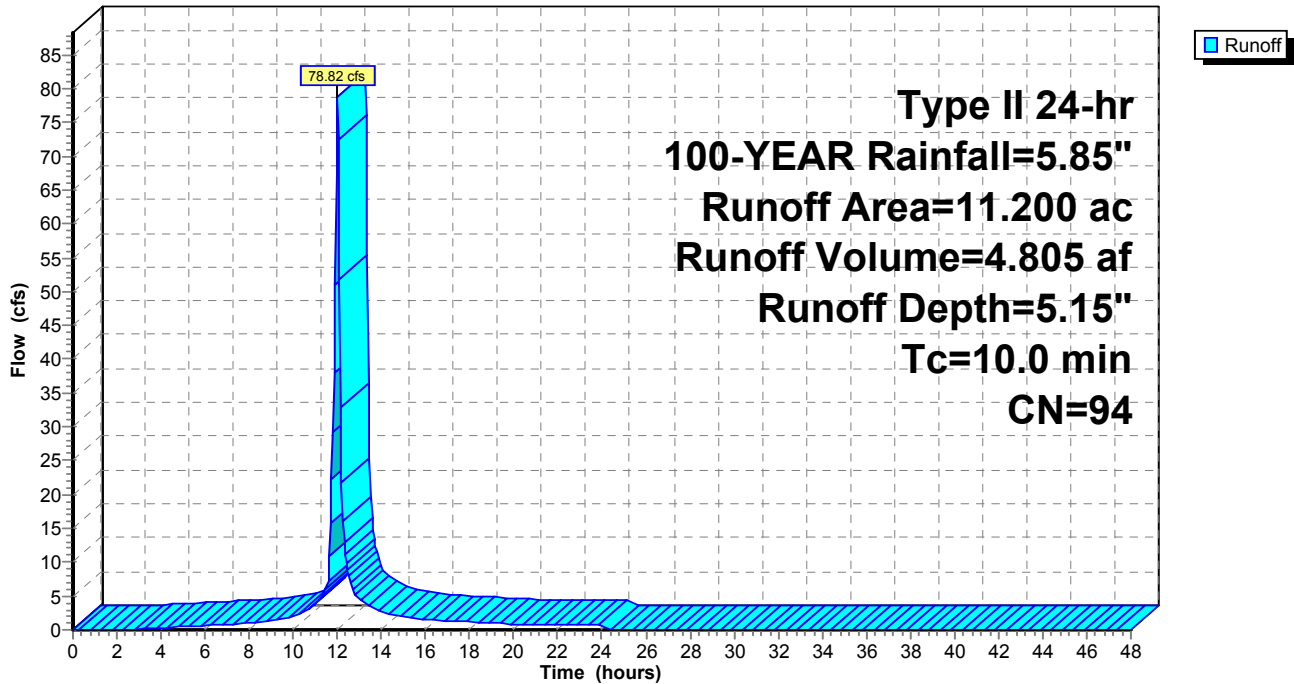
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-48.00 hrs, dt= 0.05 hrs  
Type II 24-hr 100-YEAR Rainfall=5.85"

Area (ac)	CN	Description
5.200	98	Paved parking, HSG C
0.600	98	Water Surface, HSG C
2.000	74	>75% Grass cover, Good, HSG C
3.400	98	Roofs, HSG C
11.200	94	Weighted Average
2.000		17.86% Pervious Area
9.200		82.14% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					Direct Entry,

**Subcatchment A2: SOUTH**

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**Summary for Pond NORTH: NORTH POND**

Inflow Area = 20.400 ac, 73.53% Impervious, Inflow Depth > 4.87" for 100-YEAR event  
 Inflow = 83.94 cfs @ 11.89 hrs, Volume= 8.276 af  
 Outflow = 7.84 cfs @ 13.57 hrs, Volume= 8.191 af, Atten= 91%, Lag= 100.8 min  
 Primary = 7.84 cfs @ 13.57 hrs, Volume= 8.191 af

Routing by Dyn-Stor-Ind method, Time Span= 0.00-48.00 hrs, dt= 0.05 hrs  
 Peak Elev= 691.37' @ 13.57 hrs Surf.Area= 36,749 sf Storage= 118,378 cf

Plug-Flow detention time= 245.8 min calculated for 8.183 af (99% of inflow)  
 Center-of-Mass det. time= 232.7 min ( 1,166.8 - 934.1 )

Volume	Invert	Avail.Storage	Storage Description
#1	687.71'	182,027 cf	<b>Custom Stage Data (Prismatic)</b> Listed below (Recalc)
Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
687.71	29,584	0	0
688.00	30,000	8,640	8,640
689.00	30,866	30,433	39,073
690.00	32,575	31,721	70,793
691.00	35,703	34,139	104,932
692.00	38,522	37,113	142,045
693.00	41,443	39,983	182,027

Device	Routing	Invert	Outlet Devices
#1	Primary	687.71'	<b>18.0" Round Culvert</b> L= 53.3' RCP, groove end projecting, Ke= 0.200 Inlet / Outlet Invert= 687.71' / 686.11' S= 0.0300 '/' Cc= 0.900 n= 0.013 Concrete pipe, straight & clean, Flow Area= 1.77 sf
#2	Device 1	687.71'	<b>13.0" Vert. Orifice/Grate</b> C= 0.600
#3	Device 2	687.71'	<b>10.0" W x 10.0" H Vert. Orifice/Grate</b> C= 0.600
#4	Device 2	690.50'	<b>36.0" Horiz. Orifice/Grate</b> C= 0.600 Limited to weir flow at low heads

**Primary OutFlow** Max=7.84 cfs @ 13.57 hrs HW=691.37' TW=0.00' (Dynamic Tailwater)

- ↑ **1=Culvert** (Passes 7.84 cfs of 18.15 cfs potential flow)
- ↑ **2=Orifice/Grate** (Orifice Controls 7.84 cfs @ 8.50 fps)
- ↑ **3=Orifice/Grate** (Passes < 6.02 cfs potential flow)
- ↑ **4=Orifice/Grate** (Passes < 25.06 cfs potential flow)

**PROPOSED**

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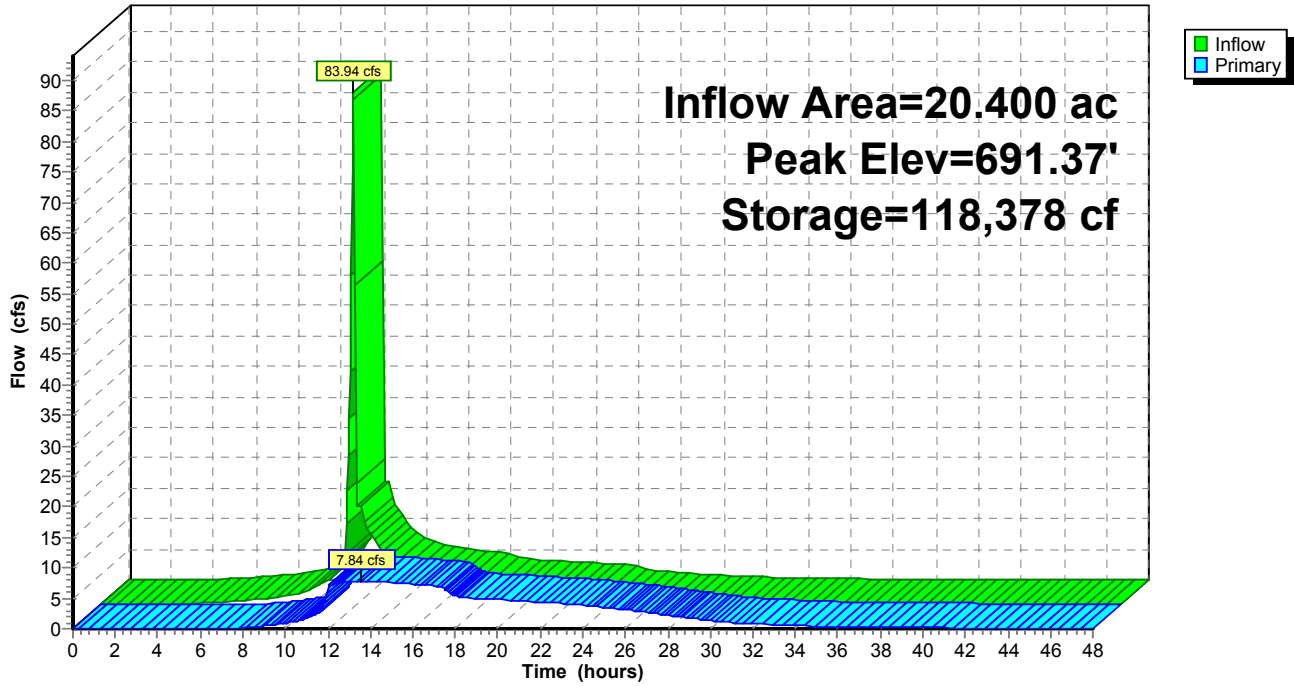
PROPOSED  
Type II 24-hr 100-YEAR Rainfall=5.85"

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**Pond NORTH: NORTH POND**

Hydrograph



**PROPOSED**

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**Summary for Pond SOUTH: SOUTH POND**

Inflow Area = 11.200 ac, 82.14% Impervious, Inflow Depth = 5.15" for 100-YEAR event  
 Inflow = 78.82 cfs @ 12.01 hrs, Volume= 4.805 af  
 Outflow = 8.61 cfs @ 12.24 hrs, Volume= 4.757 af, Atten= 89%, Lag= 14.2 min  
 Primary = 8.61 cfs @ 12.24 hrs, Volume= 4.757 af

Routing by Dyn-Stor-Ind method, Time Span= 0.00-48.00 hrs, dt= 0.05 hrs  
 Peak Elev= 692.02' @ 12.49 hrs Surf.Area= 33,480 sf Storage= 104,453 cf

Plug-Flow detention time= 285.2 min calculated for 4.757 af (99% of inflow)  
 Center-of-Mass det. time= 278.6 min ( 1,047.9 - 769.3 )

Volume	Invert	Avail.Storage	Storage Description
#1	688.52'	176,374 cf	<b>Custom Stage Data (Prismatic)</b> Listed below (Recalc)
Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
688.52	27,523	0	0
689.00	27,810	13,280	13,280
690.00	28,816	28,313	41,593
692.00	33,428	62,244	103,837
693.00	36,243	34,836	138,672
694.00	39,160	37,702	176,374

Device	Routing	Invert	Outlet Devices
#1	Primary	688.52'	<b>24.0" Round RCP_Round 24"</b> L= 117.0' RCP, groove end projecting, Ke= 0.200 Inlet / Outlet Invert= 688.52' / 687.92' S= 0.0051 '/' Cc= 0.900 n= 0.013 Concrete pipe, straight & clean, Flow Area= 3.14 sf
#2	Device 1	688.52'	<b>18.0" Vert. Orifice/Grate</b> C= 0.600

**Primary OutFlow** Max=8.41 cfs @ 12.24 hrs HW=691.94' TW=690.97' (Dynamic Tailwater)

↑ **1=RCP\_Round 24"** (Passes 8.41 cfs of 15.28 cfs potential flow)

↑ **2=Orifice/Grate** (Orifice Controls 8.41 cfs @ 4.76 fps)

**PROPOSED**

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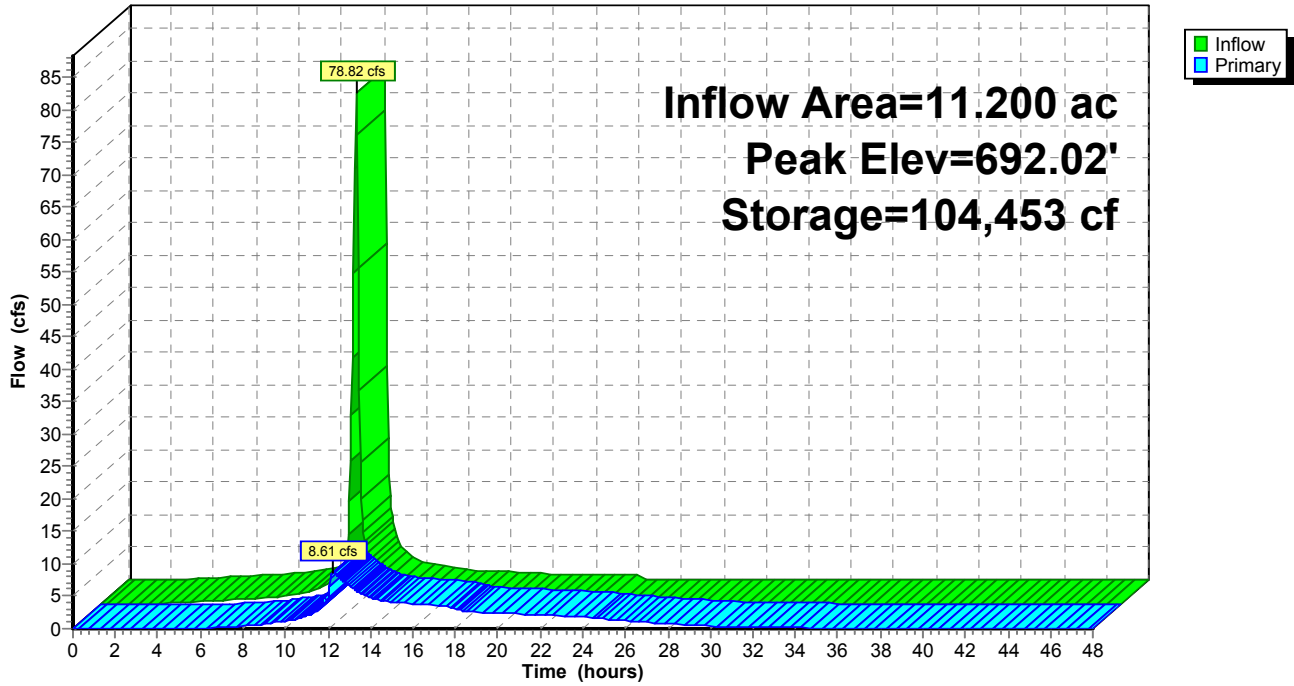
PROPOSED  
Type II 24-hr 100-YEAR Rainfall=5.85"

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**Pond SOUTH: SOUTH POND**

Hydrograph





**PROPOSED**

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PROPOSED  
Type II 24-hr 100-YEAR Rainfall=5.85"

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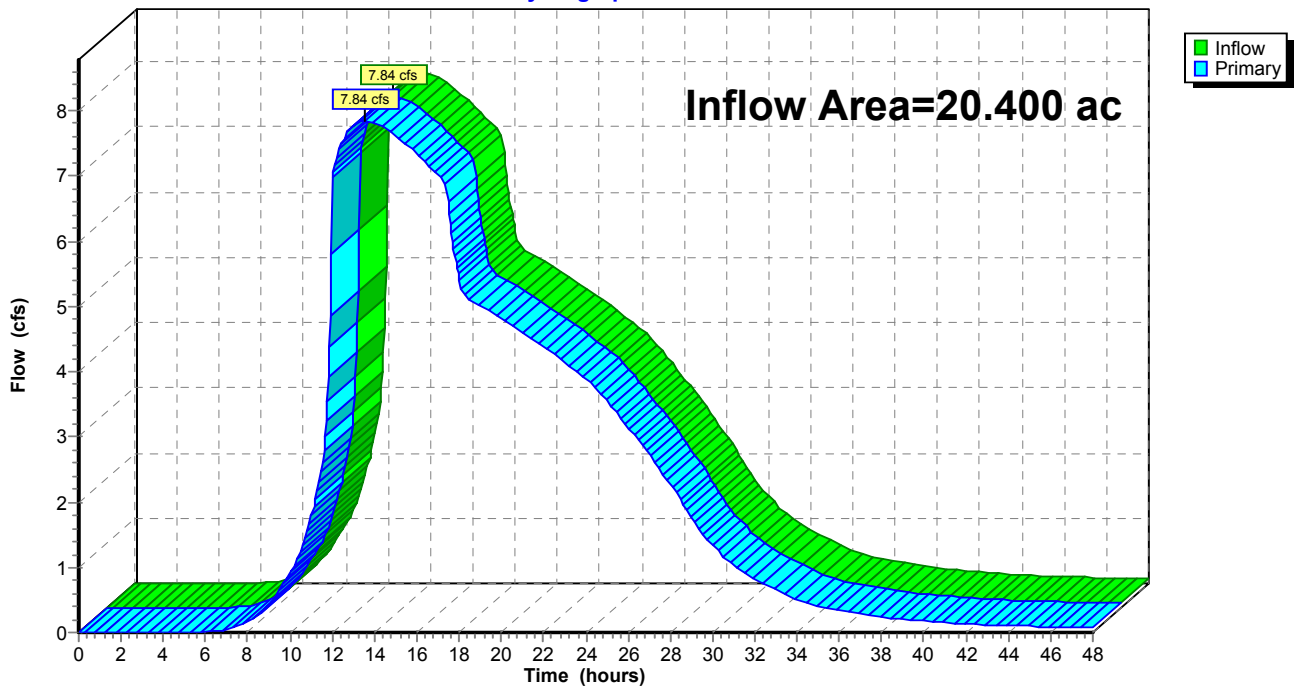
**Summary for Link OUT: OUTFALL**

Inflow Area = 20.400 ac, 73.53% Impervious, Inflow Depth > 4.82" for 100-YEAR event  
Inflow = 7.84 cfs @ 13.57 hrs, Volume= 8.191 af  
Primary = 7.84 cfs @ 13.57 hrs, Volume= 8.191 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-48.00 hrs, dt= 0.05 hrs

**Link OUT: OUTFALL**

Hydrograph



**STORM SEWER COMPUTATIONS**  
**FOR**  
**LAKEVIEW LOT 40**  
 PLEASANT PRAIRIE, WI

**DESIGN DATA**




STRUCTURE DATA			DRAINAGE AREA AND FLOW DATA					PIPE DATA				PIPE CAPACITY INFORMATION					ELEVATIONS		
Pipe Run	Upstream Structure	Downstream Structure	Flow is determined by SPS 382.36					Length (ft)	Diameter (in)	Slope (%)	Manning Coefficient	Pipe capacity is determined by Manning's Equation $Q = 1.486/n AR^{2/3} S^{1/2}$					Rim/Toc Up	Invert Up	Invert Down
			Roof Area (sf)	Pvmt Area (sf)	Grass Area (sf)	Individual Flow Q (cfs)	Cumulative Flow (cfs)					Required Drop (ft)	Actual Drop (ft)	Percent Full (%)	Actual Velocity (fps)	Max. Capacity (cfs)			
	ES 6.0	CB 5.0	0	0	200000	4.28	4.28	69.90	12	6.50	0.012	0.86	4.54	45%	12.10	10.59	698.70	695.84	691.29
	CB 5.0	CB 4.0	55138	33180	38087	7.82	7.82	192.10	18	0.70	0.012	0.91	1.34	74%	6.01	10.24	696.50	691.29	689.95
	CB 4.0	CB 3.0	0	11509	10046	1.00	11.49	171.00	24	0.25	0.012	0.38	0.43	82%	4.43	13.18	696.50	689.95	689.52
	CB 3.0	CB 2.0	0	11360	9681	0.99	14.48	180.00	24	0.70	0.012	0.63	1.26	65%	7.08	22.06	696.50	689.52	688.26
	CB 2.0	ES 1.0	0	11301	7552	0.94	18.08	138.00	30	0.40	0.012	0.23	0.55	61%	6.08	30.23	696.50	688.26	687.71
	BC 4.1	CB 4.0	31105	0	0	2.67	2.67	57.00	10	4.53	0.012	0.72	2.58	52%	9.39	5.44	698.75	695.75	693.17
	BC 3.1	CB 3.0	23452	0	0	2.01	2.01	57.00	10	4.53	0.012	0.41	2.58	42%	8.73	5.44	698.75	695.75	693.17
	BC 2.1	CB 2.0	31105	0	0	2.67	2.67	57.00	10	4.53	0.012	0.72	2.58	52%	9.39	5.44	698.75	695.75	693.17
	ES 15.0	CB 14.0	57977	64260	12182	9.64	9.64	261.85	24	0.20	0.012	0.40	0.52	78%	3.94	11.79	696.60	690.88	690.36
	CB 14.0	CB 13.0	0	10060	0	0.69	13.15	95.50	24	0.40	0.012	0.28	0.38	76%	5.54	16.67	694.75	690.36	689.97
	CB 13.0	CB 12.0	0	10423	0	0.71	16.00	118.10	24	0.50	0.012	0.50	0.59	81%	6.26	18.64	694.75	689.97	689.38
	CB 12.0	CB 11.0	0	12673	5657	0.99	19.82	233.80	30	0.30	0.012	0.47	0.70	73%	5.53	26.18	694.75	689.38	688.68
	CB 11.0	ES 10.0	0	10986	6926	0.90	21.39	64.70	30	0.25	0.012	0.15	0.16	85%	5.16	23.90	696.30	688.68	688.52
	BC 14.1	CB 14.0	33001	0	0	2.83	2.83	10.00	10	3.33	0.012	0.14	0.33	61%	8.47	4.66	694.75	691.75	691.42
	BC 13.1	CB 13.0	24882	0	0	2.13	2.13	10.00	10	3.33	0.012	0.08	0.33	49%	7.91	4.66	694.75	691.75	691.42
	BC 12.1	CB 12.0	33002	0	0	2.83	2.83	10.00	10	3.33	0.012	0.14	0.33	61%	8.47	4.66	694.75	691.75	691.42
	CB 11.1	CB 11.0	0	8757	3435	0.67	0.67	124.40	8	2.00	0.012	0.33	2.49	40%	4.88	1.99	696.30	691.17	688.68
	CB 27.0	CB 26.0	0	4281	3323	0.36	0.36	30.00	8	0.75	0.012	0.02	0.23	36%	2.89	1.22	692.35	688.95	688.72
	CB 26.0	ES 25.0	0	4250	424	0.30	0.67	26.70	8	0.75	0.012	0.07	0.20	56%	3.38	1.22	692.35	688.72	688.52
	CB 21.0	ES 20.0	0	10501	2357	0.77	0.77	30.10	8	10.00	0.012	0.10	3.01	24%	9.07	4.45	695.15	690.72	687.71

# LAKEVIEW LOT 40

## LAKEVIEW CORPORATE PARK


### PLEASANT PRAIRIE, WISCONSIN

PROJECT DATA	
<b>APPLICABLE CODES:</b> INTERNATIONAL BUILDING CODE - 2009 AS MODIFIED BY THE WISCONSIN ENROLLED COMMERCIAL BUILDING CODE IN CHAPTER SPS 362.	
<b>BUILDING CLASSIFICATION:</b> STORAGE: S-1 (MODERATE HAZARD)	
<b>CONSTRUCTION CLASSIFICATION:</b> TYPE 2B - UNPROTECTED w/ AUTOMATIC SPRINKLER SYSTEM	
<b>BUILDING AREA:</b> 178,273 SF.	
<b>PROJECT DEVELOPMENT DATA:</b>	
PROPOSED LAKEVIEW LOT #1: SITE ZONING: M-1, GENERAL MANUFACTURING DISTRICT	16.61 ACRES (176,445 SF.) 178,273 SF.
SITE AREA: BUILDING AREA: BLDG. COVERAGE RATIO: BUILDING IMPERVIOUS AREA: ALL OTHER IMPERVIOUS AREA: TOTAL IMPERVIOUS AREA: TOTAL IMPERVIOUS PERCENTAGE: GREENSPACE COVERAGE RATIO: TOTAL LANDSCAPED AREA: TOTAL LANDSCAPED PERCENTAGE:	178,273 SF. 31,762 SF. 49,000 SF. 6.15%
PARKING: TOTAL CAR SPACES (INCLUDING HANDICAPPED): TOTAL TRUCK/DOCK SPACES:	208 SPACES 25 DOCK LOCATIONS
<b>NOTE:</b> PRIOR TO CONSTRUCTION, A PRECONSTRUCTION MEETING MUST BE HELD AT THE VILLAGE OFFICES. THE PRECONSTRUCTION CONFERENCE SHALL BE SCHEDULED AND MODERATED BY THE DESIGN ENGINEER OF RECORD.	

<b>OWNER:</b> DOHENY ENTERPRISES INC. 6950 98T KENOSHA, WISCONSIN 53144 PHONE: 847.366.6460 ATTN: JOHN DOHENY	
<b>CONTRACTOR:</b> PRINCIPLE CONSTRUCTION CORPORATION 5400 WEST BRYN MAWR, SUITE 165 ROSEMONT, ILLINOIS 60018 PHONE: (617) 435-1835 EXT. 140 ATTN: JIM BRUCATO	
<b>ARCHITECT:</b> PARTNERS IN DESIGN ARCHITECTS 2610 LAKE COOK ROAD, SUITE 180 RIVERWOODS, ILLINOIS 60015 PHONE: (847) 949-0300 ATTN: WERNER BRISKE, AIA	

GENERAL NOTES
1. DO NOT SCALE DRAWINGS.
2. CONTRACTOR SHALL FIELD VERIFY AND BECOME THOROUGHLY FAMILIAR WITH ALL CONDITIONS & DIMENSIONS.
3. EACH CONTRACTOR SHALL REVIEW COMPLETE PLANS FOR RELATED WORK.
4. ALL WORK SHALL BE IN COMPLIANCE WITH STATE & LOCAL CODES FOR RESPECTIVE TRADES.

SHEET INDEX
T1 TITLE SHEET
<b>CIVIL</b>
C-1 COVER SHEET
C-2 EXISTING CONDITIONS
C-3 SITE DEMOLITION AND PAVING PLAN
C-4 GRADING PLAN
C-5 UTILITY PLAN
C-6 SITE STABILIZATION PLAN
C-7 CONSTRUCTION DETAILS
C-8 CONSTRUCTION DETAILS
C-9 CONSTRUCTION DETAILS
<b>ARCHITECTURAL</b>
A1 SITE PLAN & DETAILS
A01 SITE PHOTOS
A41 CONCEPTUAL BUILDING ELEVATIONS

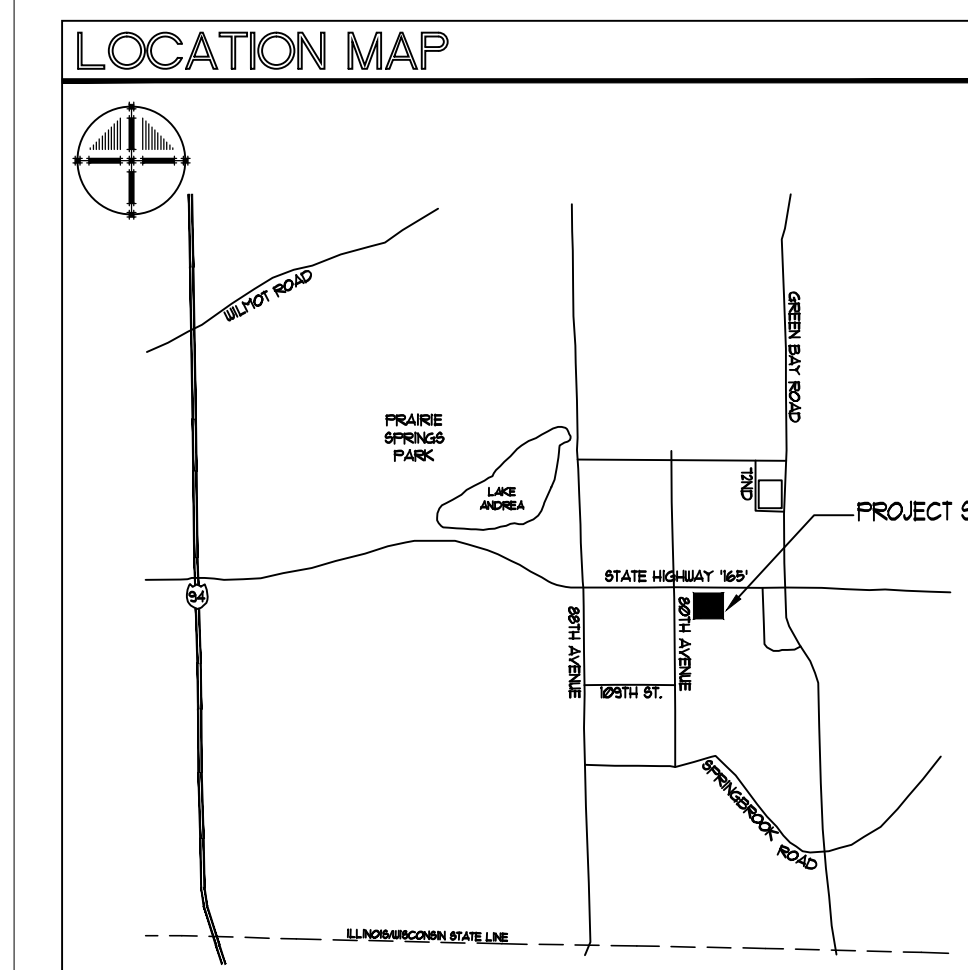
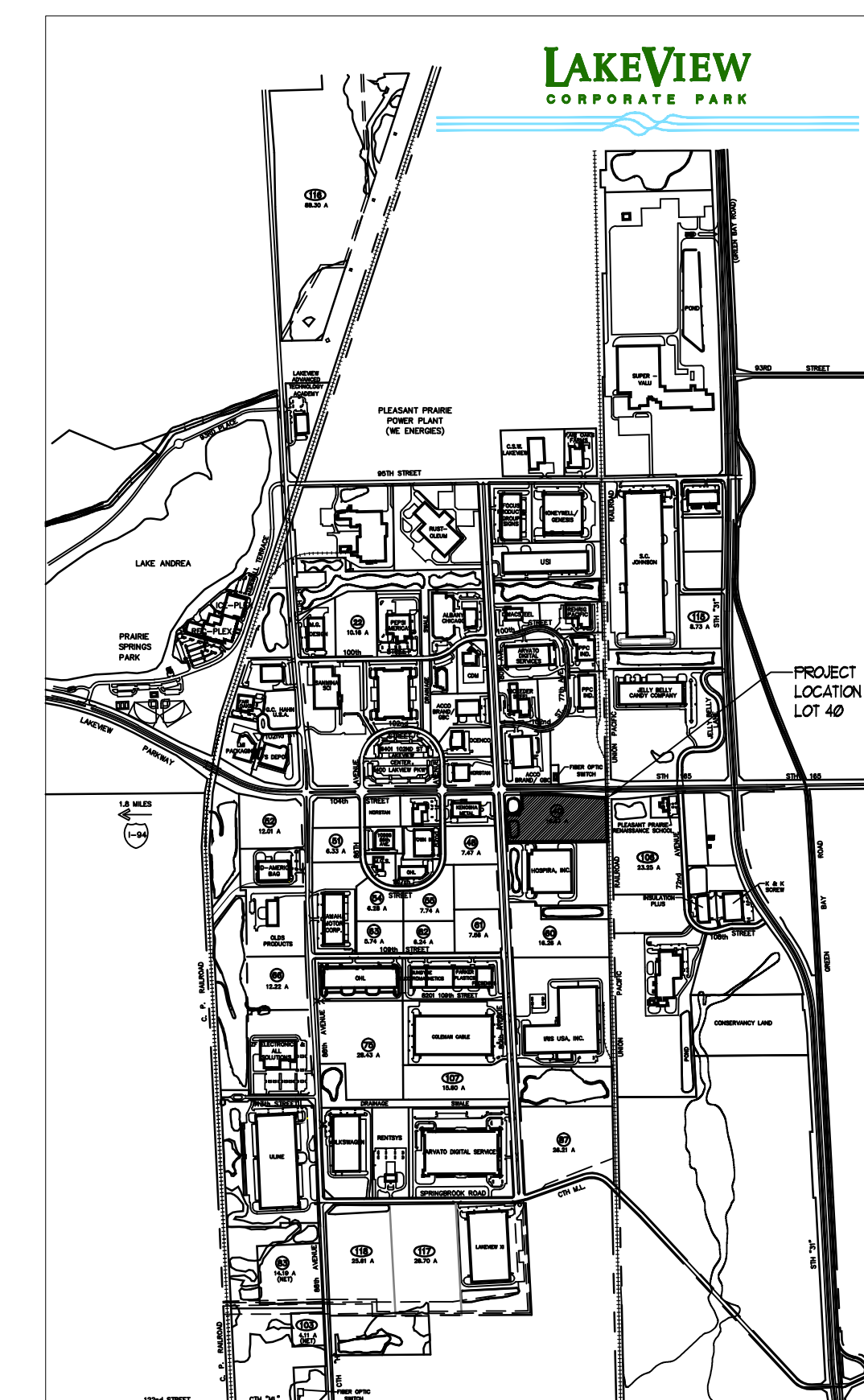
<b>CIVIL ENGINEER:</b> PINNACLE ENGINEERING GROUP 5590 W. BLUEBOND ROAD, SUITE 314 BROOKFIELD, WISCONSIN 53005 PHONE: 414.368.5891 ATTN: ADAM ANTZ, P.E.	
---	---

#### GOVERNING AGENCY CONTACTS

<b>PLEASANT PRAIRIE VILLAGE HALL</b> 930 39TH STREET PLEASANT PRAIRIE, WI 53158 OFFICE: (262) 694-1400	<b>ENGINEERING DEPARTMENT</b> MATT FINEOR, P.E. - VILLAGE ENGINEER OFFICE: (262) 925-6719 EMAIL: mfineor@pprairieil.com	<b>BUILDING INSPECTION DEPARTMENT</b> SANDRO PEREZ - BUILDING INSPECTION SUPERINTENDENT OFFICE: (262) 694-9304 DIRECT: (262) 925-6722 EMAIL: speres@pprairieil.com	THOMAS CLARK - LIEUTENANT OFFICE: (262) 694-8021 EMAIL: toclark@pprairieil.com
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PEGGY HERRICK - ASSISTANT PLANNER & ZONING ADMINISTRATOR OFFICE: (262) 925-6716 EMAIL: pherrick@pprairieil.com	<b>PUBLIC WORKS DEPARTMENT</b> JOHN STENBERG, JR. - SUPERINTENDENT ROGER FRANGE, PRINCIPAL BUILDING 8600 GREEN BAY ROAD OFFICE: (262) 925-6768 EMAIL: jstenberg@pprairieil.com	MICHAEL KAPRELIAN - BUILDING INSPECTOR OFFICE: (262) 694-9304 EMAIL: mkaprelian@pprairieil.com	PETER WOOD - WATER RESOURCES ENGINEER OFFICE: 262-884-7260 EMAIL: peter.wood@wisconsin.gov
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#### PUBLIC UTILITY CONTACTS

<b>AMERICAN TRANSMISSION COMPANY</b> ERIAN NOGEE OFFICE: 262-906-6995 EMAIL: erian.nogee@atc.com EMERGENCY NUMBER: (800) 912-5341	<b>IDG TELECOM</b> SOUTHEAST WISCONSIN OFFICE: 811.483.1742
<b>WISCONSIN D.O.T.</b> KEVIN KOEHNKE, PERMITS COORDINATOR SOUTHEAST REGION OFFICE: (262) 548-5891 EMAIL: kevin.koehnke@dowd.wis.gov	<b>THE WARNER CABLE</b> STEVE CRAMER - UTILITY COORDINATOR OFFICE: 414.217.4045 EMAIL: steve.cramer@warncable.com EMERGENCY NUMBER: 800.672.2288
	<b>WE ENERGIES</b> LINDA SCHREIER KENOSHA SOUTH OFFICE: 262.552.3228 EMAIL: linda.schreier@we-energies.com
	<b>NATURAL GAS EMERGENCY:</b> 800.246.5275 <b>ELECTRICAL EMERGENCY:</b> 800.667.4791



REVISIONS

PROJECT NUMBER:  
535.09.034  
DATE: JULY 18, 2016  
SITE AND OPERATIONAL PLANS

ONSITE CIVIL ENGINEERING INFRASTRUCTURE PLANS

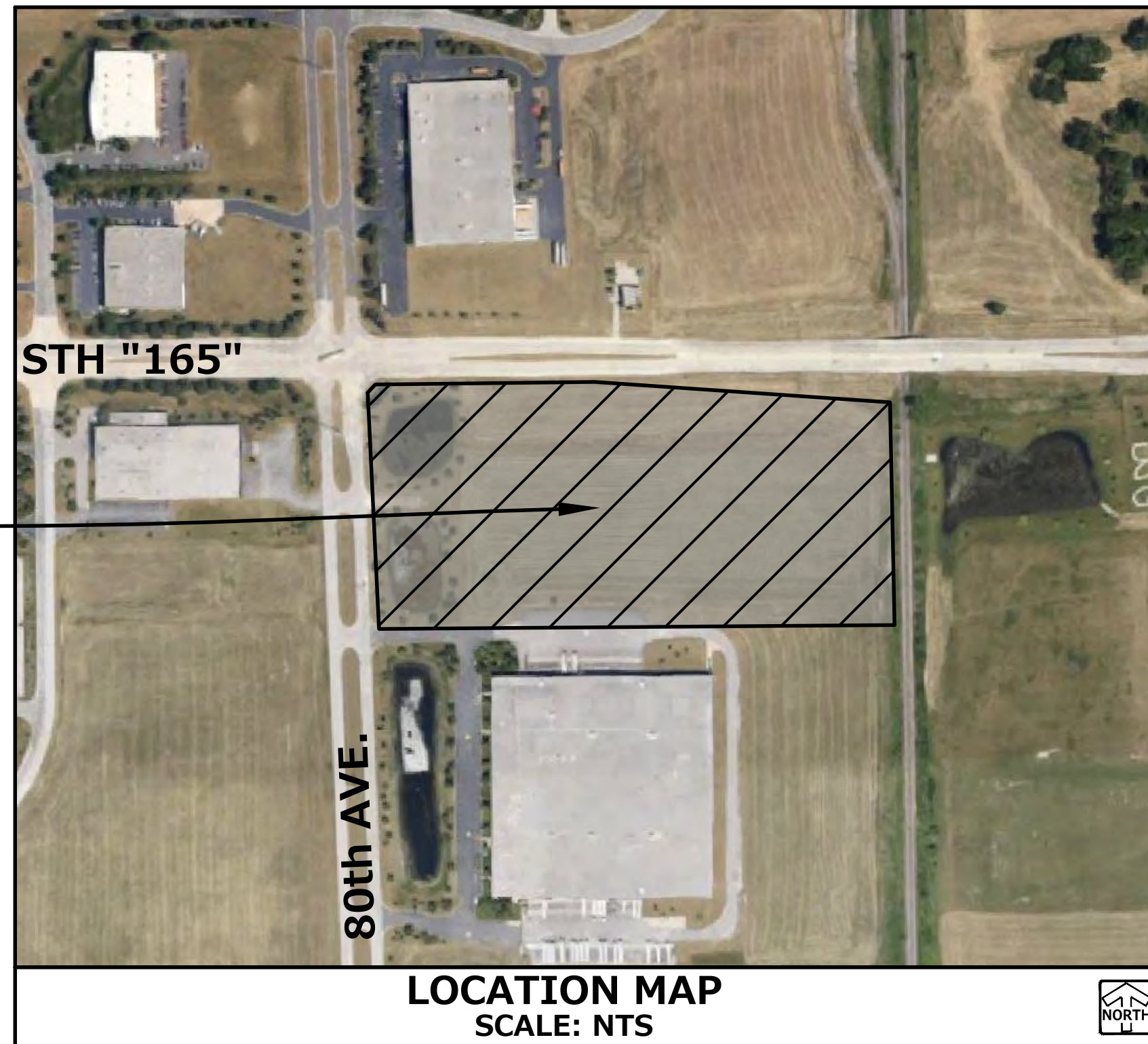
FOR

LAKEVIEW, LOT 40

PLEASANT PRAIRIE, WISCONSIN

PLANS PREPARED FOR

DOHENY'S  
6950 51ST STREET  
KENOSHA, WI 53144



LEGEND		
	EXISTING	PROPOSED
SANITARY SEWER MANHOLE	⊙	⊙
STORM SEWER MANHOLE	⊙	⊙
STORM SEWER AREA DRAIN	—	—
STORM SEWER INLET (ROUND CASTING)	○	○
STORM SEWER INLET (RECTANGULAR CASTING)	□	□
PRECAST FLARED END SECTION	▤	▤
CONCRETE HEADWALL	—	—
AIR RELEASE ASSEMBLY	⊙	⊙
VALVE BOX	⊙	⊙
FIRE HYDRANT	⊙	⊙
BUFFALO BOX	⊙	⊙
CLEANOUT	⊙	⊙
SANITARY SEWER	—	—
FORCE MAIN	—	—
STORM SEWER	—	—
DRAIN TILE	—	—
WATER MAIN	—	—
UTILITY CROSSING	—	—
LIGHTING	⊙	⊙
ELECTRICAL CABLE	—	—
OVERHEAD WIRES	—	—
CAUTION EXISTING UTILITIES NEARBY	—	—
ELECTRICAL TRANSFORMER OR PEDESTAL	⊙	⊙
POWER POLE	⊙	⊙
POWER POLE WITH LIGHT	⊙	⊙
STREET SIGN	⊙	⊙
GAS MAIN	—	—
TELEPHONE LINE	—	—
CONTOUR	—	—
SPOT ELEVATION	749 x 750.00	749 x 750.00
WETLANDS	—	—
FLOODWAY	—	—
FLOODPLAIN	—	—
HIGH WATER LEVEL (HWL)	—	—
NORMAL WATER LEVEL (NWL)	—	—
DIRECTION OF SURFACE FLOW	→	→
DITCH OR SWALE	—	—
DIVERSION SWALE	→	→
OVERFLOW RELIEF ROUTING	→	→
TREE WITH TRUNK SIZE	⊙	⊙
SOIL BORING	⊙	⊙
TEMPORARY SILT	⊙	⊙
FENCE LINE, WIRE	—	—
FENCE LINE, CHAIN LINK OR IRON	—	—
FENCE LINE, WOOD OR PLASTIC	—	—
CONCRETE SIDEWALK	—	—
CURB AND GUTTER	—	—
DEPRESSED CURB	—	—
REVERSE PITCH CURB & GUTTER	—	—
EASEMENT LINE	—	—

ABBREVIATIONS			
BL	BASE LINE	NWL	NORMAL WATER LEVEL
C	LONG CHORD OF CURVE	PC	POINT OF CURVATURE
C & G	CURB AND GUTTER	PT	POINT OF TANGENCY
CB	CATCH BASIN	PVI	POINT OF VERTICAL INTERSECTION
CL	CENTERLINE	R	RADIUS
D	DEGREE OF CURVE	ROW	RIGHT-OF-WAY
EF	EDGE OF PAVEMENT	SAN	SANITARY SEWER
FF	FINISHED FLOOR	ST	STORM SEWER
FG	FINISHED GRADE	T	TANGENCY OF CURVE
FL	FLOW LINE	TB	TOP OF BANK
FP	FLOODPLAIN	TC	TOP OF CURB
FR	FRAME	TF	TOP OF FOUNDATION
FW	FLOODWAY	TP	TOP OF PIPE
HWL	HIGH WATER LEVEL	TS	TOP OF SIDEWALK
INV	INVERT	TW	TOP OF WALK
L	LENGTH OF CURVE	WM	WATER MAIN
MH	MANHOLE	∆	INTERSECTION ANGLE

INDEX OF SHEETS	
C-1	COVER SHEET
C-2	EXISTING CONDITIONS
C-3	SITE DIMENSION & PAVING PLAN
C-4	GRADING PLAN
C-5	UTILITY PLAN
C-6	SITE STABILIZATION PLAN
C-7 - C-9	CONSTRUCTION DETAILS

REQUIRED SUBMITTALS FOR APPROVAL	
1.	HOT MIX ASPHALT - MIX DESIGN
2.	CONCRETE PAVEMENTS (EXTERIOR) - MIX DESIGN & JOINT PLAN
3.	PAVEMENT STONE BASE COURSE - GRADATION
4.	PIPE BEDDING & TRENCH BACKFILL - GRADATION
5.	MANHOLE BACKFILL - GRADATION
6.	PAVEMENT MARKING PAINT

REQUIRED SUBMITTALS FOR RECORDS	
1.	WATER MAIN PIPES, VALVES, HYDRANTS & FITTINGS
2.	SANITARY SEWER PIPE & FITTINGS
3.	STORM SEWER PIPE, STRUCTURES, & FITTINGS
4.	TRACER WIRE
5.	UNDERGROUND UTILITY LOCATION RECORD DRAWINGS
6.	ADA SIGN & TRUNCATED DOMES, PAINT & STENCILS
7.	CHEMICAL SOIL STABILIZATION MIX DESIGN (IF APPLICABLE)

**CONTACTS:**

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BROOKFIELD, WI 53005  
(262) 754-8888

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PARTNERS IN DESIGN ARCHITECTS  
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OFFICE: (847)940-0300  
EMAIL: pidarchitects.com

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**KURT DAVIDSEN, P.E.**  
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ROGER PRANGE MUNICIPAL BUILDING  
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**JESSE TOYEK, P.E.**  
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**STEVE WLAHOVICH**  
ENGINEERING TECHNICIAN  
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**GENERAL NOTES**

- THE INTENTION OF THE PLANS AND SPECIFICATIONS IS TO SET FORTH PERFORMANCE AND CONSTRUCTION MATERIAL STANDARDS FOR THE PROPER EXECUTION OF WORK. ALL WORKS CONTAINED WITHIN THE PLANS AND SPECIFICATIONS SHALL BE COMPLETED IN ACCORDANCE WITH ALL REQUIREMENTS FROM LOCAL, STATE, FEDERAL OR OTHER GOVERNING AGENCY'S LAWS, REGULATIONS, JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., AND THE OWNER'S DIRECTION.
- A GEOTECHNICAL REPORT IS CURRENTLY BEING PREPARED FOR THE PROJECT SITE. THE DATA ON SUB-SURFACE SOIL CONDITIONS IS NOT INTENDED AS A REPRESENTATION OR WARRANTY OF THE CONTINUITY OF SUCH CONDITIONS BETWEEN BORINGS OR INDICATED SAMPLING LOCATIONS. IT SHALL BE EXPRESSLY UNDERSTOOD THAT OWNER WILL NOT BE RESPONSIBLE FOR ANY INTERPRETATIONS OR CONCLUSIONS DRAWN THERE FROM BY THE CONTRACTOR. DATA IS MADE AVAILABLE FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING ANY ADDITIONAL SOIL INVESTIGATIONS THEY FEEL IS NECESSARY FOR THE PROPER EVALUATION OF THE SITE FOR PURPOSES OF PLANNING, BIDDING, OR CONSTRUCTING THE PROJECT AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE TO REVIEW AND UNDERSTAND ALL COMPONENTS OF THE PLANS AND SPECIFICATIONS, INCLUDING FIELD VERIFYING SOIL CONDITIONS, PRIOR TO SUBMISSION OF A BID PROPOSAL.
- THE CONTRACTOR SHALL PROMPTLY REPORT ANY ERRORS OR AMBIGUITIES LEARNED AS PART OF THEIR REVIEW OF PLANS, SPECIFICATIONS, REPORTS AND FIELD INVESTIGATIONS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE COMPUTATION OF QUANTITIES AND WORK REQUIRED TO COMPLETE THIS PROJECT. THE CONTRACTORS BID SHALL BE BASED ON ITS OWN COMPUTATIONS AND IN NO SUCH INSTANCE RELY ON THE ENGINEER'S ESTIMATE.
- QUESTIONS/CLARIFICATIONS WILL BE INTERPRETED BY ENGINEER/OWNER PRIOR TO THE AWARD OF CONTRACT. ENGINEER/OWNER WILL SUBMIT OFFICIAL RESPONSES IN WRITING. INTERPRETATIONS PRESENTED IN OFFICIAL RESPONSES SHALL BE BINDING ON ALL PARTIES ASSOCIATED WITH THE CONTRACT. IN NO WAY SHALL WORD-OF-MOUTH DIALOG CONSTITUTE AN OFFICIAL RESPONSE.
- PRIOR TO START OF WORK, CONTRACTOR SHALL BE COMPLETELY FAMILIAR WITH ALL CONDITIONS OF THE SITE, AND SHALL ACCOUNT FOR CONDITIONS THAT AFFECT, OR MAY AFFECT CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, LIMITATIONS OF WORK ACCESS, SPACE LIMITATIONS, OVERHEAD OBSTRUCTIONS, TRAFFIC PATTERNS, LOCAL REQUIREMENTS, ADJACENT ACTIVITIES, ETC. FAILURE TO CONSIDER SITE CONDITIONS SHALL NOT BE CAUSE FOR CLAIM OF JOB EXTRAS.
- COMMENCEMENT OF CONSTRUCTION SHALL EXPLICITLY CONFIRM THAT THE CONTRACTOR HAS REVIEWED THE PLANS AND SPECIFICATIONS IN ENTIRETY AND CERTIFIES THAT THEIR SUBMITTED BID PROPOSAL CONTAINS PROVISIONS TO COMPLETE THE PROJECT, WITH THE EXCEPTION OF UNFORESEEN FIELD CONDITIONS. ALL APPLICABLE PERMITS HAVE BEEN OBTAINED, AND CONTRACTOR UNDERSTANDS ALL OF THE REQUIREMENTS OF THE PROJECT.
- SHOULD ANY DISCREPANCIES OR CONFLICTS IN THE PLANS OR SPECIFICATIONS BE DISCOVERED AFTER THE AWARD OF CONTRACT, ENGINEER SHALL BE NOTIFIED IN WRITING IMMEDIATELY AND CONSTRUCTION OF ITEMS AFFECTED BY THE DISCREPANCIES/CONFLICTS SHALL NOT COMMENCE, OR CONTINUE, UNTIL A WRITTEN RESPONSE FROM ENGINEER/OWNER IS DISTRIBUTED. IN THE EVENT OF A CONFLICT BETWEEN REFERENCED CODES, STANDARDS, SPECIFICATIONS AND PLANS, THE ONE ESTABLISHING THE MOST STRINGENT REQUIREMENTS SHALL BE FOLLOWED.
- THE CONTRACTOR SHALL, AT ITS OWN EXPENSE, OBTAIN ALL NECESSARY PERMITS AND LICENSES TO COMPLETE THE PROJECT. OBTAINING PERMITS, OR DELAYS, IS NOT CAUSE FOR DELAY OF THE CONTRACT OR SCHEDULE. CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS.
- THE CONTRACTOR SHALL NOTIFY ALL INTERESTED GOVERNING AGENCIES, UTILITY COMPANIES AFFECTED BY THIS CONSTRUCTION PROJECT, AND DIGGERS HOTLINE IN ADVANCE OF CONSTRUCTION TO COMPLY WITH ALL JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., PERMIT STIPULATIONS, AND OTHER APPLICABLE STANDARDS.
- SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE TO INITIATE, INSTITUTE, ENFORCE, MAINTAIN, AND SUPERVISE ALL SAFETY PRECAUTIONS AND JOB SITE SAFETY PROGRAMS IN CONNECTION WITH THE WORK.
- CONTRACTOR SHALL KEEP THE JOBSITE CLEAN AND ORDERLY AT ALL TIMES. ALL LOCATIONS OF THE SITE SHALL BE KEPT IN A WORKING MANNER SUCH THAT DEBRIS IS REMOVED CONTINUOUSLY AND ALL RESPECTIVE CONTRACTORS OPERATE UNDER GENERAL "GOOD HOUSEKEEPING".
- THE CONTRACTOR SHALL INDEMNIFY THE OWNER, ENGINEER, AND THEIR AGENTS FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.
- PRIOR TO CONSTRUCTION, A PRE-CONSTRUCTION CONFERENCE MUST BE HELD AT THE VILLAGE OFFICES. THE PRE-CONSTRUCTION CONFERENCE SHALL BE SCHEDULED AND MODERATED BY THE DESIGN ENGINEER OF RECORD.

**PUBLIC UTILITY CONTACTS:**

**AMERICAN TRANSMISSION COMPANY:**  
BRIAN MCGEE  
EMAIL: 262-506-6895  
EMAIL: bmcgee@atcllc.com  
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**TIME WARNER CABLE:**  
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UTILITY COORDINATOR  
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**WISCONSIN D.O.T.:**  
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PERMITS COORDINATOR SOUTHEAST REGION  
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EMAIL: kevin.koehnke@dot.wi.gov

**WE-ENERGIES:**  
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KENOSHA SOUTH  
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**NATURAL GAS EMERGENCY:**  
800-261-5325  
ELECTRICAL EMERGENCY:  
800-662-4797

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MIKE TOYEK  
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**TDS TELECOM:**  
SOUTHEAST WISCONSIN  
OFFICE: 877-483-7142

**DIGGERS HOTLINE**

Toll Free (800) 242-8511  
Milwaukee Area (414) 259-1181  
Heating Inquired TD (800) 545-2289  
[www.Diggers-hotline.com](http://www.Diggers-hotline.com)

PINNACLE ENGINEERING GROUP, LLC  
ENGINEER'S LIMITATION

PINNACLE ENGINEERING GROUP, LLC AND THEIR CONSULTANTS DO NOT WARRANT OR GUARANTEE THE ACCURACY AND COMPLETENESS OF THE DELIVERABLES HEREIN BEYOND A REASONABLE DILIGENCE. IF ANY MISTAKES, OMISSIONS, OR DISCREPANCIES ARE FOUND TO EXIST WITHIN THE DELIVERABLES, THE ENGINEER SHALL BE PROMPTLY NOTIFIED PRIOR TO BID SO THAT HE MAY HAVE THE OPPORTUNITY TO TAKE WHATEVER STEPS ARE NECESSARY TO PROMPTLY NOTIFY THE ENGINEER OF SUCH CONDITIONS. ACTIONS TAKEN WITHOUT THE KNOWLEDGE AND CONSENT TO THE ENGINEER, OR IN CONTRADICTION TO THE ENGINEER'S DELIVERABLES OR RECOMMENDATIONS, SHALL BECOME THE RESPONSIBILITY NOT OF THE ENGINEER BUT OF THE PARTIES RESPONSIBLE FOR TAKING SUCH ACTION.

FURTHERMORE, PINNACLE ENGINEERING GROUP, LLC IS NOT RESPONSIBLE FOR CONSTRUCTION SAFETY OR THE MEANS AND METHODS OF CONSTRUCTION.

DESIGNED: DCS; DRAWN: EP; REVIEWED: MHH; THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF PINNACLE ENGINEERING GROUP, LLC

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PLAN | DESIGN | DELIVER  
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**PINNACLE ENGINEERING GROUP**

WISCONSIN OFFICE: 15850 W. BLUEMOUND ROAD, BROOKFIELD, WI 53005, (262) 754-8888  
CHICAGO/MILWAUKEE: NATIONWIDE

**LAKEVIEW LOT 40**  
PLEASANT PRAIRIE, WI

**COVER SHEET**

REVISIONS	

REG. JOB NO: 559.000A-WI  
REG. PIN: MAC  
START DATE: 07/11/26  
SCALE:      SHEET C-1 of C-9

**DEMOLITION & CLEARING**

- CONTRACTOR WILL BE RESPONSIBLE FOR ENSURING THAT THE APPROPRIATE GOVERNMENTAL ENTITIES ARE NOTIFIED OF THE WORK AND NECESSARY PERMITS ARE OBTAINED.
- CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ITEMS/DEBRIS, CLASSIFICATION, AND PROPER DISPOSAL (E.G. - ARRANGE FOR ADEQUATE COLLECTION, AND TRANSPORTATION TO DELIVER THE RECOVERED MATERIALS TO THE APPROVED RECYCLING CENTER OR PROCESSING FACILITY). CONTRACTOR SHALL MAINTAIN RECORDS ACCESSIBLE TO THE OWNER AND GOVERNMENT ENTITIES.
- CONDUCT DEMOLITION OPERATIONS AND REMOVE DEBRIS IN MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES.
- CONDUCT DEMOLITION OPERATIONS TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND FACILITIES DESIGNATED TO REMAIN.
- PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION AS REQUIRED FOR SAFETY AND SECURITY.
- PROVIDE BARRIERS AND APPROPRIATE SIGNS WHERE NECESSARY TO RESTRICT PEDESTRIANS FROM WANDERING INTO CONSTRUCTION AREAS. PROVIDE ACCEPTABLE TEMPORARY SECURITY BARRIERS WHERE PHYSICAL SECURITY OF BUILDINGS OR FENCES IS COMPROMISED DUE TO DEMOLITION WORK.
- PROVIDE TEMPORARY WEATHER PROTECTION DURING INTERVAL BETWEEN DEMOLITION AND REMOVAL OF EXISTING CONSTRUCTION ON EXTERIOR SURFACES AND INSTALLATION OF NEW CONSTRUCTION TO ENSURE NO WATER LEAKAGE OR DAMAGE OCCURS TO STRUCTURE OR INTERIOR AREAS OF EXISTING BUILDING.
- ERECT TEMPORARY ENCLOSURES AS NECESSARY TO LIMIT DUST. USE WATER AS NECESSARY TO LAY DUST WHEN CHIPPING, CORING, OR SAWING CONCRETE, MASONRY OR SIMILAR MATERIALS. WATER MUST BE CONTROLLED INSIDE BUILDINGS BY DAMMING, OR OTHER CONTAINMENT METHOD.
- ERECT AND MAINTAIN INTERIOR AND EXTERIOR SHORING, BRACING OR STRUCTURAL SUPPORT TO PRESERVE STABILITY AND PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF STRUCTURES AND ADJACENT FACILITIES THAT ARE NOT PART OF DEMOLITION.
- PERFORM WORK IN SAFE AND SYSTEMATIC MANNER.
- WEAR PROPER PERSONAL PROTECTIVE EQUIPMENT AT ALL TIMES.
- COMPLETELY BACKFILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM UTILITY REMOVAL AND OTHER DEMOLITION WORK WITH CLOSE GRADED AGGREGATE OR CONCRETE STRUCTURAL FILL.
- REPAIR DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED.

**EXISTING CONDITIONS SURVEY:**

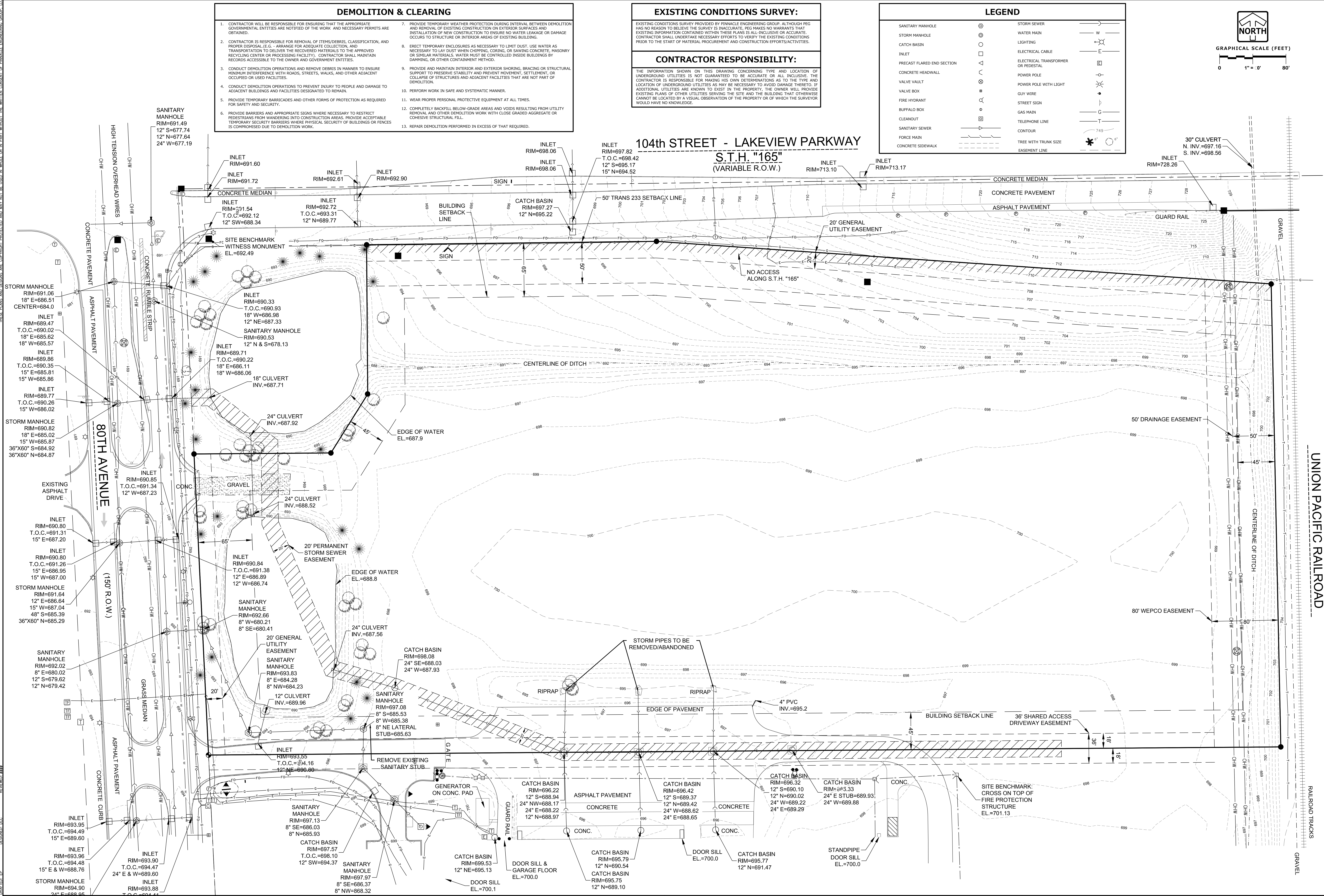
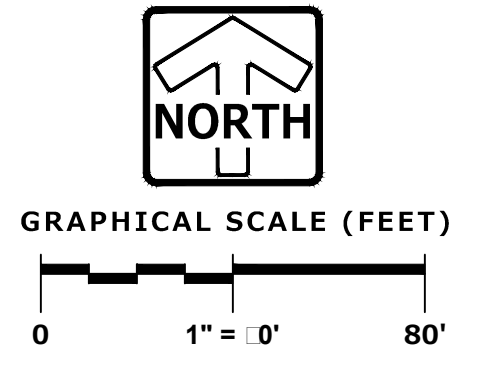
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**CONTRACTOR RESPONSIBILITY:**

THE INFORMATION SHOWN ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL-INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATIONS AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. IF ADDITIONAL UTILITIES ARE KNOWN TO EXIST IN THE PROPERTY, THE OWNER WILL PROVIDE EXISTING PLANS OF OTHER UTILITIES SERVING THE SITE AND THE BUILDING THAT OTHERWISE CANNOT BE LOCATED BY A VISUAL OBSERVATION OF THE PROPERTY OR OF WHICH THE SURVEYOR WOULD HAVE NO KNOWLEDGE.

**LEGEND**

SANITARY MANHOLE	STORM SEWER
STORM MANHOLE	WATER MAIN
CATCH BASIN	LIGHTING
INLET	ELECTRICAL CABLE
PRECAST FLARED END SECTION	ELECTRICAL TRANSFORMER OR PEDESTAL
CONCRETE HEADWALL	POWER POLE
VALVE VAULT	POWER POLE WITH LIGHT
VALVE BOX	GUY WIRE
FIRE HYDRANT	STREET SIGN
BUFFALO BOX	GAS MAIN
CLEANOUT	TELEPHONE LINE
SANITARY SEWER	CONTOUR
FORCE MAIN	TREE WITH TRUNK SIZE
CONCRETE SIDEWALK	EASEMENT LINE



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WISCONSIN OFFICE:  
13850 W. BLUEMOUND ROAD  
BROOKFIELD, WI 53005  
(262) 754-8888

CHICAGO | MILWAUKEE | NATIONAL

**LAKEVIEW LOT 40  
PLEASANT PRAIRIE, WI**

**EXISTING CONDITIONS**

REVISIONS	

SHEET  
C-2  
C-9

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- ### NOTES
- ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB OR BUILDING FOUNDATION UNLESS NOTED OTHERWISE. ALL UTILITY DIMENSIONS ARE TO OUTSIDE OF PIPE OR CENTER OF STRUCTURE UNLESS OTHERWISE NOTED. ALL PAVING DIMENSIONS ARE TO FACE OF CURB OR TO EDGE OF PAVEMENT, EXCEPT FOR THE SETBACK FROM PARKING LOTS, MANEUVERING LANES AND FINE ACCESS LANES, WHERE THE SETBACK IS MEASURED FROM THE BACK OF CURB TO THE PROPERTY LINE.
  - ALL PROPOSED CURB AND GUTTER SHALL BE 18" STANDARD CURB AND GUTTER (SEE DETAILS), UNLESS OTHERWISE NOTED. CURB AND GUTTER DRAINING AWAY FROM THE FACE OF CURB IS NOTED AS REVERSE CURB AND GUTTER.
  - BUILDING DIMENSIONS AND ADJACENT PARKING AND UTILITY LAYOUT HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION CURRENT AT THE DATE OF THIS DRAWING. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST. THEREFORE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS AND NOTIFY THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
  - THE CONTRACTOR SHALL CONTACT DIGGERS HOTLINE (1-800-242-8511) PRIOR TO ANY WORK TO LOCATE UTILITIES AND SHALL CONTACT THE OWNER SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENT.
  - IMPROVEMENTS ADJACENT TO BUILDING IF SHOWN SUCH AS TRUCK DOCK, RETAINING WALLS, SIDEWALKS, CURBING, FENCES, CANOPIES, RAMPS, HANDICAP ACCESS, PLANTERS, DUMPSTERS, AND TRANSFORMERS ETC. HAVE BEEN SHOWN FOR APPROXIMATE LOCATION ONLY. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS, SPECIFICATIONS, AND DETAILS.
  - REFER TO ELECTRICAL PLANS FOR LIGHTING LOCATIONS, SPECIFICATIONS, AND DETAILS.
  - SEE ADDITIONAL NOTES AND DETAILS ON SITE DIMENSIONAL PLANS AND CONSTRUCTION DETAILS.
  - ALL PAVING SHALL CONFORM TO STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION AND APPLICABLE VILLAGE OF PLEASANT PRAIRIE ORDINANCES, AND SPECIFICATIONS CONTAINED WITHIN THIS PLAN SET.
  - CONTRACTOR SHALL CONSULT STRIPING COLOR WITH OWNER PRIOR TO CONSTRUCTION.
  - PROVIDE CONTRACTOR GRADE ACRYLIC STRIPING PAINT FOR NEW ASPHALT OR COATED ASPHALT. APPLY MARKING PAINT AT A RATE OF ONE (1) GALLON PER THREE TO FOUR HUNDRED (300-400) LINEAL FEET OF FOUR (4) INCH WIDE STRIPES OR TO MANUFACTURER'S SPECIFICATION, WHICHEVER IS GREATER.
  - THOROUGHLY CLEAN SURFACES FREE OF DIRT, SAND, GRAVEL, OIL AND OTHER FOREIGN MATTER. CONTRACTOR RESPONSIBLE TO INSPECT EXISTING PAVEMENT SURFACES FOR CONDITIONS AND DEFECTS THAT WILL ADVERSELY AFFECT QUALITY OF WORK, AND WHICH CANNOT BE PUT INTO AN ACCEPTABLE CONDITION THROUGH NORMAL PREPARATORY WORK AS SPECIFIED.
  - DO NOT PLACE MARKING OVER UNSOUND PAVEMENTS. IF THESE CONDITIONS EXIST, NOTIFY OWNER. STARTING INSTALLATION CONSTITUTES CONTRACTOR'S ACCEPTANCE OF SURFACE AS SUITABLE FOR INSTALLATION.
  - LAYOUT MARKINGS USING GUIDE LINES, TEMPLATES AND FORMS, STENCILS AND TEMPLATES SHALL BE PROFESSIONALLY MADE TO INDUSTRY STANDARDS. "FREE HAND" PAINTING OF ARROWS, SYMBOLS, OR WORDING SHALL NOT BE ALLOWED. APPLY STRIPES STRAIGHT AND EVEN.
  - PROTECT ADJACENT CURBS, WALKS, FENCES, AND OTHER ITEMS FROM RECEIVING PAINT.
  - BARRICADE MARKED AREAS DURING INSTALLATION UNTIL THE MARKING PAINT IS DRIED AND READY FOR TRAFFIC.
  - ASPHALTIC CONCRETE PAVING SPECIFICATIONS-  
 CODES AND STANDARDS: THE PLACING, CONSTRUCTION AND COMPOSITION OF THE ASPHALTIC BASE COURSE AND ASPHALTIC CONCRETE SURFACING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460 AND 465 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, EDITION OF 2005. HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS THE STATE HIGHWAY SPECIFICATIONS.  
 WEATHER LIMITATIONS: APPLY TACK COATS WHEN AMBIENT TEMPERATURE IS ABOVE 50° F (10° C) AND WHEN TEMPERATURE HAS NOT BEEN BELOW 32° F (0° C) FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NOT APPLY WHEN BASE IS WET OR CONTAINS EXCESS OF MOISTURE. CONSTRUCT ASPHALTIC CONCRETE SURFACE COURSE WHEN ATMOSPHERIC TEMPERATURE IS ABOVE 40° (4° C) AND WHEN BASE IS DRY AND WHEN WEATHER IS NOT RAINY. BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30° F (-1° C).  
 GRADE CONTROL: ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION.  
 CRUSHED AGGREGATE BASE COURSE: THE TOP LAYER OF BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS.

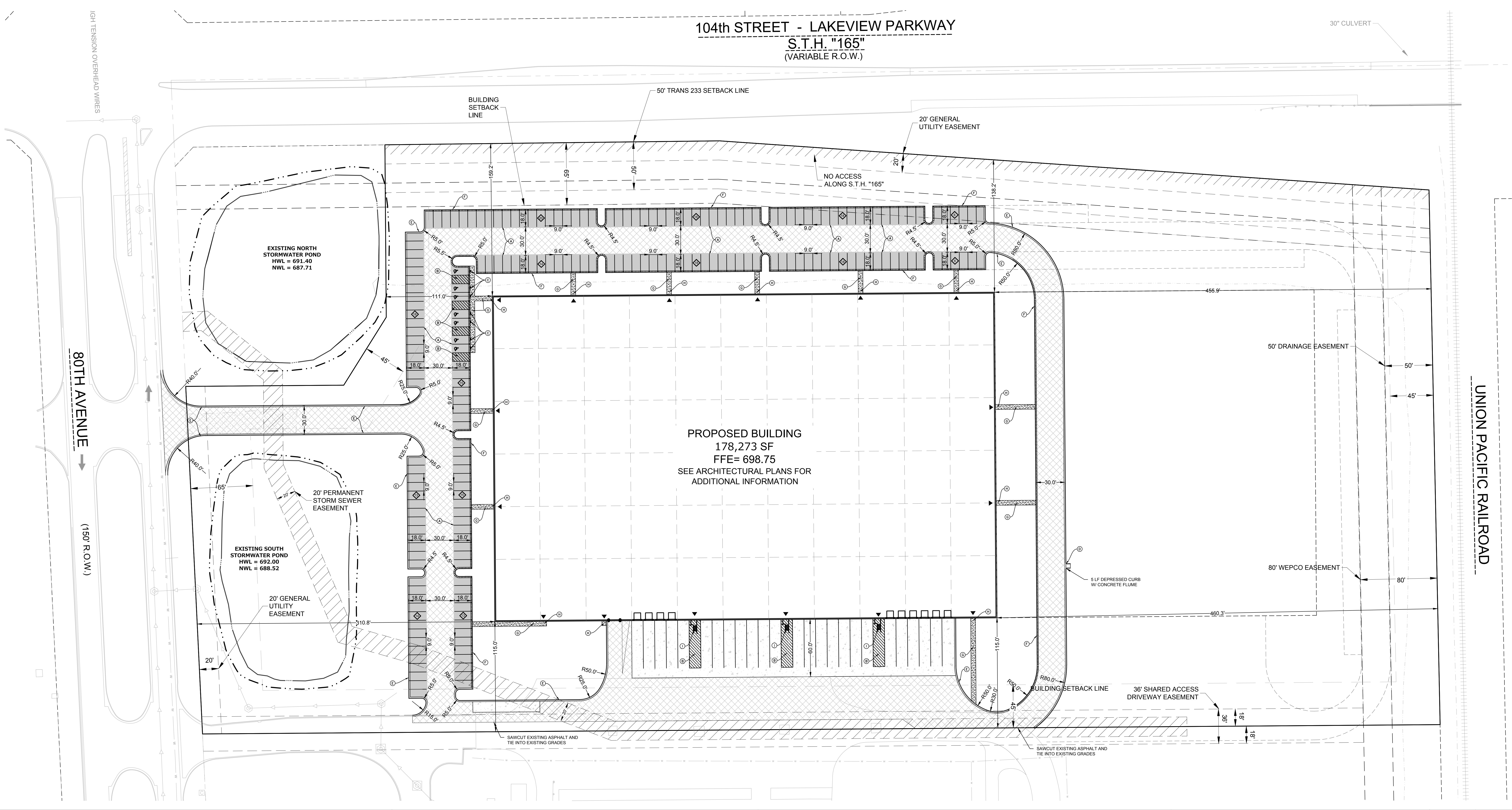
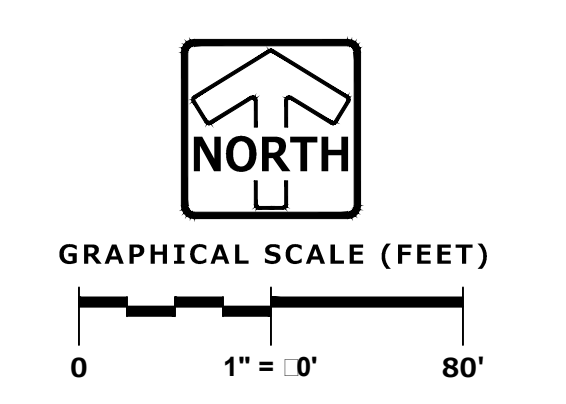
- ### LEGEND
- LIGHT DUTY PAVEMENT
  - HEAVY DUTY PAVEMENT
  - CONCRETE PAVEMENT (TRUCK DOCKS & DOLLY PADS)
  - CONCRETE SIDEWALK
  - 4" SOLID WHITE STRIPE
  - 4" DIAGONAL AT 45° SPACED 2' O.C.
  - R7-8 HANDICAP PARKING SIGN (SEE DETAIL)
  - TAPER CURB HEAD (SEE DETAIL)
  - 18" CURB & GUTTER (SEE DETAIL)
  - REVERSE 18" CURB & GUTTER (SEE DETAIL)
  - 5.0' WIDE CONCRETE SIDEWALK (SEE DETAIL)
  - BUILDING DOOR SLAB (2% MAX SLOPE WITHIN DRIVE IN OR MAN DOOR)
  - STEEL STAIRS (SEE ARCHITECTURAL PLANS)
  - CONCRETE SLOPE PAVING
  - PARKING COUNT- NOT TO BE PAINTED
  - MAN DOOR
  - OVERHEAD DOOR

### EXISTING CONDITIONS SURVEY:

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### SITE DATA

SITE AREA:	16.7 AC
DISTURBED AREA:	10.9 AC
BUILDING FOOTPRINT AREA:	4.1 AC (178,273 S.F.)
ADDED CAR PARKING SPACES:	206 SPACES (7 A.D.A.)
ADDED TRUCK DOCK SPACES:	25
PAVEMENT AREA:	3.1 AC
PAVEMENT AREA (WITH FUTURE EXPANSION):	4.6 AC
IMPERVIOUS AREA:	7.2 AC
IMPERVIOUS AREA (WITH FUTURE EXPANSION):	12.6 AC
GREEN SPACE:	9.5 AC (57%)
GREEN SPACE (WITH FUTURE EXPANSION):	4.1 AC (25%)
ZONING DISTRICT:	M-2
(PLEASANT PRAIRIE)	



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BROOKFIELD, WI 53005  
(262) 754-8888  
CHICAGO | MILWAUKEE | NATIONWIDE

**LAKEVIEW LOT 40**  
PLEASANT PRAIRIE, WI

**SITE DIMENSION & PAVING PLAN**

### REVISIONS

NO.	DESCRIPTION	DATE

REG. NO. W-559.000A-WI  
MAC  
SCALE: 1"=100'  
START DATE: 07/11/16  
SHEET  
C-3  
C-9

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SITE DIMENSION & PAVING PLAN

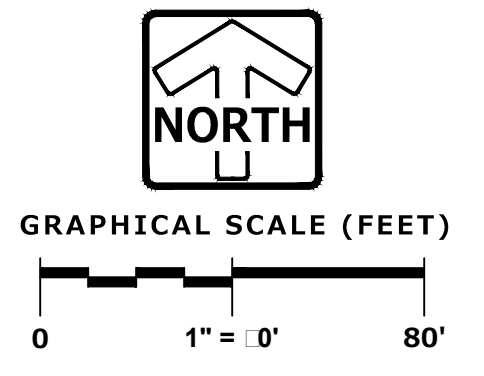
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- ### NOTES
- CONTRACTOR SHALL VERIFY ALL GRADES, ENSURE ALL AREAS DRAIN PROPERLY AND REPORT ANY DISCREPANCIES TO PINNACLE ENGINEERING GROUP PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.
  - ALL EXISTING CONTOURS REPRESENT EXISTING SURFACE GRADES UNLESS OTHERWISE NOTED. ALL PROPOSED GRADES SHOWN ARE FINISH SURFACE GRADES UNLESS OTHERWISE NOTED.
  - SPOT ELEVATIONS REPRESENT THE GRADE ALONG THE CURB & GUTTER FLOWLINE UNLESS OTHERWISE NOTED.
  - ALL EXCAVATIONS AND MATERIAL PLACEMENT SHALL BE COMPLETED TO DESIGN ELEVATIONS AS DEPICTED IN THE PLANS.  
CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATION(S) OF ALL GRADING QUANTITIES. WHILE PEG ATTEMPTS TO PROVIDE A COST EFFECTIVE APPROACH TO BALANCE EARTHWORK, GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFETY, AESTHETICS, AND COMMON ENGINEERING STANDARDS OF CARE, THEREFORE NO GUARANTEE CAN BE MADE FOR A BALANCED SITE.  
THE CONTRACTOR MAY SOLICIT APPROVAL FROM ENGINEER/OWNER TO ADJUST FINAL GRADES FROM DESIGN GRADES TO PROVIDE AN OVERALL SITE BALANCE AS A RESULT OF FIELD CONDITIONS.
  - GRADING ACTIVITIES SHALL BE IN A MANNER TO ALLOW POSITIVE DRAINAGE ACROSS DISTURBED SOILS, WHICH MAY INCLUDE EXCAVATION OF TEMPORARY DITCHES TO PREVENT PONDING, AND IF NECESSARY PUMPING TO ALLEVIATE PONDING. CONTRACTOR SHALL PREVENT SURFACE WATER FROM ENTERING INTO EXCAVATIONS. IN NO WAY SHALL OWNER BE RESPONSIBLE FOR REMEDIATION OF UNSUITABLE SOILS CREATED/ORIGINATED AS A RESULT OF IMPROPER SITE GRADING OR SEQUENCING. CONTRACTOR SHALL SEQUENCE GRADING ACTIVITIES TO LIMIT EXPOSURE OF DISTURBED SOILS DUE TO WEATHER.
  - THE CONTRACTOR IS RESPONSIBLE FOR MEETING MINIMUM COMPACTION STANDARDS. THE CONTRACTOR SHALL NOTIFY ENGINEER/OWNER IF PROPER COMPACTION CANNOT BE OBTAINED. THE PROJECT'S GEOTECHNICAL CONSULTANT SHALL DETERMINE WHICH IN-SITU SOILS ARE TO BE CONSIDERED UNSUITABLE SOILS. THE ENGINEER/OWNER AND GEOTECHNICAL TESTING CONSULTANT WILL DETERMINE IF REMEDIAL MEASURES WILL BE NECESSARY.
  - IN THE EVENT THAT ANY MOISTURE-DENSITY TEST(S) FAIL TO MEET SPECIFICATION REQUIREMENTS, THE CONTRACTOR SHALL PERFORM CORRECTIVE WORK AS NECESSARY TO BRING THE MATERIAL INTO COMPLIANCE AND RETEST THE FAILED AREA AT NO COST TO THE OWNER.
  - WITH THE AUTHORIZATION OF THE ENGINEER/OWNER, MATERIAL THAT IS TOO WET TO PERMIT PROPER COMPACTION MAY BE SPREAD ON FILL AREAS IN AN EFFORT TO DRY. CONTRACTOR SHALL CLEARLY FIELD MARK THE EXTERIOR LIMITS OF SPREAD MATERIAL WITH PAINTED LATH AND SUBMIT A PLAN TO THE ENGINEER/OWNER THAT IDENTIFIES THE LIMITS. UNDER NO CONDITION SHALL THE SPREAD MATERIAL DEPTH EXCEED THE MOST RESTRICTIVE OF: THE EFFECTIVE TREATMENT DEPTH OF MACHINERY THAT WILL BE USED TO TURN OVER THE SPREAD MATERIAL, OR THE MAXIMUM COMPACTION LIFT DEPTH.
  - THE CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER/OWNER IF GROUNDWATER IS ENCOUNTERED DURING EXCAVATION.
  - CONTRACTOR IS SOLELY RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ADEQUATE AND SAFE TEMPORARY SHORING, BRACING, RETENTION STRUCTURES, AND EXCAVATIONS.
  - THE SITE SHALL BE COMPLETED TO WITHIN 0.10-FT (+/-) OF THE PROPOSED GRADES AS INDICATED WITHIN THE PLANS PRIOR TO PLACEMENT OF TOPSOIL OR STONE. CONTRACTOR IS ENCOURAGED TO SEQUENCE CONSTRUCTION SUCH THAT THE SITE IS DIVIDED INTO SMALLER AREAS TO ALLOW STABILIZATION OF DISTURBED SOILS IMMEDIATELY UPON COMPLETION OF INDIVIDUAL SMALLER AREAS.
  - CONTRACTOR SHALL CONTACT "DIGGER'S HOTLINE" FOR LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES AND SHALL BE RESPONSIBLE FOR PROTECTING SAID UTILITIES FROM ANY DAMAGE DURING CONSTRUCTION.
  - CONTRACTOR SHALL PROTECT INLETS AND ADJACENT PROPERTIES WITH SILT FENCING OR APPROVED EROSION CONTROL METHODS UNTIL CONSTRUCTION IS COMPLETED. CONTRACTOR SHALL PLACE SILT FENCING AT DOWN SLOPE SIDE OF GRADING LIMITS.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ANY EXISTING FACILITIES OR UTILITIES. ANY DAMAGE SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE EXPENSE OF THE CONTRACTOR.
  - WORK WITHIN ANY ROADWAY RIGHT-OF-WAY SHALL BE COORDINATED WITH THE APPROPRIATE MUNICIPAL OFFICIAL PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FEES. GRADING WITHIN RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY SAID OFFICIALS. RESTORATION OF RIGHT-OF-WAY IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF GRADING. RESTORATION SHALL INCLUDE ALL ITEMS NECESSARY TO RESTORE RIGHT-OF-WAY IN-KIND INCLUDING LANDSCAPING.
  - CONTRACTOR SHALL COMPLY WITH ALL TOWN OF SOMERS CONSTRUCTION STANDARDS/ORDINANCES.
  - LANDSCAPE AND TURF AREAS SHALL HAVE A MINIMUM OF 4-INCH TOPSOIL REPLACEMENT.
  - TOPSOIL BERMING SHALL ACHIEVE 90% STANDARD PROCTOR DENSITY AT 3% (+) OPTIMUM MOISTURE CONTENT.
  - SURVEY BENCHMARKS AND MAPPING HAS BEEN PROVIDED BY PINNACLE ENGINEERING GROUP. IN NO WAY DOES PEG WARRANT THE BASEMAP IS ALL INCLUSIVE OR REPRESENTATIVE OF ACTUAL CONDITIONS. CONTRACTOR SHALL PROVIDE CHECKS AS NECESSARY TO VERIFY THE BASEMAP CONTENT AND ACCURACY.

- ### LEGEND
- STORM SEWER MANHOLE
  - STORM SEWER CATCH BASIN - ROUND CASTING
  - STORM SEWER CATCH BASIN - RECTANGULAR CASTING
  - PROPOSED END SECTION
  - - - PROPOSED CONTOUR
  - SPOT ELEVATION
  - DIRECTION OF SURFACE FLOW
  - DITCH OR SWALE
  - OVERFLOW RELIEF ROUTING
  - CURB AND GUTTER
  - DEPRESSED CURB
  - REVERSE PITCH CURB & GUTTER

### EXISTING CONDITIONS SURVEY:

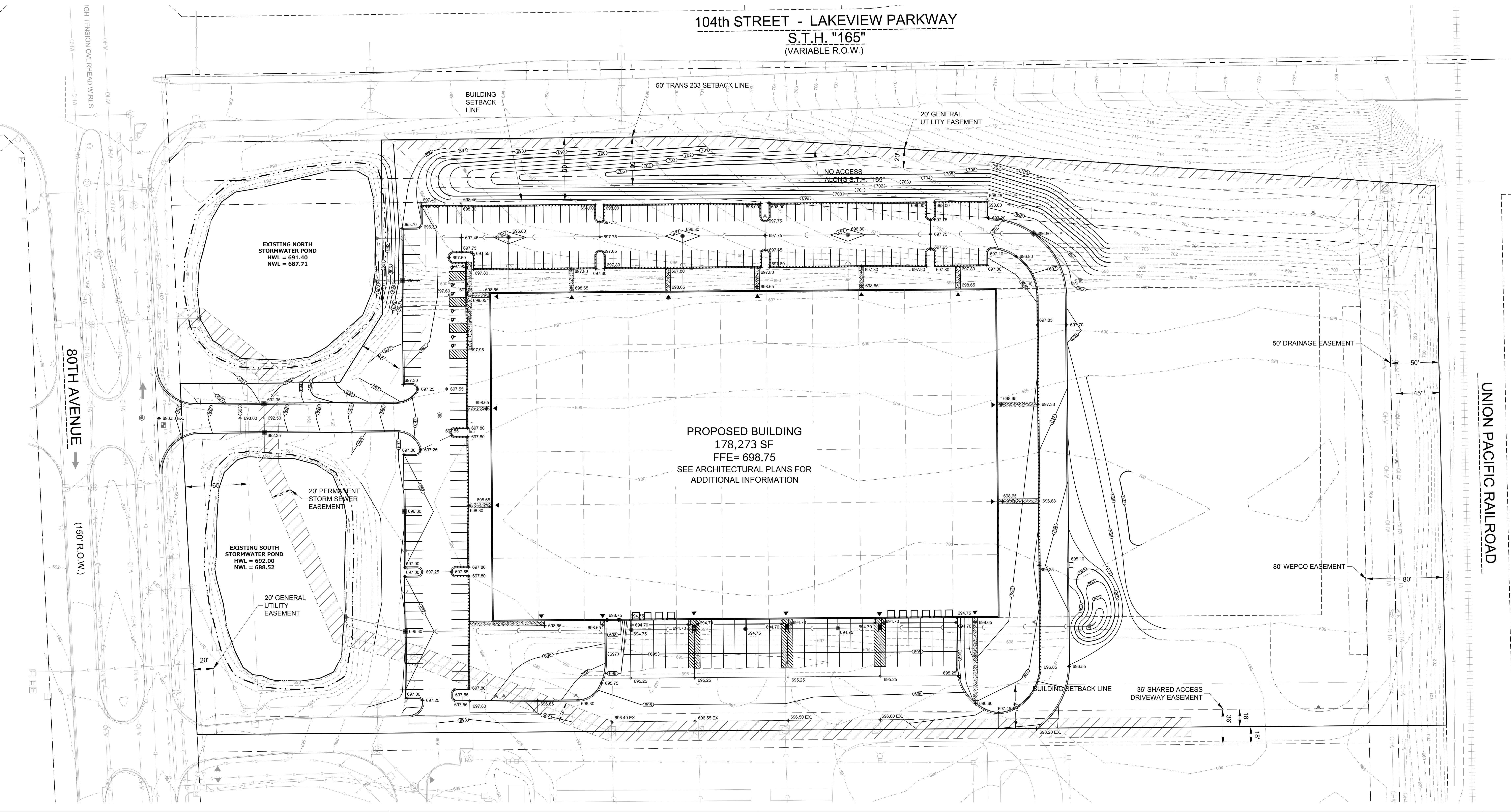
EXISTING CONDITIONS SURVEY PROVIDED BY PINNACLE ENGINEERING GROUP. ALTHOUGH PEG HAS NO REASON TO BELIEVE THE SURVEY IS INACCURATE, PEG MAKES NO WARRANTIES THAT EXISTING INFORMATION CONTAINED WITHIN THESE PLANS IS ALL-INCLUSIVE OR ACCURATE. CONTRACTOR SHALL UNDERTAKE NECESSARY EFFORTS TO VERIFY THE EXISTING CONDITIONS PRIOR TO THE START OF MATERIAL PROCUREMENT AND CONSTRUCTION EFFORTS/ACTIVITIES.



## 104th STREET - LAKEVIEW PARKWAY

### S.T.H. "165"

(VARIABLE R.O.W.)



DESIGNED: EP  
CHECKED: MAS  
REVIEWED: MAS

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(262) 754-8888

CHICAGO | MILWAUKEE | MADISON | NATIONALS

## LAKEVIEW LOT 40

### PLEASANT PRAIRIE, WI

## GRADING PLAN

### REVISIONS

NO.	DATE	DESCRIPTION

REG. OR. NO. 559.000A-WI  
MAC  
SCALE: 1"=100'  
START DATE: 07/11/16  
SHEET C-4 OF C-9  
GRADING PLAN

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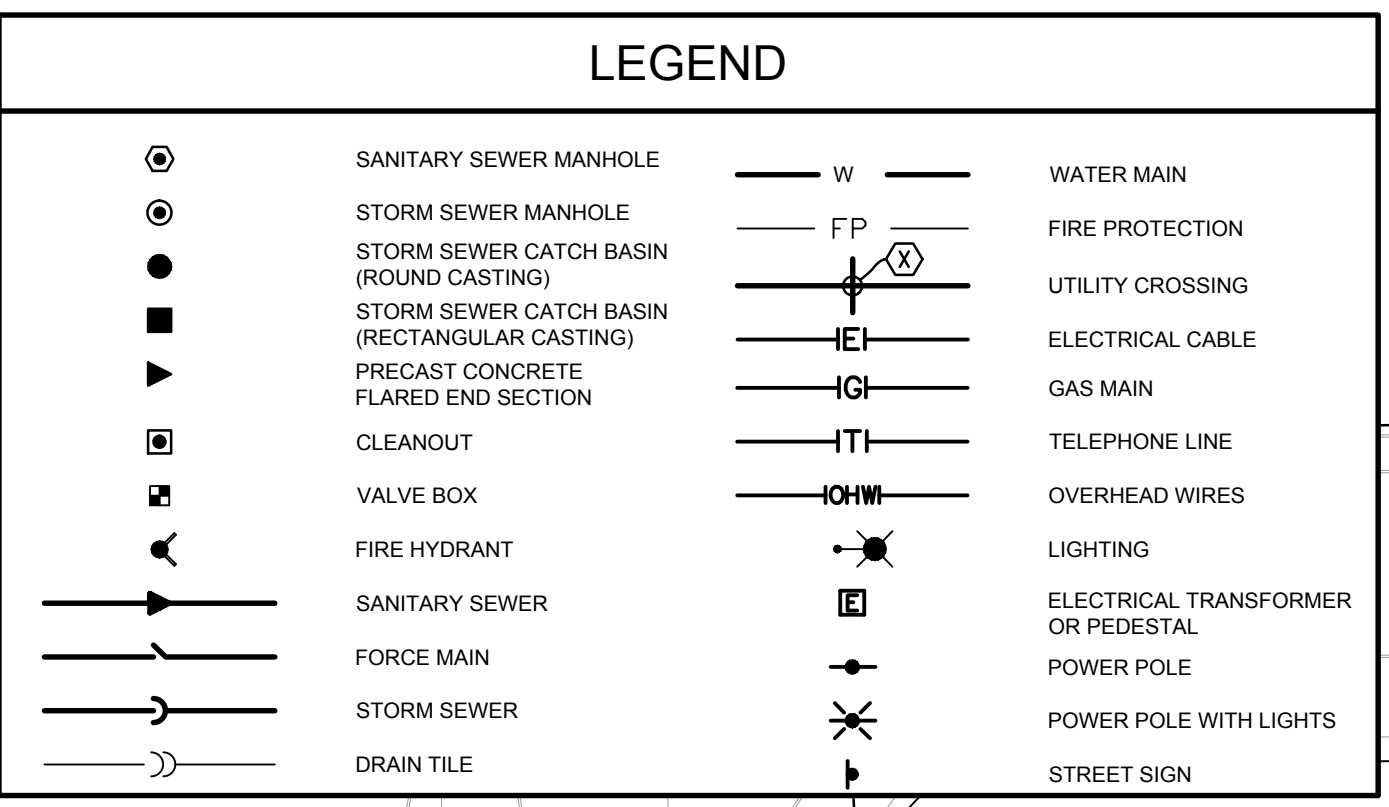
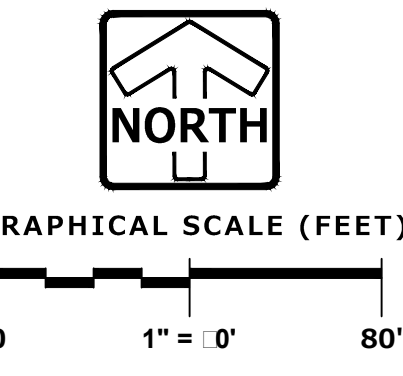
GRADING PLAN

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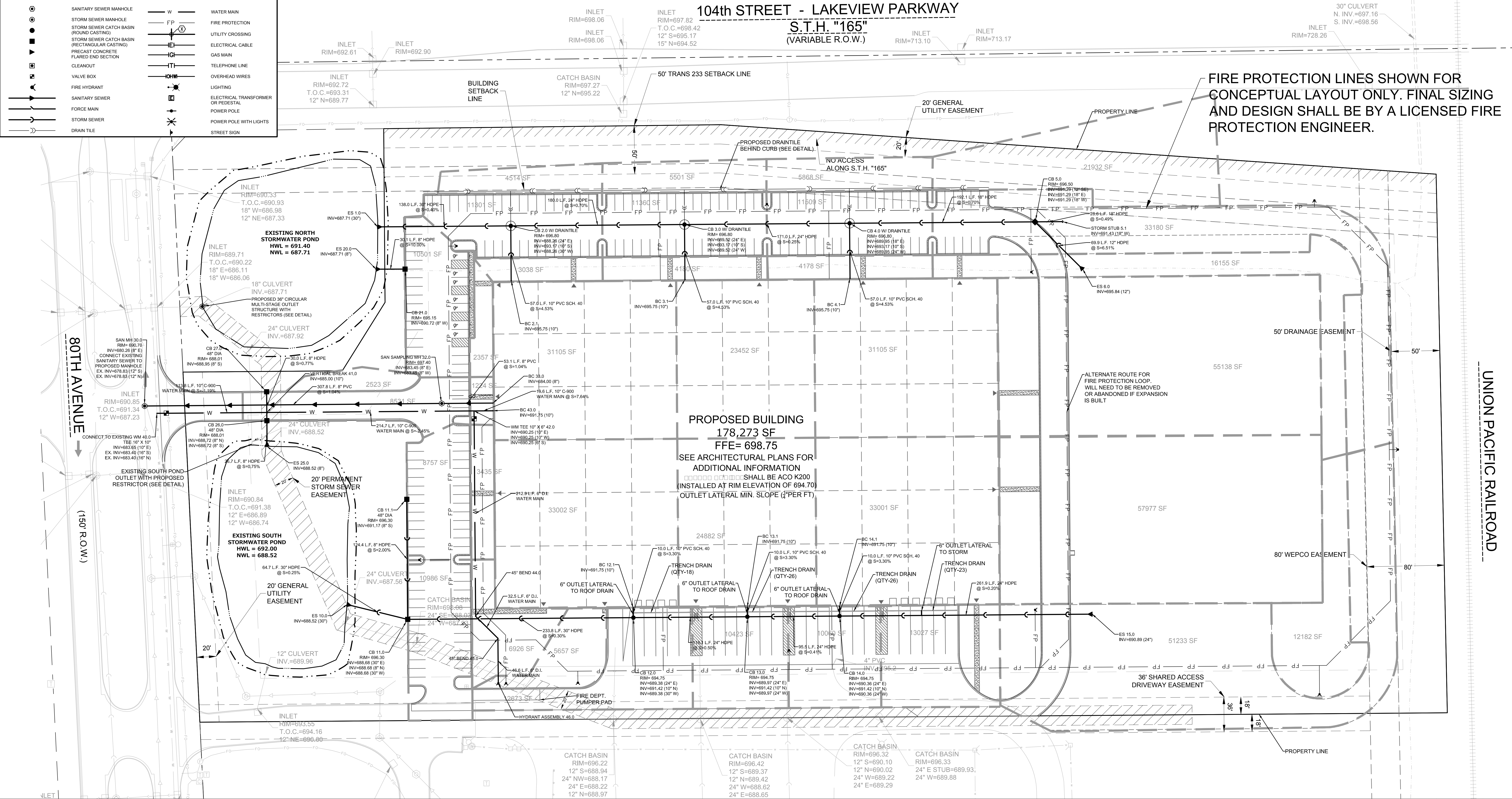
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UTILITY PLAN  
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NOTES

- 1. EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE TYPE, LOCATION, SIZE AND ELEVATION OF UNDERGROUND UTILITIES AS THEY DEEM NECESSARY FOR PROPOSED UTILITY CONNECTIONS AND/OR TO AVOID DAMAGE THEREOF. CONTRACTOR SHALL CALL "DIGGERS HOTLINE" PRIOR TO ANY CONSTRUCTION.
2. ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (LATEST EDITION AND AMENDMENT) AND ALL STATE AND LOCAL CODES AND SPECIFICATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS AND CODES APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES.
3. UTILITY CONSTRUCTION AND SPECIFICATIONS SHALL COMPLY WITH THE TOWN OF SOMERS SPECIAL PROVISIONS AND WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES COMM 82.
4. LENGTHS OF PROPOSED UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS ARE SHOWN FOR CONTRACTOR CONVENIENCE ONLY. CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPUTATIONS OF MATERIALS REQUIRED TO COMPLETE WORK. LENGTHS SHALL BE FIELD VERIFIED DURING CONSTRUCTION.
5. CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT EXISTING UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH FINISHED GRADES OF THE AREAS DISTURBED DURING CONSTRUCTION.
6. CONTRACTOR SHALL FIELD VERIFY LOCATIONS, ELEVATIONS, AND SIZES OF PROPOSED UTILITIES AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS PRIOR TO ATTEMPTING CONNECTIONS AND BEGINNING UTILITY CONSTRUCTION AND NOTIFY THE OWNER OF ANY DISCREPANCIES OR CONFLICTS.
7. ALL NEW ON-SITE SANITARY, STORM AND WATER UTILITIES SHALL BE PRIVATELY OWNED AND MAINTAINED BY THE PROPERTY OWNER.
8. THE CONTRACTOR SHALL CONTACT THE VILLAGE OF PLEASANT PRAIRIE PUBLIC WORKS DEPARTMENT 48 HOURS IN ADVANCE OF SANITARY, WATER AND STORM CONNECTIONS TO THE VILLAGE-OWNED SYSTEM TO SCHEDULE INSPECTIONS.
9. LOCATIONS OF GAS, ELECTRIC AND TELEPHONE SERVICES ARE SHOWN ON THE ARCHITECTURAL PLANS AND SUBJECT TO CHANGE BASED UPON FINAL REVIEW AND APPROVAL BY RESPECTIVE UTILITY COMPANIES AND OWNER. CONTRACTOR SHALL CONTACT EACH UTILITY COMPANY AND COORDINATE FINAL LOCATIONS FOR ALL UTILITY SERVICES PRIOR TO START OF CONSTRUCTION.
10. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE PROPER AUTHORITIES FOR ANY REQUIRED PERMITS, AUTHORIZATIONS, TRAFFIC CONTROL AND ANY PERMIT FEES REQUIRED.
11. FIELD TILE CONNECTION - ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE INCLUDED IN THE UNIT PRICE(S) FOR STORM SEWER. TILE LINES CROSSED BY THE TRENCH SHALL BE REPLACED WITH THE SAME MATERIAL AS THE STORM SEWER.
12. THE CONTRACTOR IS RESPONSIBLE FOR THE SIZE, TYPE AND NUMBER OF WATER MAIN BENDS, HORIZONTAL AND VERTICAL, REQUIRED TO COMPLETE CONSTRUCTION. COST FOR BENDS, HORIZONTAL AND VERTICAL, SHALL BE IDENTICAL AND INCLUDED IN THE OVERALL COST OF THE CONTRACT.
13. STORM SEWER SPECIFICATIONS -
PIPE - REINFORCED CONCRETE PIPE (RCP) SHALL MEET THE REQUIREMENTS OF ASTM CLASS C-76 WITH RUBBER GASKET JOINTS CONFORMING TO ASTM C-443. STRENGTH CLASSIFICATIONS SHALL BE IN ACCORDANCE WITH THE FOLLOWING:
HEIGHT OF COVER (FEET): 0-2 2-3 3-6 6-15 15-25 25+
MINIMUM CONCRETE PIPE CLASSIFICATION: IV III II III IV ENGINEER TO SPECIFY
HIGH DENSITY DUAL-WALL POLYETHYLENE N-12 CORRUGATED PIPE (HDPE) SHALL BE AS MANUFACTURED BY ADS OR EQUAL, WITH WATER TIGHT JOINTS, AND SHALL MEET THE REQUIREMENTS OF AASHTO DESIGNATION M-24 TYPE '5', OR POLYVINYL CHLORIDE (PVC) - CLASS 8946 MEETING AASHTO M275, AS NOTED. IF HDPE PIPE IS USED FOR POND OUTFALLS, A MINIMUM OF THREE (3) SECTIONS (2 STRAPS) SHALL BE STRAPPED TOGETHER.
14. WATER MAIN SPECIFICATIONS -
PIPE - WATER MAIN SHALL BE POLYVINYL CHLORIDE (PVC) PIPE MEETING THE REQUIREMENTS OF AWWA STANDARD C-900, CLASS 150, DR-18, WITH CAST IRON D.O. AND INTEGRAL ELASTOMERIC BELL AND SPIGOT JOINTS. VALVES AND VALVE BOXES - GATE VALVES SHALL BE AWWA GATE VALVES MEETING THE REQUIREMENTS OF AWWA C-500 AND CHAPTER 8.2.7.0 OF THE 'STANDARD SPECIFICATIONS'. GATE VALVES AND VALVE BOXES SHALL CONFORM TO LOCAL PLUMBING ORDINANCES.
HYDRANTS - HYDRANTS SHALL CONFORM TO THE SPECIFICATIONS OF THE AND IN ACCORDANCE WITH FILE NO. 38 OF THE 'STANDARD SPECIFICATIONS'. THE DISTANCE FROM THE GROUND LINE TO THE CENTERLINE OF THE LOWEST NOZZLE AND THE LOWEST CONNECTION OF THE FIRE DEPARTMENT SHALL BE NO LESS THAN 18 INCHES AND NO GREATER THAN 23 INCHES.
BEDDING AND COVER MATERIAL - PIPE BEDDING AND COVER MATERIAL SHALL BE SAND, CRUSHED STONE CURPS OR CRUSHED STONE SCREENINGS CONFORMING TO CHAPTER 8.4.3.2 OF THE 'STANDARD SPECIFICATIONS'.
BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTER 2.6.0 OF THE 'STANDARD SPECIFICATIONS'. GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.5 OF THE 'STANDARD SPECIFICATIONS'.
MANHOLE FRAMES AND COVERS - MANHOLE FRAMES AND COVERS SHALL BE NEENAH R-1642 WITH TYPE 'B' SELF SEALING LIDS, NON-ROCKING OR EQUAL.
15. SANITARY SEWER SPECIFICATIONS -
PIPE - SANITARY SEWER PIPE MATERIAL SHALL BE POLYVINYL CHLORIDE (PVC) MEETING REQUIREMENTS OF ASTM D 3034, SDR-35, WITH INTEGRAL BELL TYPE FLEXIBLE ELASTOMERIC JOINTS, MEETING THE REQUIREMENTS OF ASTM D-3212.
BEDDING AND COVER MATERIAL - BEDDING AND COVER MATERIAL SHALL CONFORM TO THE APPROPRIATE SECTIONS OF THE 'STANDARD SPECIFICATION' WITH THE FOLLOWING MODIFICATION: 'COVER MATERIAL SHALL BE THE SAME AS USED FOR BEDDING AND SHALL CONFORM TO SECTION 8.4.3.2 (A). BEDDING AND COVER MATERIAL SHALL BE PLACED IN A MINIMUM OF THREE SEPARATE LIFTS, OR AS REQUIRED TO INSURE ADEQUATE COMPACTING OF THESE MATERIALS, WITH ONE LIFT OF BEDDING MATERIAL ENDING AT OR NEAR THE SPRINKLING OF THE PIPE. THE CONTRACTOR SHALL TAKE CARE TO COMPLETELY WORK BEDDING MATERIAL UNDER THE HAUNCH OF THE PIPE TO PROVIDE ADEQUATE SIDE SUPPORT.'
BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTER 2.6.0 OF THE 'STANDARD SPECIFICATIONS'. GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.5 OF THE 'STANDARD SPECIFICATIONS'.
MANHOLES - MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NOS. 12, 13 AND 15 OF THE 'STANDARD SPECIFICATIONS' AND ALL SPECIAL PROVISIONS OF THE VILLAGE OF PLEASANT PRAIRIE. STRUCTURE SHOP DRAWINGS SHALL BE SUBMITTED TO PINNACLE ENGINEERING GROUP FOR REVIEW AND APPROVAL PRIOR TO MANUFACTURING AND INSTALLATION.
MANHOLE FRAMES AND COVERS - MANHOLE FRAMES AND COVERS SHALL BE NEENAH R-1642 WITH TYPE 'B' SELF SEALING LIDS, NON-ROCKING OR EQUAL.



104th STREET - LAKEVIEW PARKWAY  
S.T.H. "165"  
(VARIABLE R.O.W.)



FIRE PROTECTION LINES SHOWN FOR CONCEPTUAL LAYOUT ONLY. FINAL SIZING AND DESIGN SHALL BE BY A LICENSED FIRE PROTECTION ENGINEER.

PROPOSED BUILDING  
178,273 SF  
FFE = 698.75  
SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION  
SHALL BE ACO K200  
INSTALLED AT RIM ELEVATION OF 694.70  
OUTLET LATERAL MIN. SLOPE (1/8" PER FT)

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LAKEVIEW LOT 40  
PLEASANT PRAIRIE, WI

UTILITY PLAN

REVISIONS table with columns for No., Description, and Date.

SHEET C-5  
C-9  
DATE: 07/11/26



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**GENERAL EROSION AND SEDIMENT CONTROL NOTES**

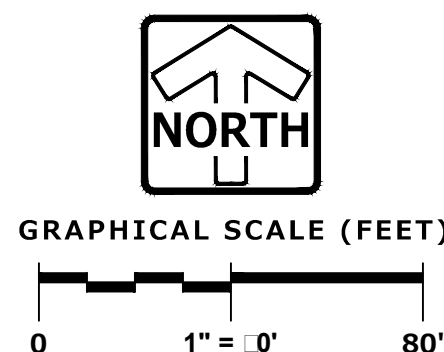
- ALL CONSTRUCTION SHALL ADHERE TO THE REQUIREMENTS SET FORTH IN EPA'S NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) STORMWATER GENERAL PERMIT ("GPDES" PERMIT NO. WI-5067831-A) FOR CONSTRUCTION SITE LAND DISTURBANCE ACTIVITIES. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL TECHNICAL STANDARDS AND PROVISIONS IN EFFECT AT THE TIME OF CONSTRUCTION. THESE PROCEDURES AND STANDARDS SHALL BE REFERRED TO AS BEST MANAGEMENT PRACTICES (BMP'S). IT IS THE RESPONSIBILITY OF ALL CONTRACTORS ASSOCIATED WITH THE PROJECT TO OBTAIN A COPY OF, AND UNDERSTAND, THE BMP'S PRIOR TO THE START OF CONSTRUCTION ACTIVITIES.
- THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL CONTROL MEASURES AS DIRECTED BY OWNER/ENGINEER OR GOVERNING AGENCIES SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
- MODIFICATIONS TO THE APPROVED SWPPP IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS ARE ALLOWED IF MODIFICATIONS CONFORM TO BMP'S. ALL MODIFICATIONS MUST BE APPROVED BY OWNER/ENGINEER/GOVERNING AGENCY PRIOR TO DEVIATION OF THE APPROVED PLAN.
- INSTALL PERIMETER EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND EXISTING INLET PROTECTION) PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE COVER, AS SHOWN ON PLAN IN ORDER TO PROTECT ADJACENT PROPERTIES/STORM SEWER SYSTEMS FROM SEDIMENT TRANSPORT.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS. CONTRACTOR IS RESPONSIBLE TO COORDINATE (LOCATIONS) WITH THE PROPER AUTHORITIES. PROVIDE NECESSARY FEES AND OBTAIN ALL REQUIRED APPROVALS OR PERMITS. ADDITIONAL CONSTRUCTION ENTRANCES OTHER THAN AS SHOWN ON THE PLANS MUST BE APPROVED BY THE APPLICABLE GOVERNING AGENCIES PRIOR TO INSTALLATION.
- PAVED SURFACES ADJACENT TO CONSTRUCTION ENTRANCES SHALL BE SWEEP AND/OR SCAPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST IMMEDIATELY AND AS REQUESTED BY THE GOVERNING AGENCIES.
- ALL EXISTING STORM SEWER FACILITIES THAT WILL COLLECT RUNOFF FROM DISTURBED AREAS SHALL BE PROTECTED TO PREVENT SEDIMENT DEPOSITION WITHIN STORM SEWER SYSTEMS. INLET PROTECTION SHALL BE IMMEDIATELY FITTED AT THE INLET OF ALL INSTALLED STORM SEWER AND SILT FENCE SHALL BE IMMEDIATELY FITTED AT ALL INSTALLED CULVERT INLETS. ALL INLETS, STRUCTURES, PIPES, AND SWALES SHALL BE KEPT CLEAN AND FREE OF SEDIMENTATION AND DEBRIS.
- EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, WATER MAIN, ETC.) OUTSIDE OF THE PERIMETER CONTROLS SHALL INCORPORATE THE FOLLOWING:
  - PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
  - BACKFILL, COMPACT AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
  - DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH BMP'S PRIOR TO RELEASE INTO STORM SEWER OR DITCHES.
- AT A MINIMUM, SEDIMENT BASINS AND NECESSARY TEMPORARY DRAINAGE PROVISIONS SHALL BE CONSTRUCTED AND OPERATIONAL BEFORE BEGINNING OF SIGNIFICANT MASS GRADING OPERATIONS TO PREVENT OPPOSITE DISCHARGE OF UNTREATED RUNOFF.
- ALL WATERCOURSES AND WETLANDS SHALL BE PROTECTED WITH SILT FENCE TO PREVENT ANY DIRECT DISCHARGE FROM DISTURBED SOILS.
- ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES MUST BE MAINTAINED AND REPAIRED AS NEEDED. THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR INSPECTION AND REPAIR DURING CONSTRUCTION. THE OWNER WILL BE RESPONSIBLE IF EROSION CONTROL IS REQUIRED AFTER THE CONTRACTOR HAS COMPLETED THE PROJECT.
- TOPSOIL STOCKPILES SHALL HAVE A BERM OR TRENCH AROUND THE CIRCUMFERENCE AND PERIMETER SILT FENCE TO CONTROL SILT. IF TOPSOIL STOCKPILE REMAINS UNDISTURBED FOR MORE THAN SEVEN (7) DAYS, TEMPORARY SEEDING AND STABILIZATION IS REQUIRED.
- EROSION CONTROL MEASURES TEMPORARILY REMOVED FOR UNAVOIDABLE CONSTRUCTION ACTIVITIES SHALL BE IN WORKING ORDER IMMEDIATELY FOLLOWING COMPLETION OF SUCH ACTIVITIES OR PRIOR TO THE COMPLETION OF EACH WORK DAY, WHICH EVER OCCURS FIRST.
- MAINTAIN SOIL EROSION CONTROL DEVICES THROUGH THE DURATION OF THIS PROJECT. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN THIRTY (30) DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED. DISTURBANCES ASSOCIATED WITH EROSION CONTROL REMOVAL SHALL BE IMMEDIATELY STABILIZED.
- PUMPS MAY BE USED AS BYPASS DEVICES. IN NO CASE SHALL PUMPED WATER BE DIVERTED OUTSIDE THE PROJECT LIMITS. PUMP DISCHARGE SHALL BE DIRECTED INTO AN APPROVED FILTER BAG OR APPROVED SETTLING DEVICE.
- GRADING EFFORTS SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION, EROSION AND SEDIMENT CONTROL MEASURES SHALL CONSIDER THE TIME OF YEAR, SITE CONDITIONS, AND THE USE OF TEMPORARY OR PERMANENT MEASURES. ALL DISTURBED AREAS THAT WILL NOT BE WORKED FOR A PERIOD OF FOURTEEN (14) DAYS REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH TECHNICAL STANDARDS.
- ALL DISTURBED SLOPES EXCEEDING 4:1, SHALL BE STABILIZED WITH NORTH AMERICAN GREEN S758N EROSION MATTING (OR APPROVED EQUAL) AND ALL CHANNELS SHALL BE STABILIZED WITH NORTH AMERICAN GREEN C1258N (OR APPROVED EQUAL) OR APPLICATION OF AN APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED. EROSION MATTING AND/OR NETTING USED ONSITE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES.
- DURING PERIODS OF EXTENDED DRY WEATHER, THE CONTRACTOR SHALL KEEP A WATER TRUCK ON SITE FOR THE PURPOSE OF WATERING DOWN SOILS WHICH MAY OTHERWISE BECOME AIRBORNE. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING WIND EROSION (DUST) DURING CONSTRUCTION AT HIS/HER EXPENSE.
- DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE VISUALLY INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM ON A DAILY BASIS.
- QUALIFIED PERSONNEL (PROVIDED BY THE GENERAL/PRIME CONTRACTOR) SHALL INSPECT DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED AND EROSION AND SEDIMENT CONTROLS WITHIN 24 HOURS OF ALL 0.5-INCH OR MORE, PRECIPITATION EVENTS WITH A MINIMUM INSPECTION INTERVAL OF ONCE EVERY SEVEN (7) CALENDAR DAYS IN THE ABSENCE OF A QUALIFYING RAIN OR SNOWFALL EVENT. REPORTING SHALL BE IN ACCORDANCE WITH THE GENERAL PERMIT. CONTRACTOR SHALL IMMEDIATELY ARRANGE TO HAVE ANY DEFICIENT ITEMS REVEALED DURING INSPECTIONS REPAIRED/REPLACED.
- SEE ADDITIONAL DETAILS AND NOTES ON SITE STABILIZATION AND CONSTRUCTION DETAILS.

**LEGEND**

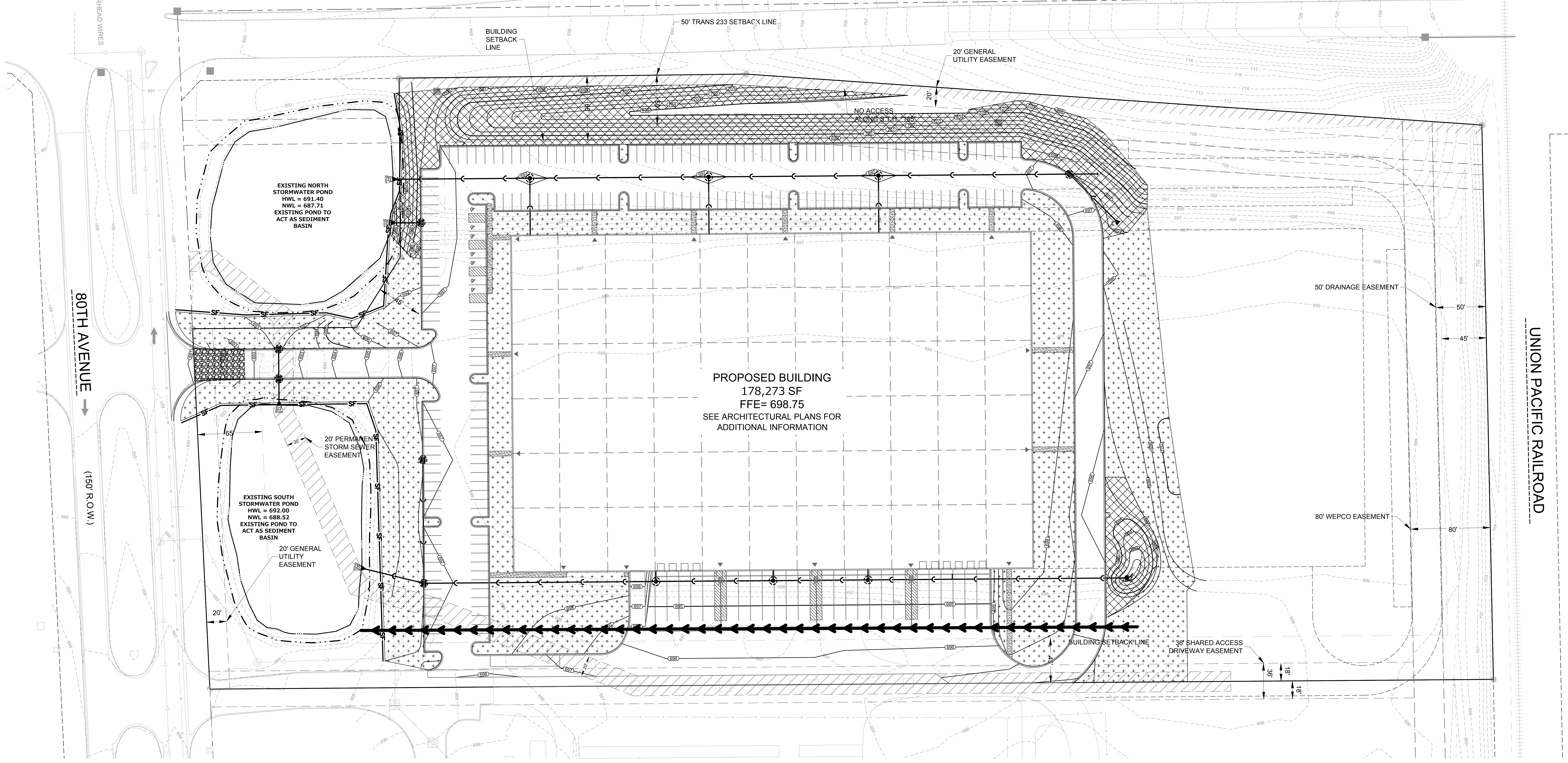
- SANITARY SEWER MANHOLE
- STORM SEWER MANHOLE
- STORM STORM CATCH BASIN (ROUND CASTING)
- STORM SEWER CATCH BASIN (RECTANGULAR CASTING)
- ▭ PRECAST FLARED END SECTION
- CLEANOUT
- ▭ VALVE BOX
- FIRE HYDRANT
- PROPOSED CONTOUR
- + 750.0 PROPOSED SPOT ELEVATION
- ▨ WETLANDS
- ▨ FLOODPLAIN
- HIGH WATER LEVEL (H.W.L.)
- NORMAL WATER LEVEL (N.W.L.)
- DIRECTION OF SURFACE FLOW
- DITCH OR SWALE
- DIVERSION SWALE
- OVERFLOW RELIEF ROUTING
- SILT FENCE
- INLET PROTECTION
- ▨ CONSTRUCTION ENTRANCE
- ▨ HYDROSEED (PER MANUFACTURER SPECIFICATIONS)
- ▨ EROSION CONTROL BLANKET (NORTH AMERICAN GREEN S75 OR EQUAL)

**CONSTRUCTION SITE SEQUENCING**

- INSTALL PERIMETER SILT FENCE, INLET PROTECTION AND TEMPORARY CONSTRUCTION ENTRANCE.
  - STRIP AND STOCKPILE TOPSOIL. INSTALL SILT FENCE AROUND PERIMETER OF STOCKPILE.
  - CONDUCT ROUGH GRADING EFFORTS AND INSTALL CHECK DAMS AND SEDIMENT TRAPS/BASINS AS NEEDED.
  - INSTALL UTILITY PIPING AND STRUCTURES, IMMEDIATELY INSTALL INLET PROTECTION.
  - COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF CURBS, PAVEMENTS, WALKS, ETC.
  - PLACE TOPSOIL AND IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROLS.
  - EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.
- CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM 1 AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS.



**104th STREET - LAKEVIEW PARKWAY**  
**S.T.H. "165"**  
**(VARIABLE R.O.W.)**



DESIGNED: DCS  
 DRAWN: EP  
 REVIEWED: JHH

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 CHICAGO | MILWAUKEE | RACINE

**LAKEVIEW LOT 40**  
**PLEASANT PRAIRIE, WI**

**SITE STABILIZATION PLAN**

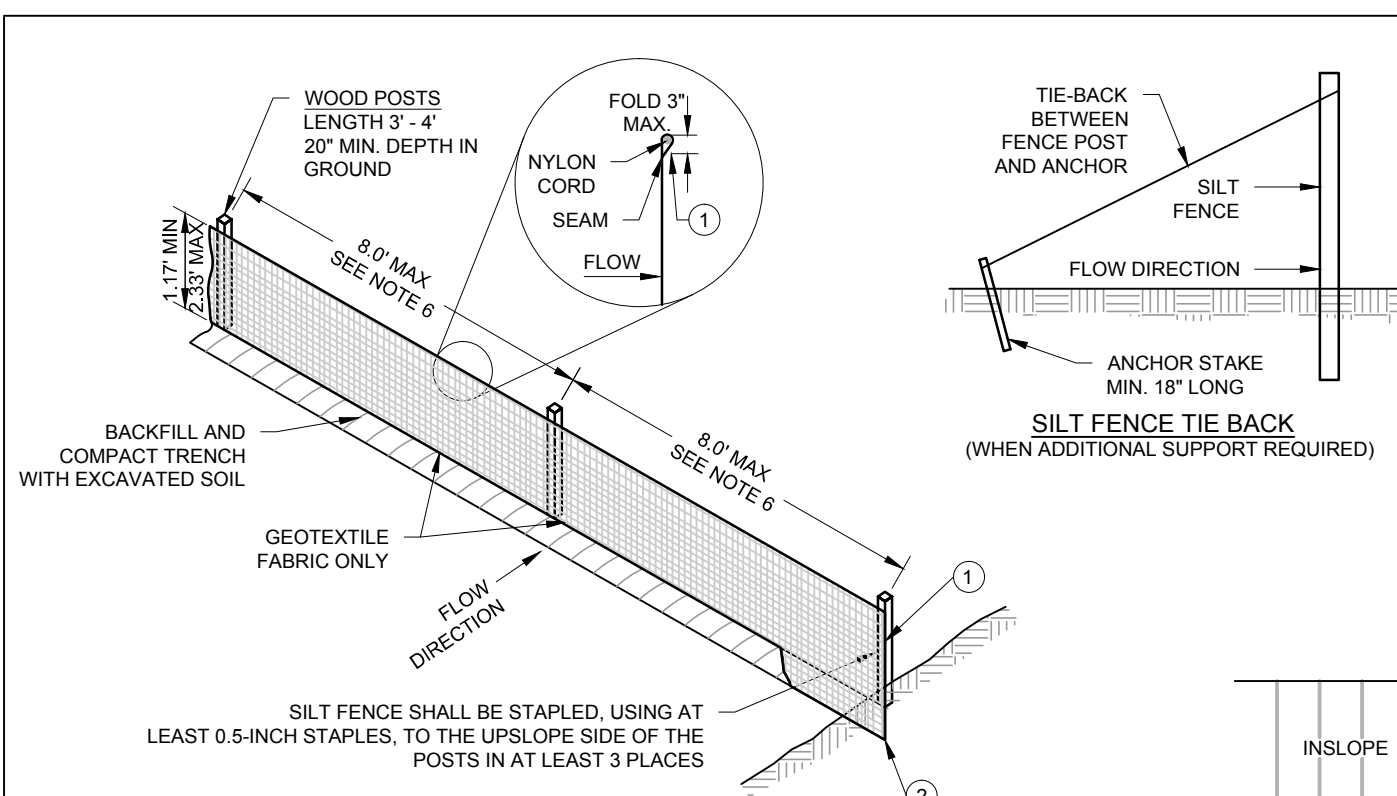
**REVISIONS**

NO.	DATE	DESCRIPTION

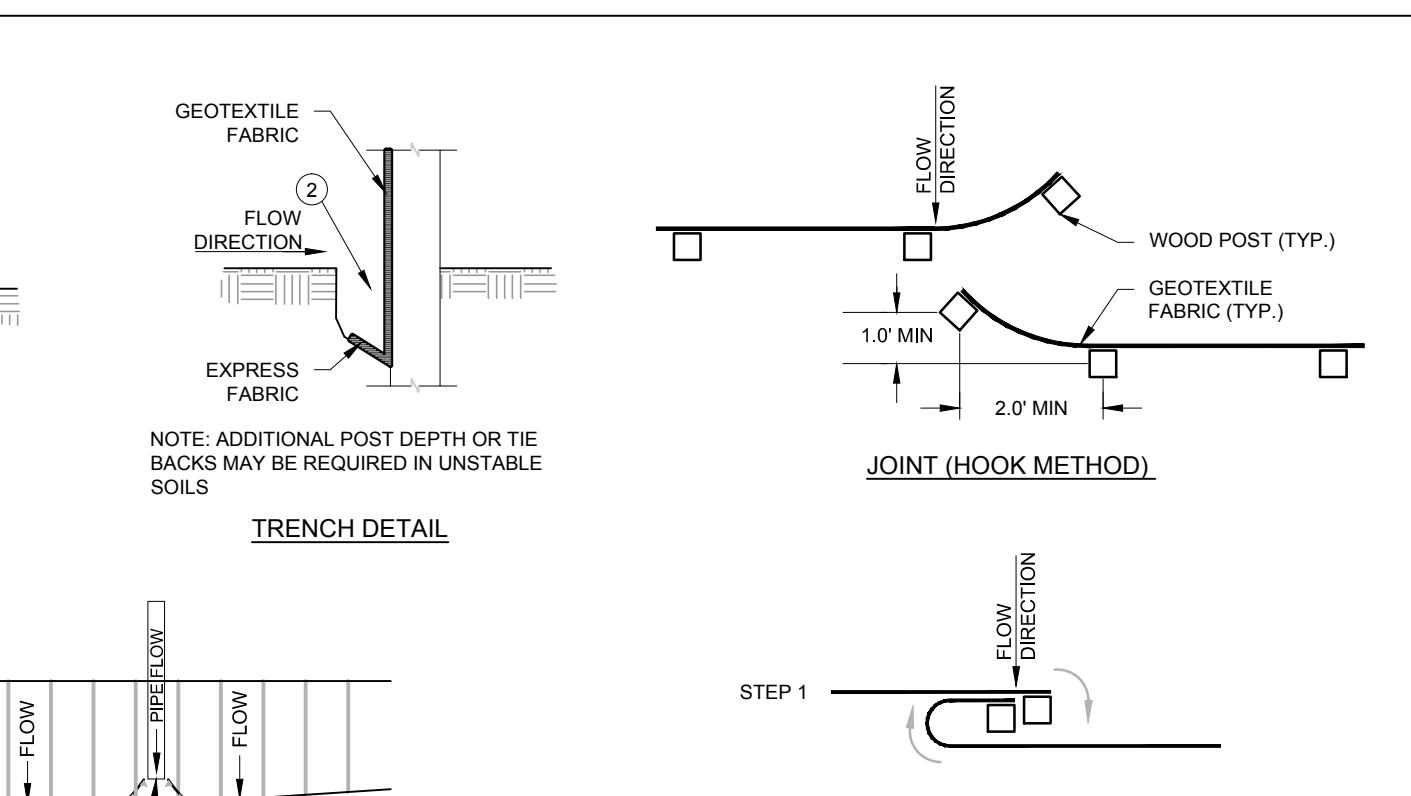
REG. JOB NO. 559.000-A-WT  
 REG. NO. MAC  
 START DATE 07/11/16  
 SCALE 1"=100'  
 SHEET C-6  
 C-9

www.pinnacle-engr.com FOR REVIEW ONLY SITE STABILIZATION PLAN

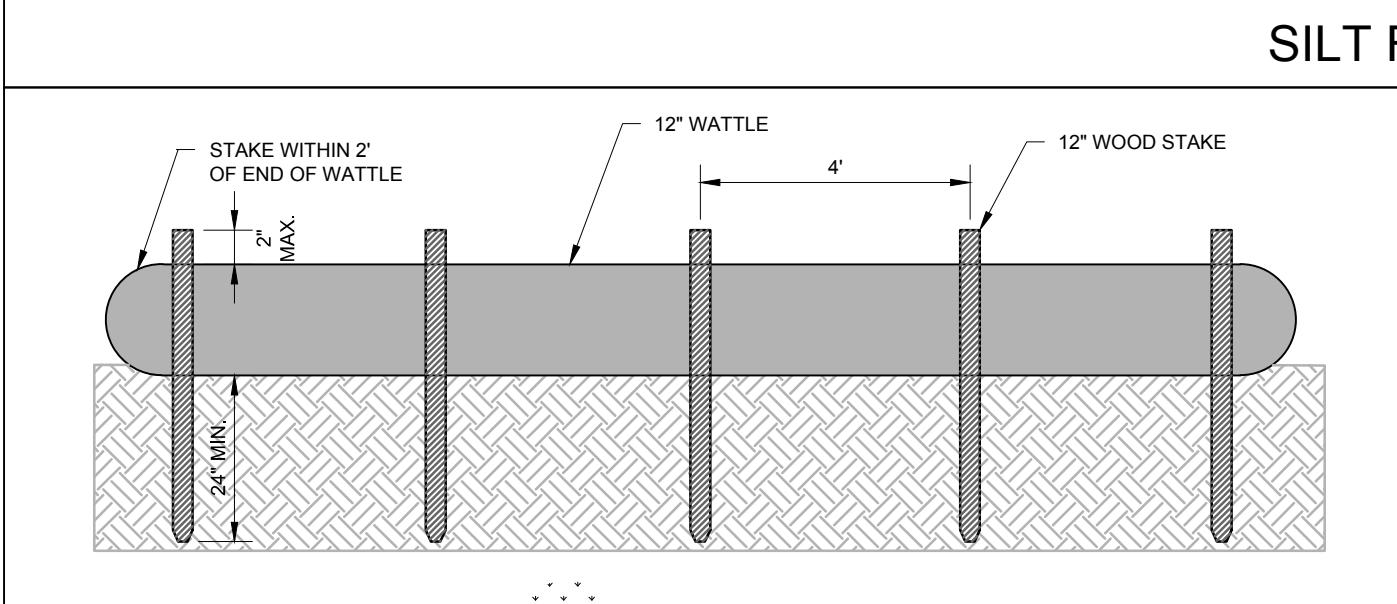
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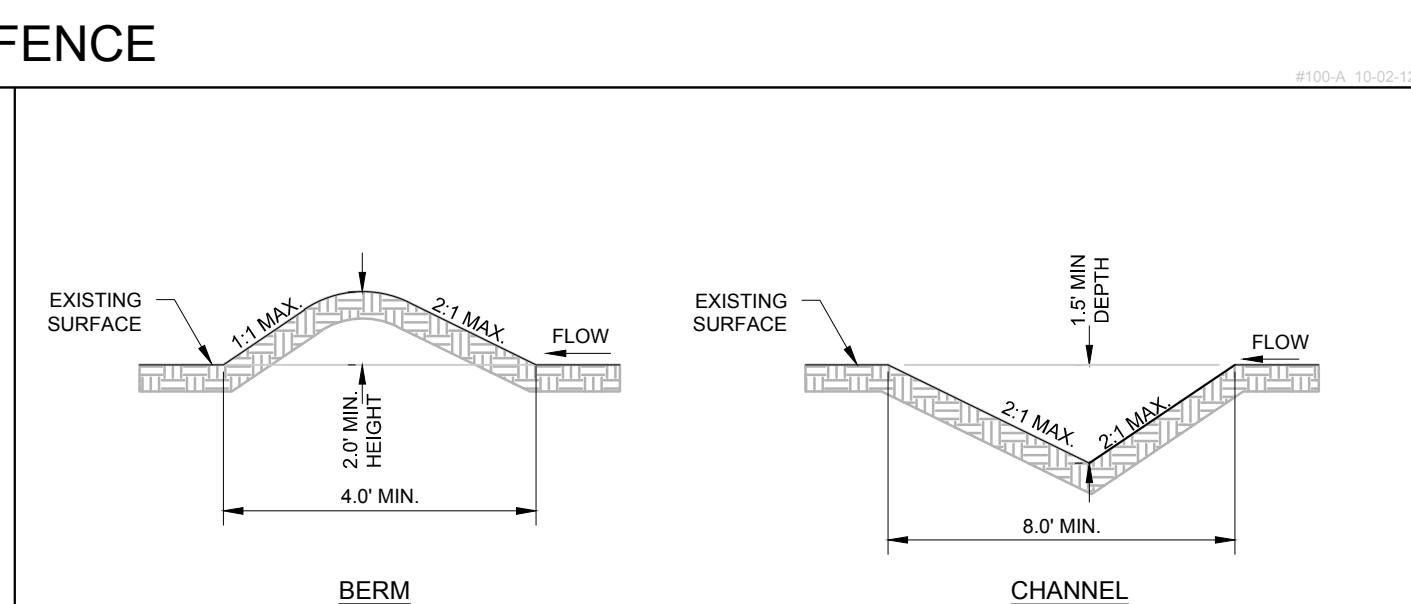
NOTES: 1. GEOTEXTILE FABRIC SHALL MEET THE REQUIREMENTS OF MATERIAL SPECIFICATION 992... 2. SILT FENCE SHALL BE ANCHORED BY SPREADING AT LEAST 8-INCHES OF FABRIC...



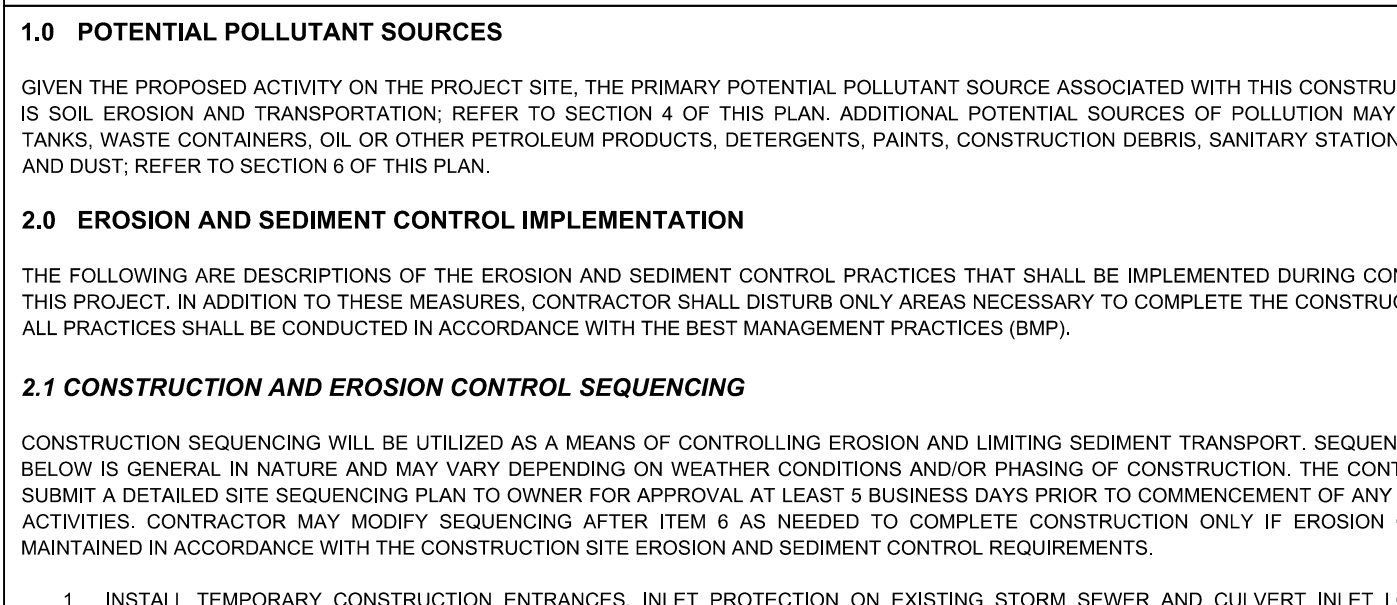
NOTE: ADDITIONAL POST DEPTH OR TIE BACKS MAY BE REQUIRED IN UNSTABLE SOILS... TRENCH DETAIL... JOINT (HOOK METHOD)... JOINT (TWIST METHOD)...



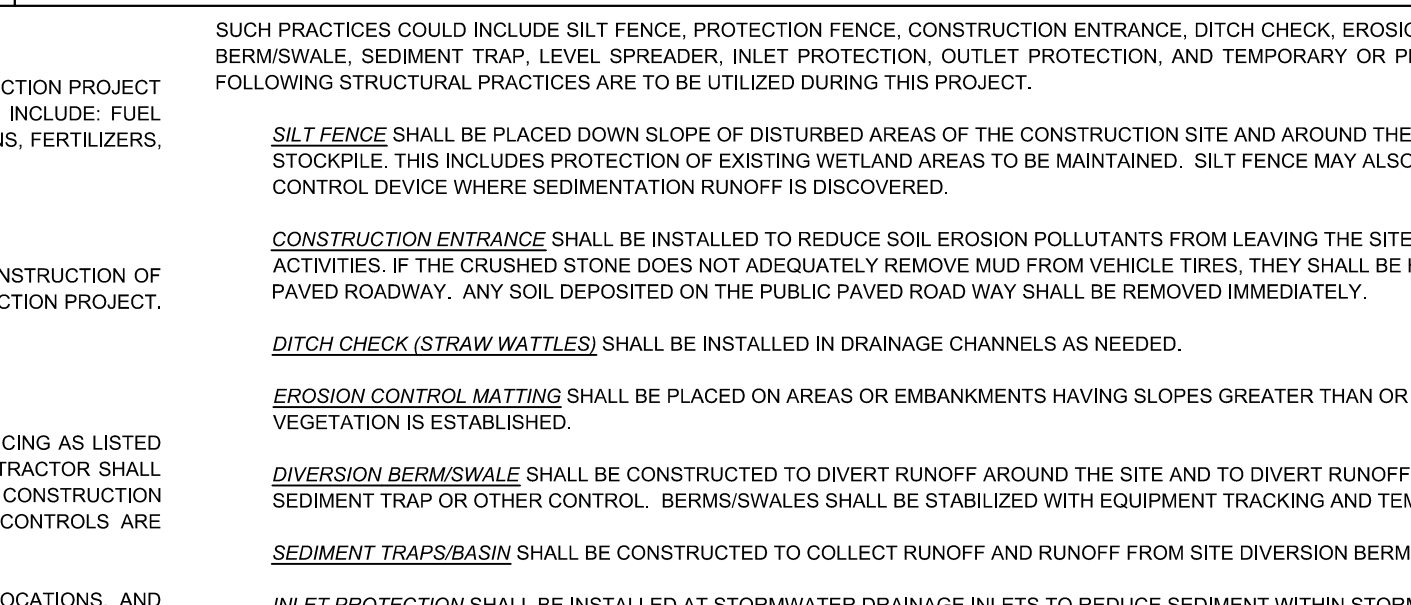
NOTES: 1. DIVERSION MAY REQUIRE AREAS OF BERM AND OTHER AREAS OF CHANNEL TO PROVIDE SUFFICIENT PERIMETER PROTECTION... 2. DIVERSION BERM VERSUS CHANNEL PRACTICES SHALL BE SELECTED SUCH TO PREVENT PONDING...



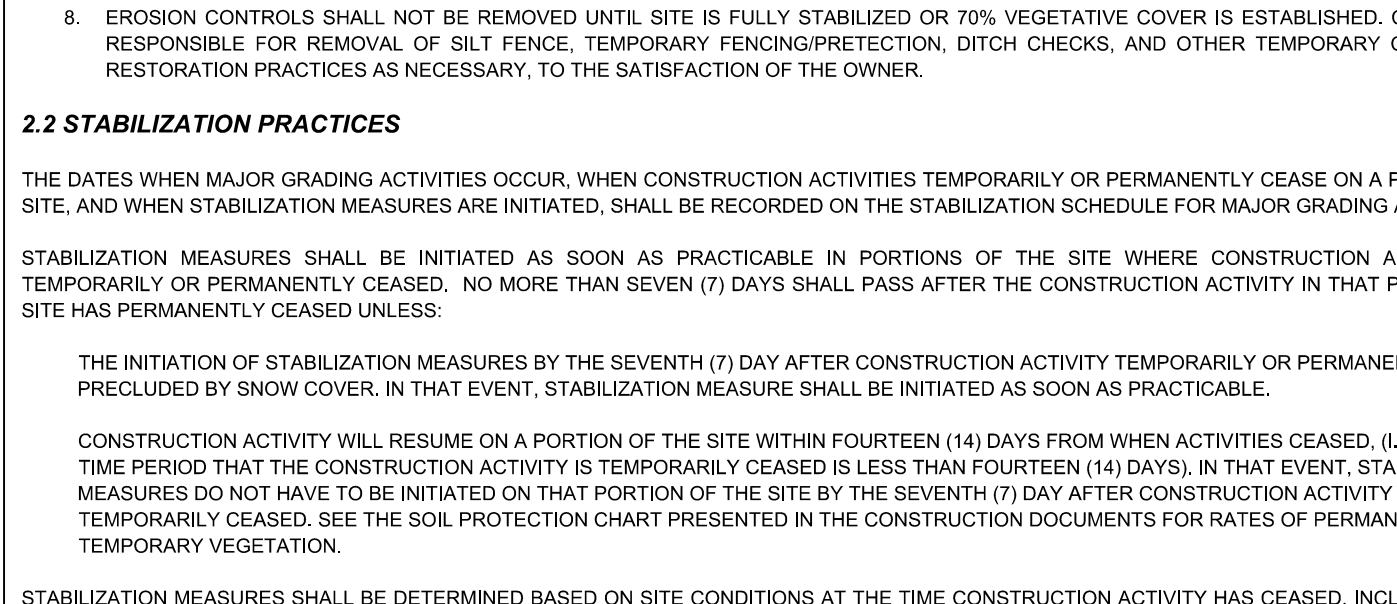
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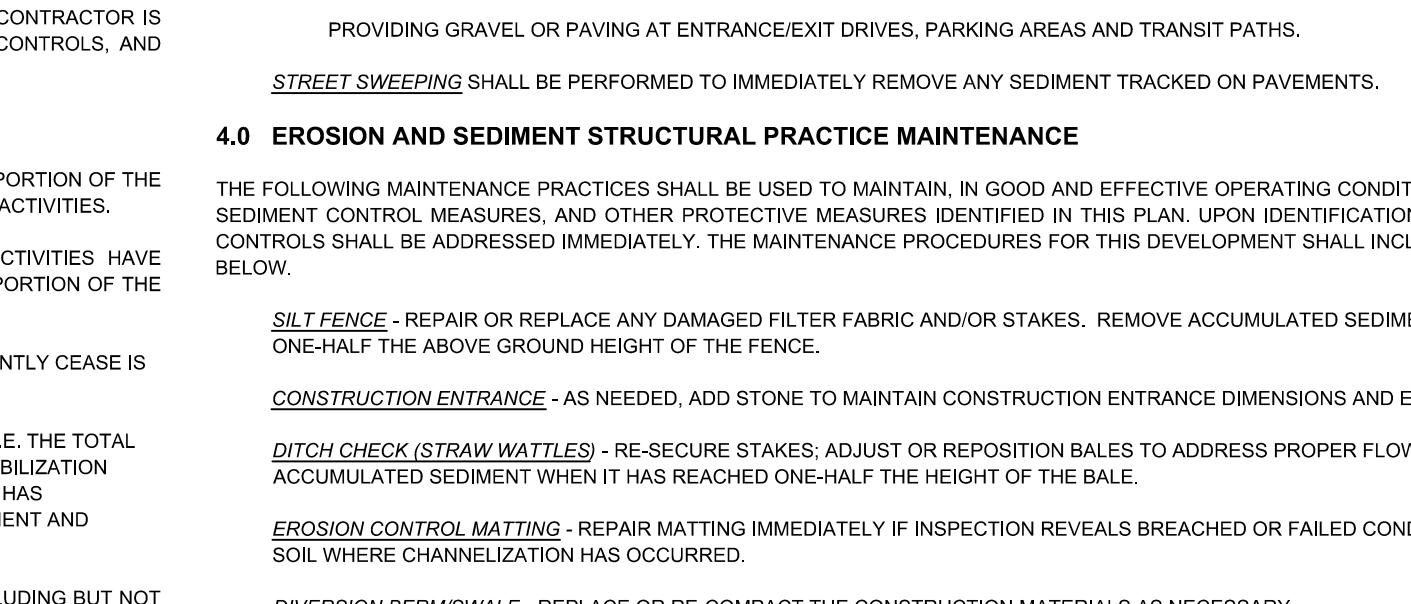
NOTES: 1. RIP RAP AND GEOTEXTILE FABRIC SHALL MEET REQUIREMENTS FOR STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION... 2. COVER EXPOSED END SECTION WITH RIP RAP...



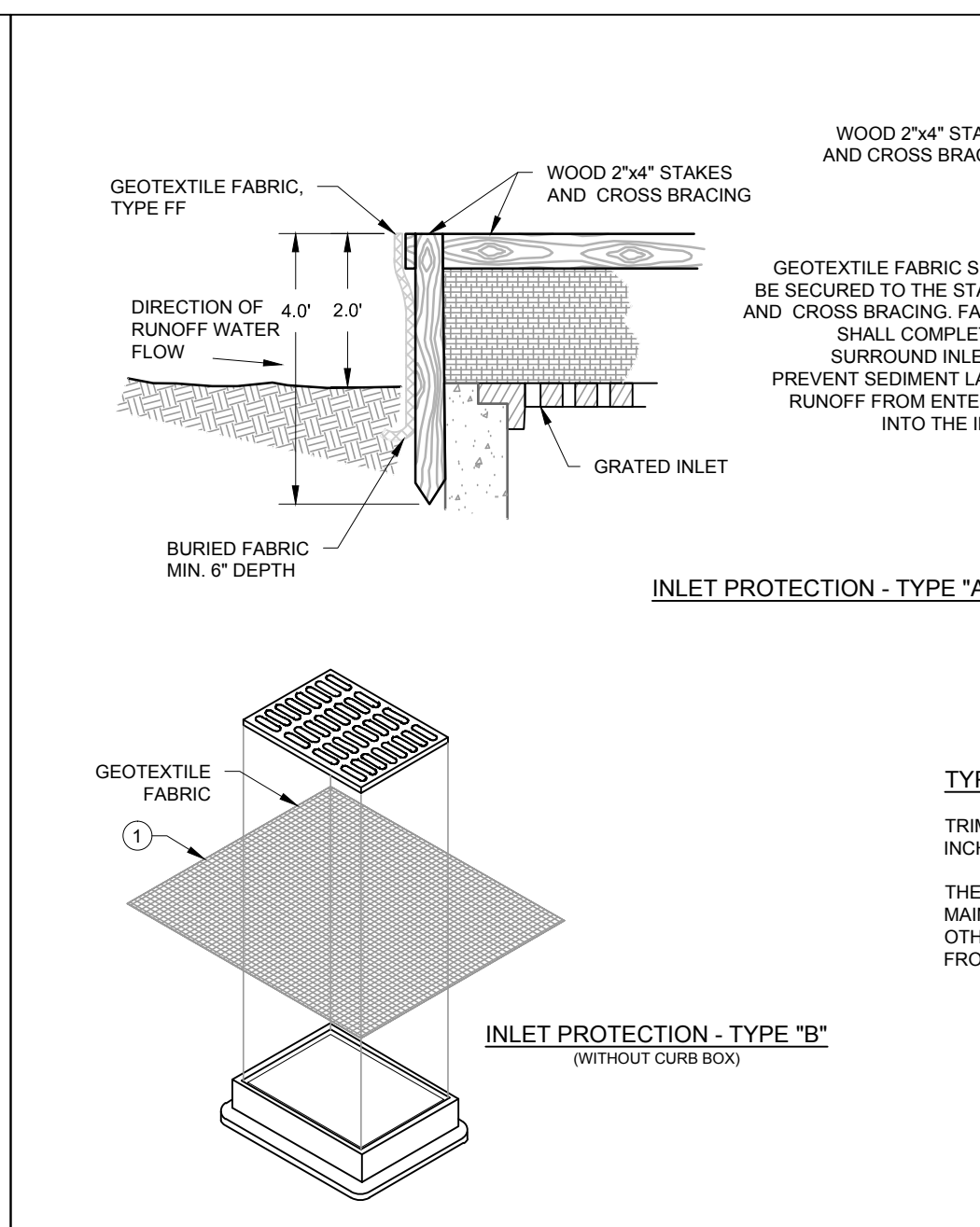
NOTES: 1. AT CROSSING, ONE FULL 18 FOOT LENGTH OF WATERMAIN SHALL BE COVERED BY THE REQUEST OF THE AGENCY AT ANY TIME... 2. WATERMAN OVER SANITARY/STORM SEWER...



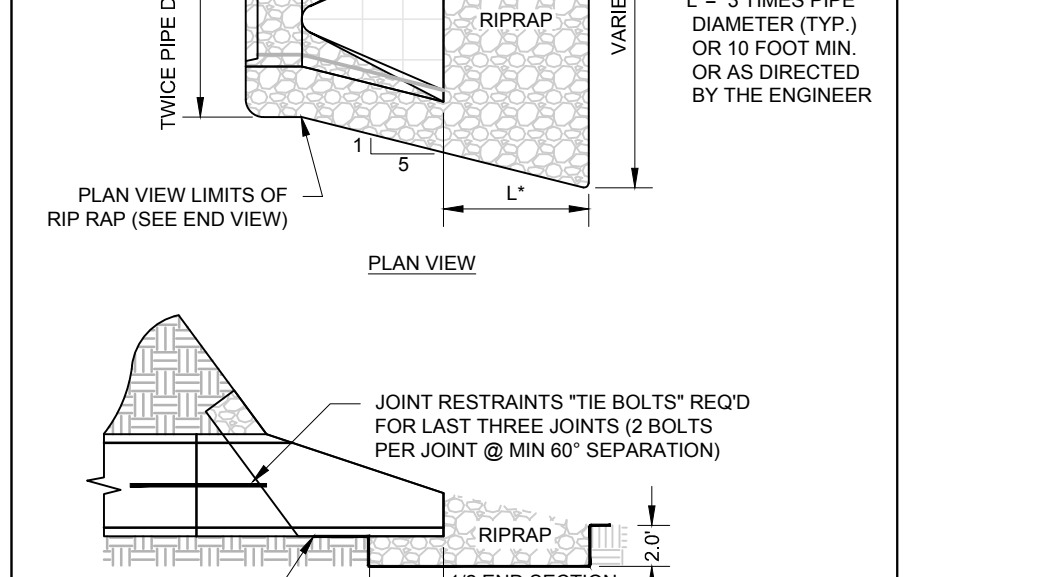
NOTES: 1. GEOTEXTILE FABRIC SHALL MEET THE REQUIREMENTS OF MATERIAL SPECIFICATION 992... 2. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET...



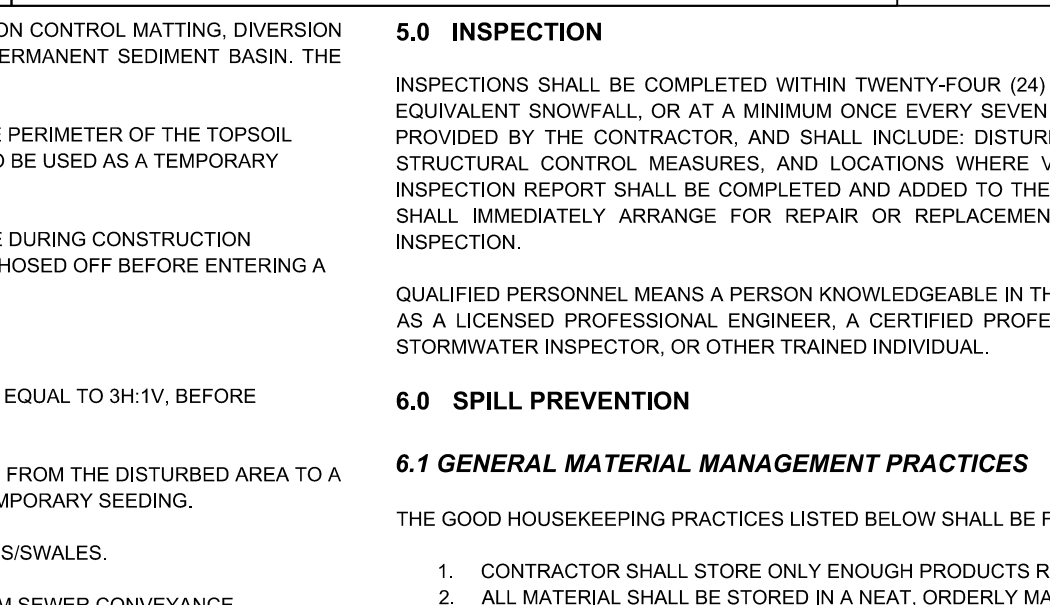
NOTES: 1. ALL TRACKING PAD MATERIALS AND INSTALLATION SHALL BE IN CONFORMANCE WITH W/ DNR TECHNICAL STANDARD 1087... 2. TRACKING PADS SHALL BE INSTALLED PRIOR TO ANY TRAFFIC LEAVING THE SITE...



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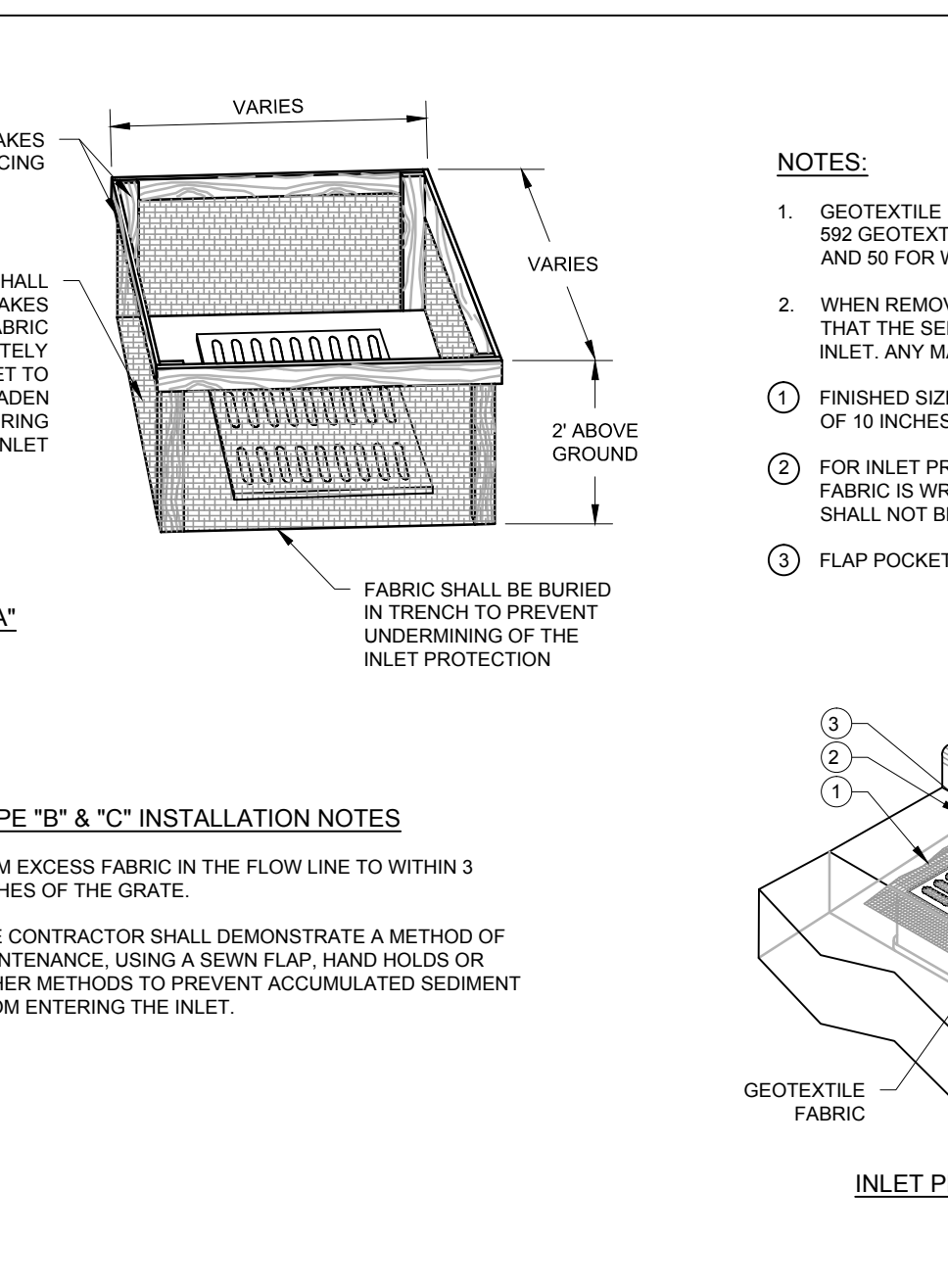


NOTES: 1. USE WHERE HYDRANT IS LOCATED WITHIN PAVED AREAS, COST INCIDENTAL... 2. 6" DIA STANDARD PIPE FILLED WITH CONCRETE AND PAINTED YELLOW (4 REQUIRED)...

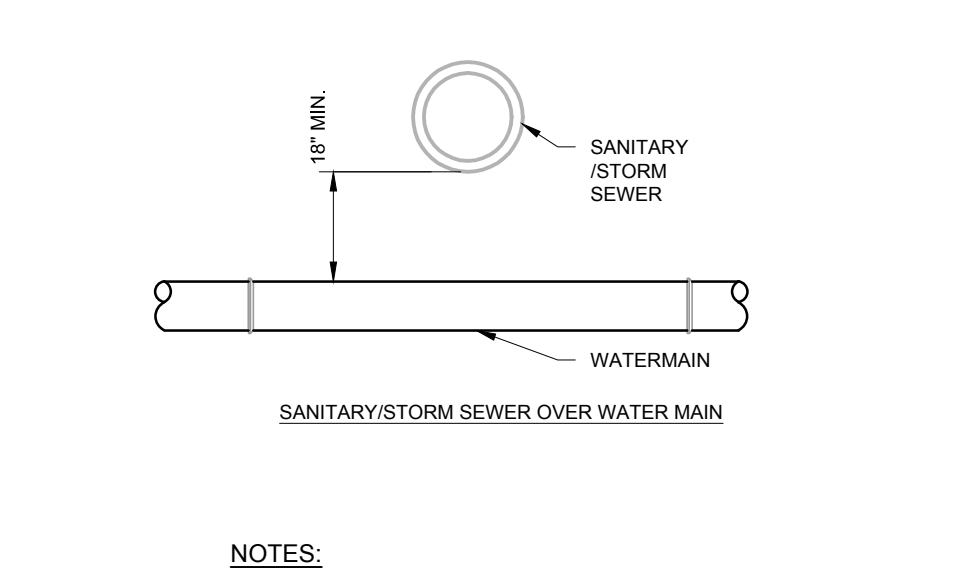
Table with 3 columns: CONTROL MEASURE GROUP, CONTROL MEASURE, CONTROL MEASURE CHARACTERISTICS. Lists measures like vegetative soil cover, aggregate cover, diversions, etc.

Table with 2 columns: STABILIZATION TYPE, STABILIZATION UTILIZATION PERIODS. Shows seasonal stabilization periods for permanent, dormant, and temporary seeding.

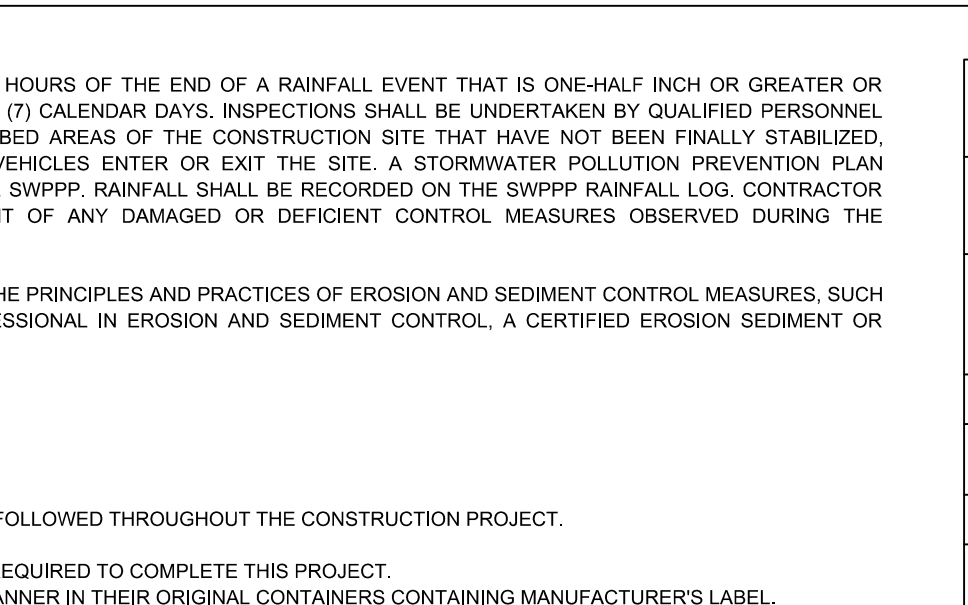
Table with 2 columns: REVISIONS, SHEET. Shows revision history and sheet information (C-7, C-9).



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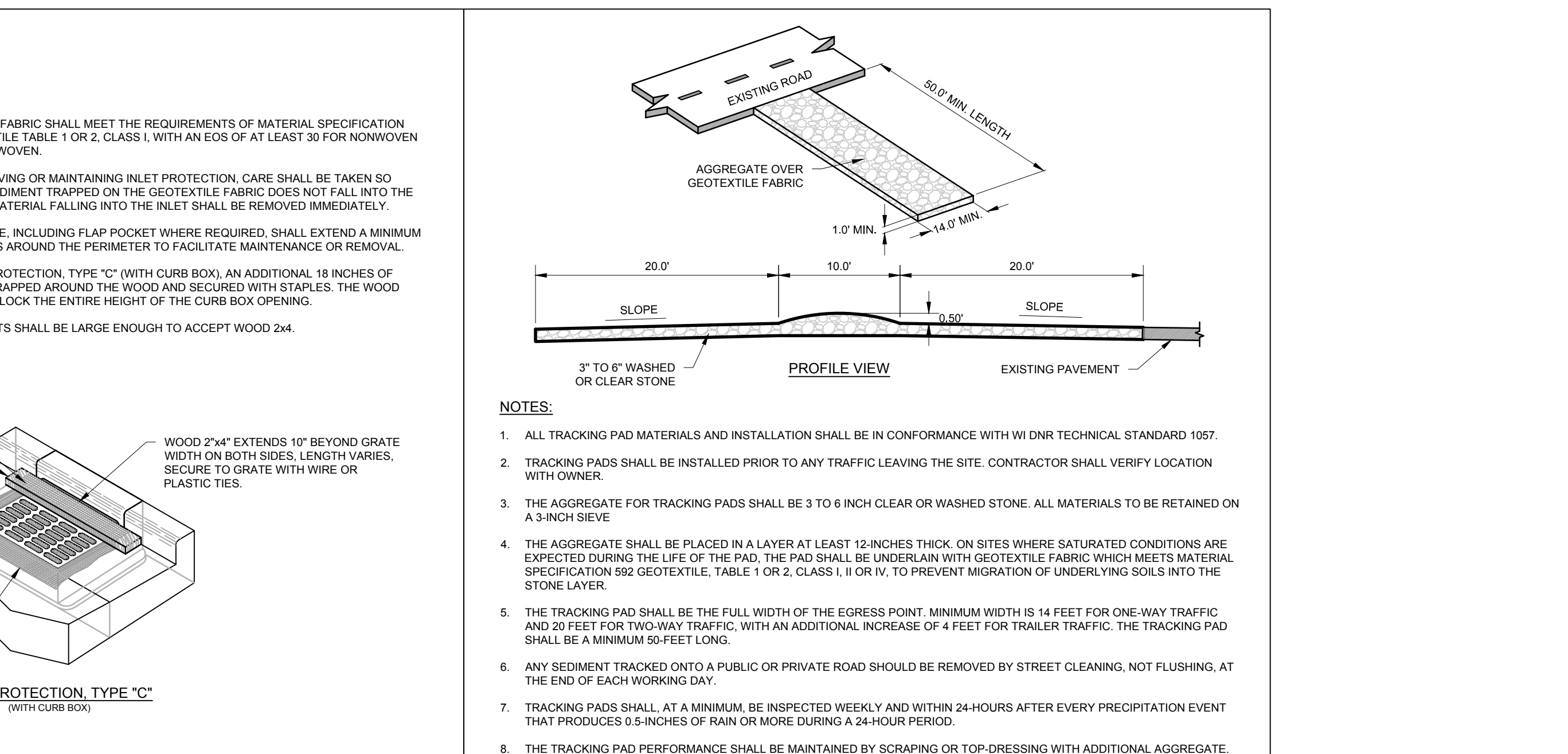


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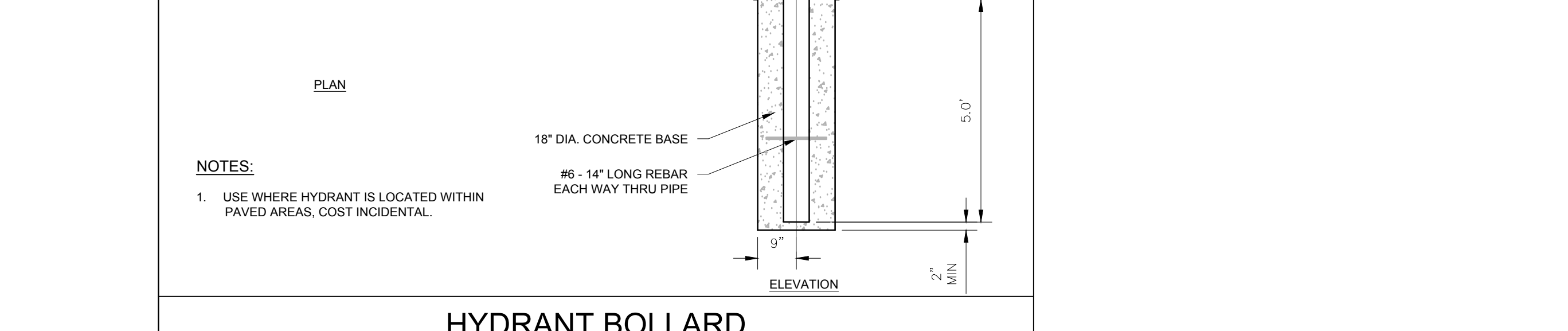
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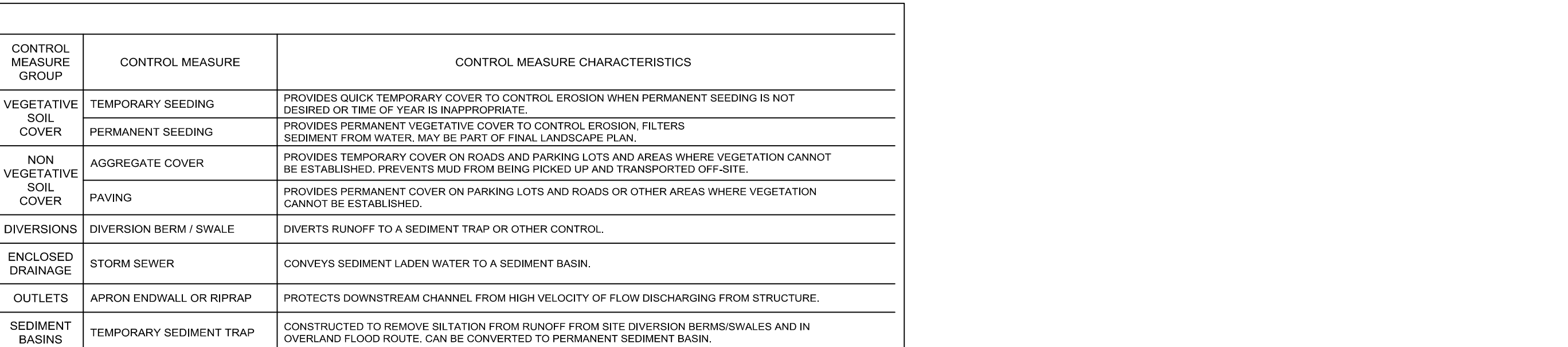
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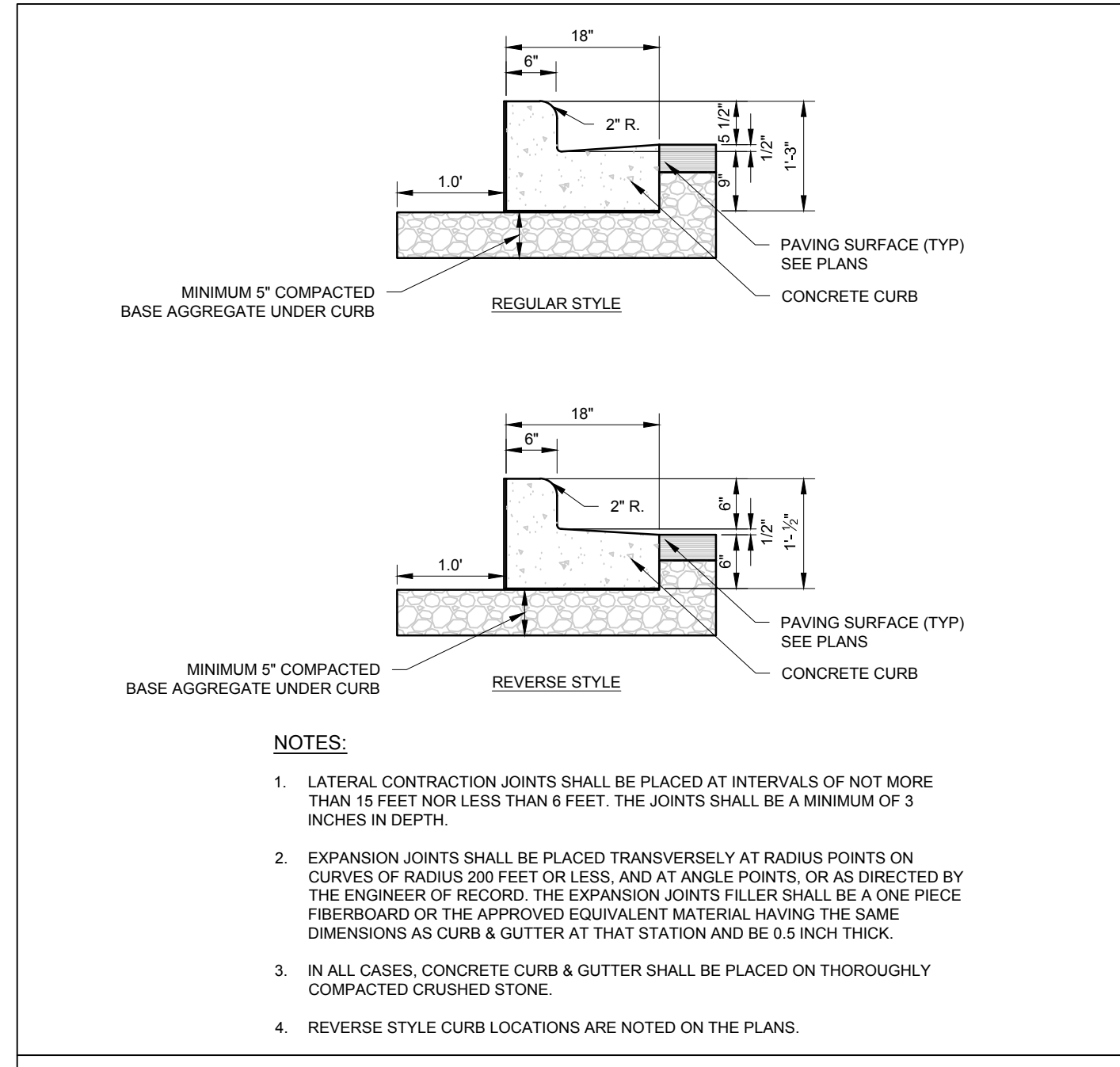
Table with 3 columns: CONTROL MEASURE GROUP, CONTROL MEASURE, CONTROL MEASURE CHARACTERISTICS. Lists measures like vegetative soil cover, aggregate cover, diversions, etc.

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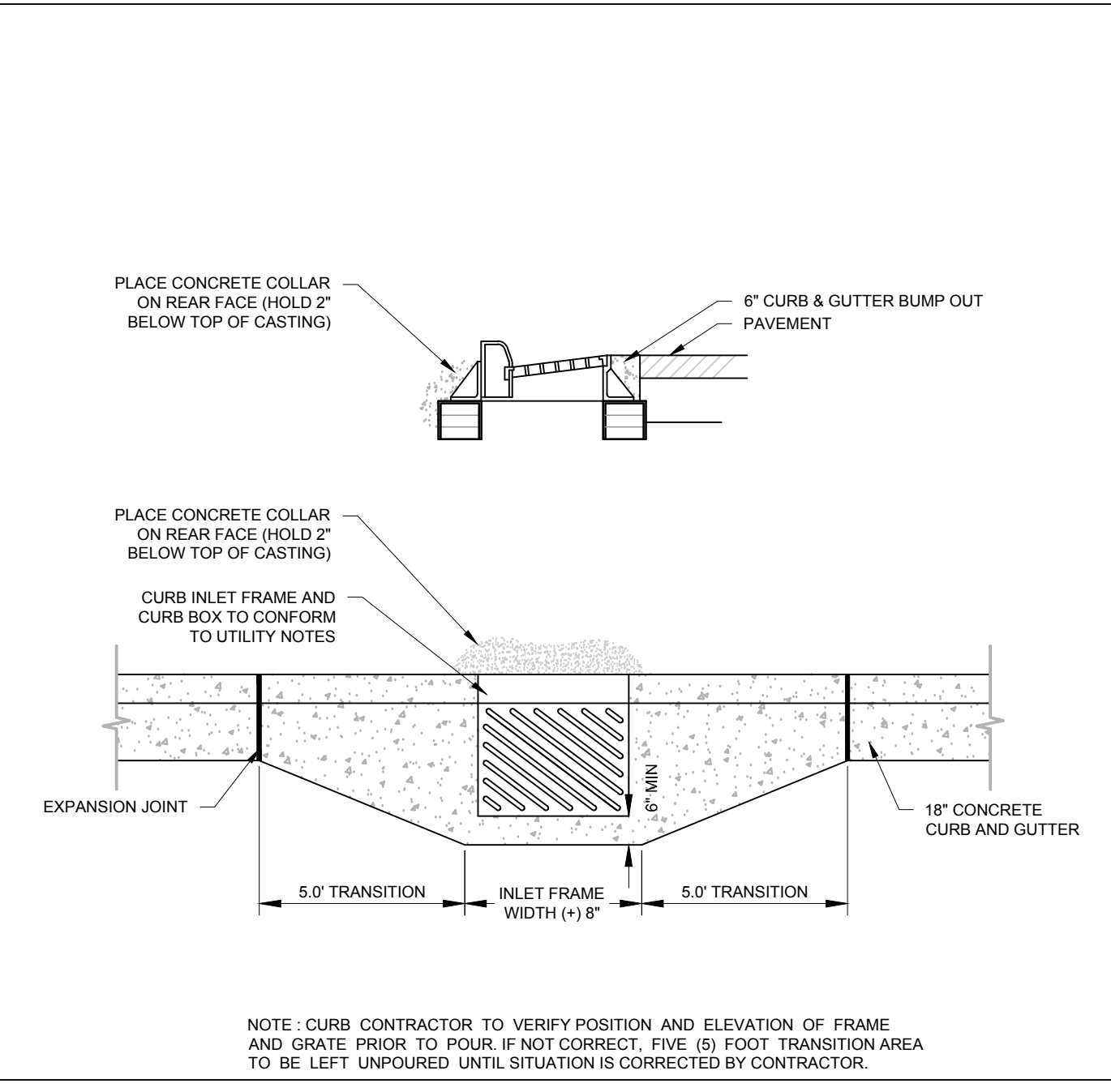
Table with 2 columns: REVISIONS, SHEET. Shows revision history and sheet information (C-7, C-9).

FOR REVIEW ONLY CONSTRUCTION DETAILS

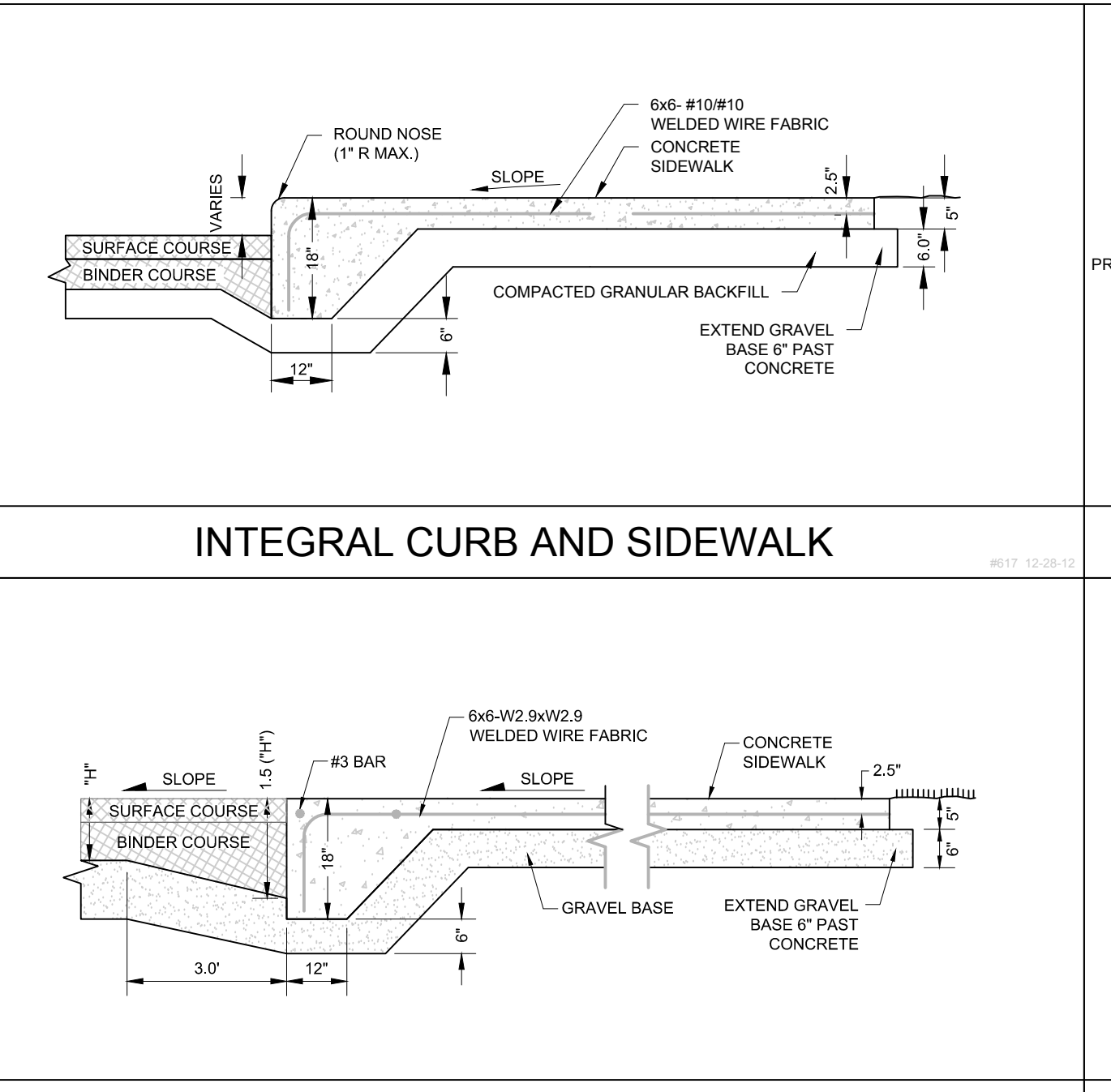
DESIGNED: DC; DRAWN: EP; REVISIONS: ##; PROJECTS\2015\559.00A-W\CAD\SHEETS\559.00A-W CONSTRUCTION DETAILS.DWG



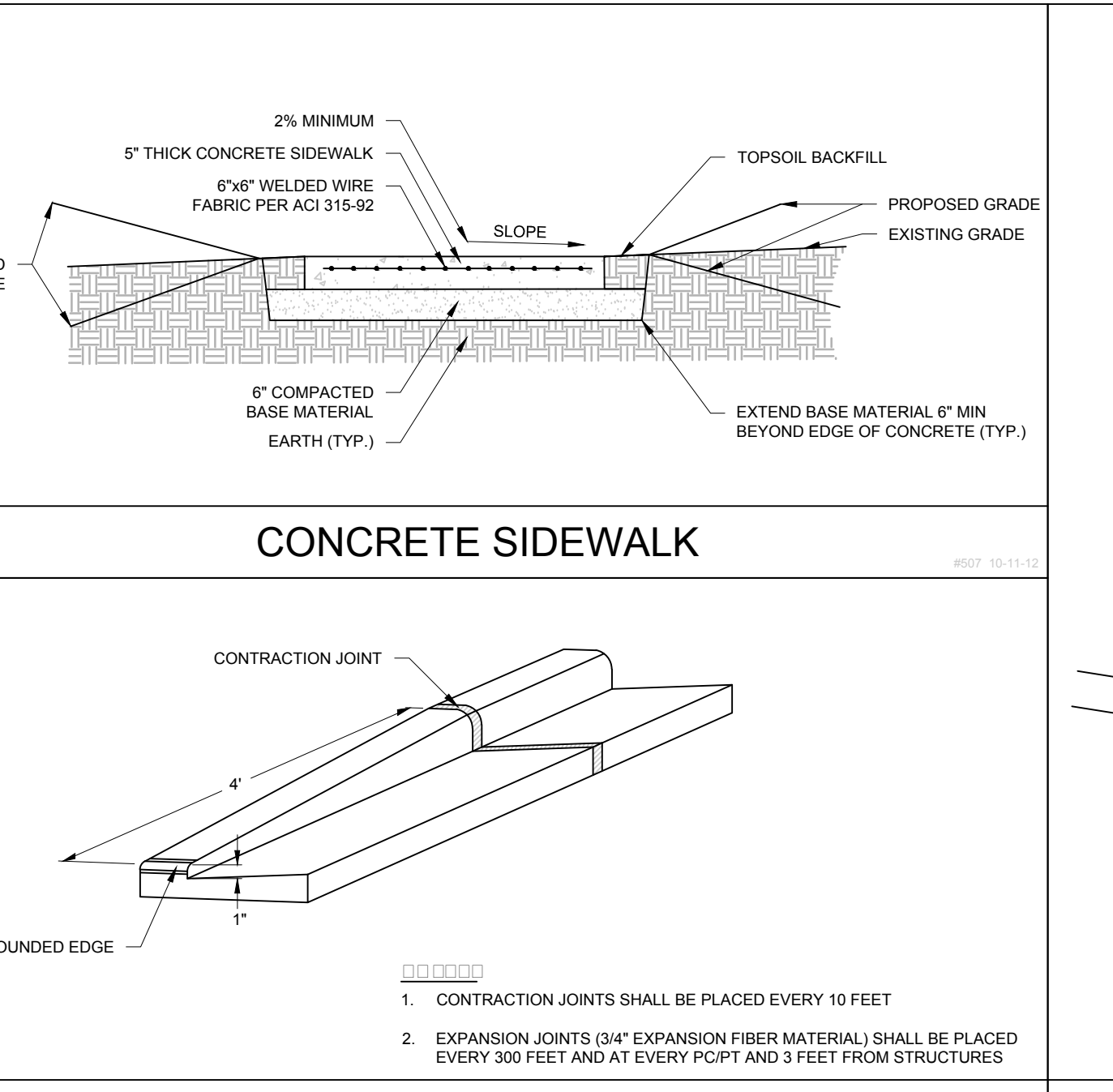
18" VERTICAL FACE CURB



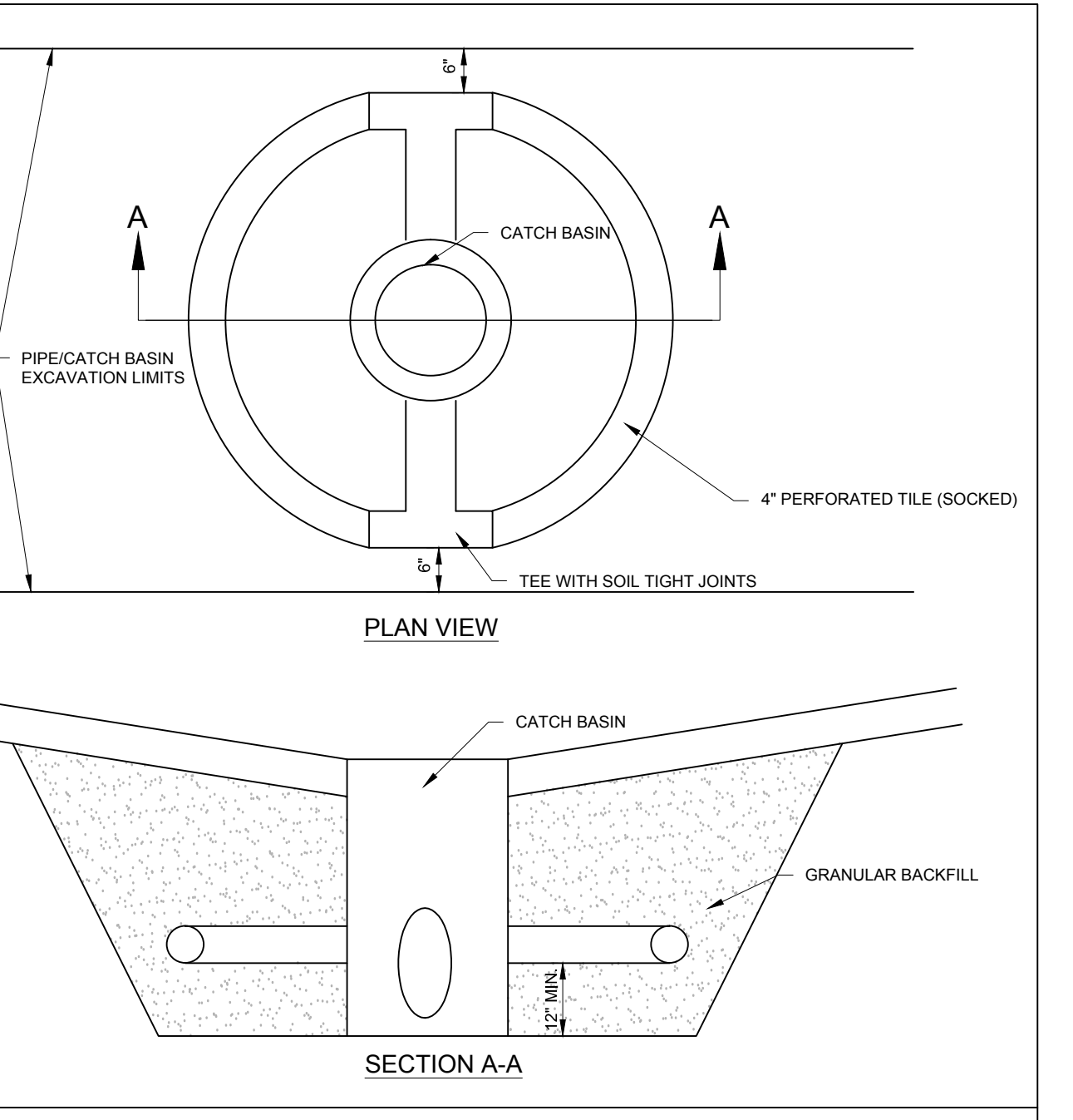
CURB AND GUTTER BUMP OUT



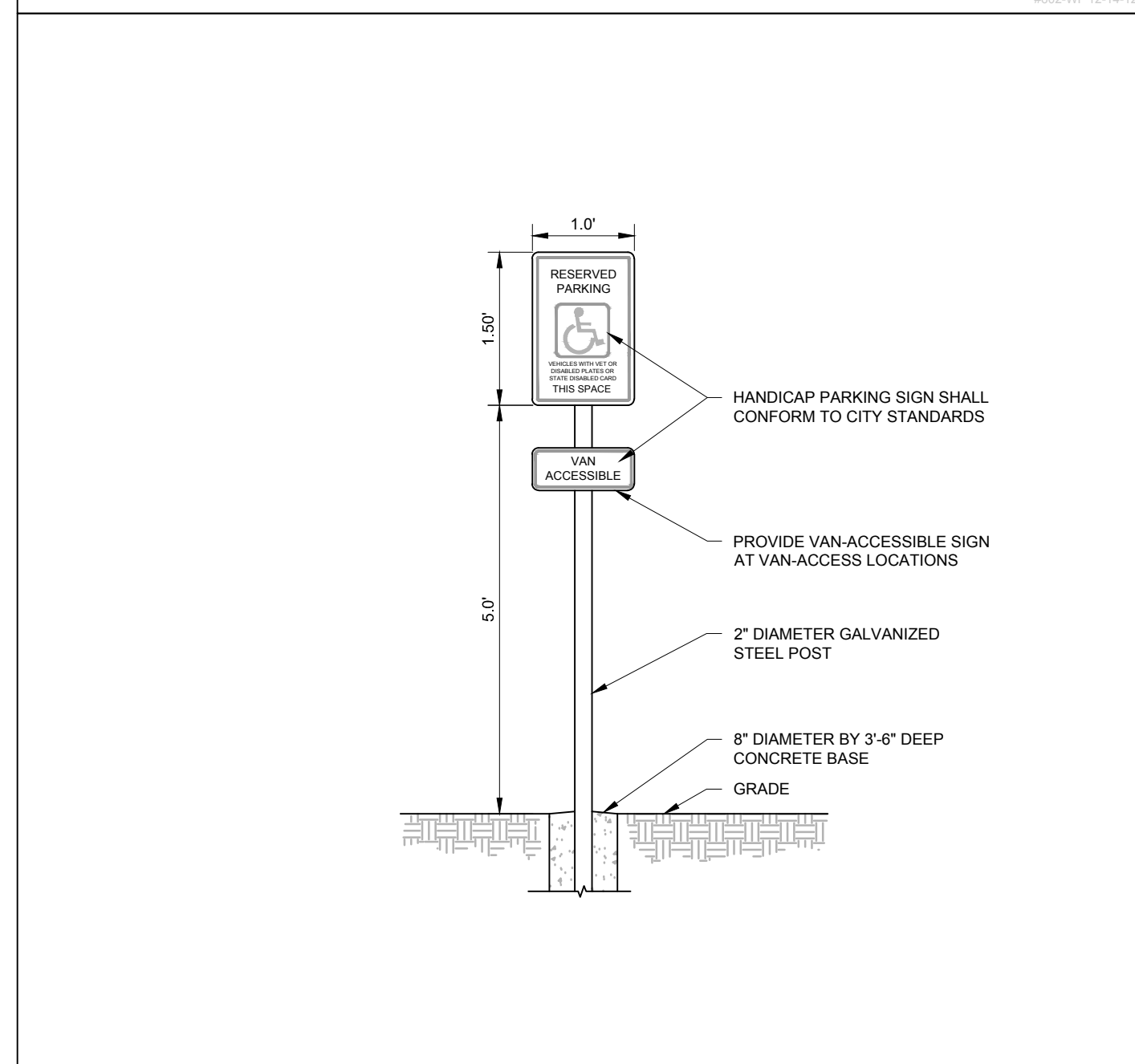
WALK FLUSH WITH PAVEMENT



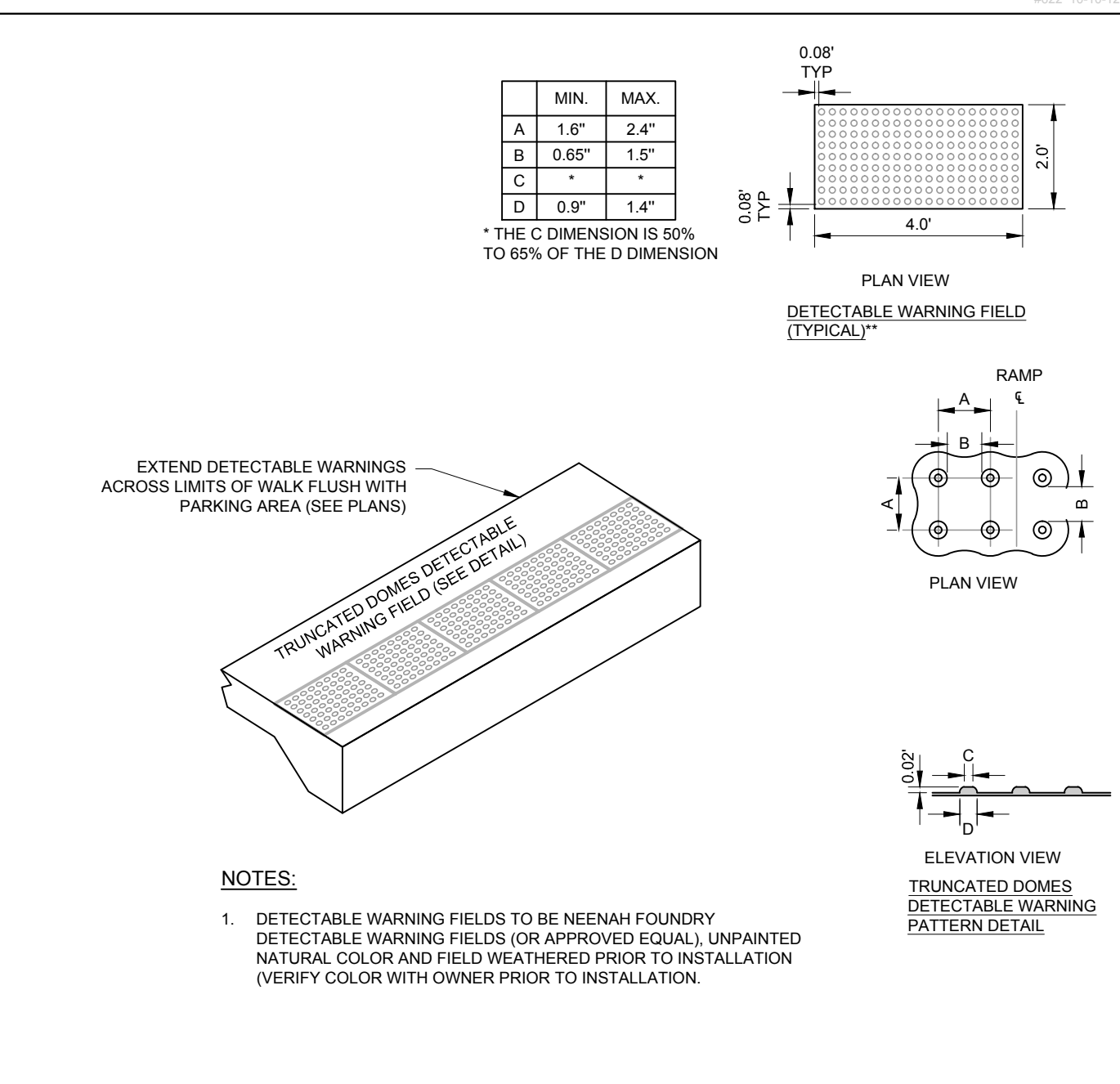
CONCRETE SIDEWALK



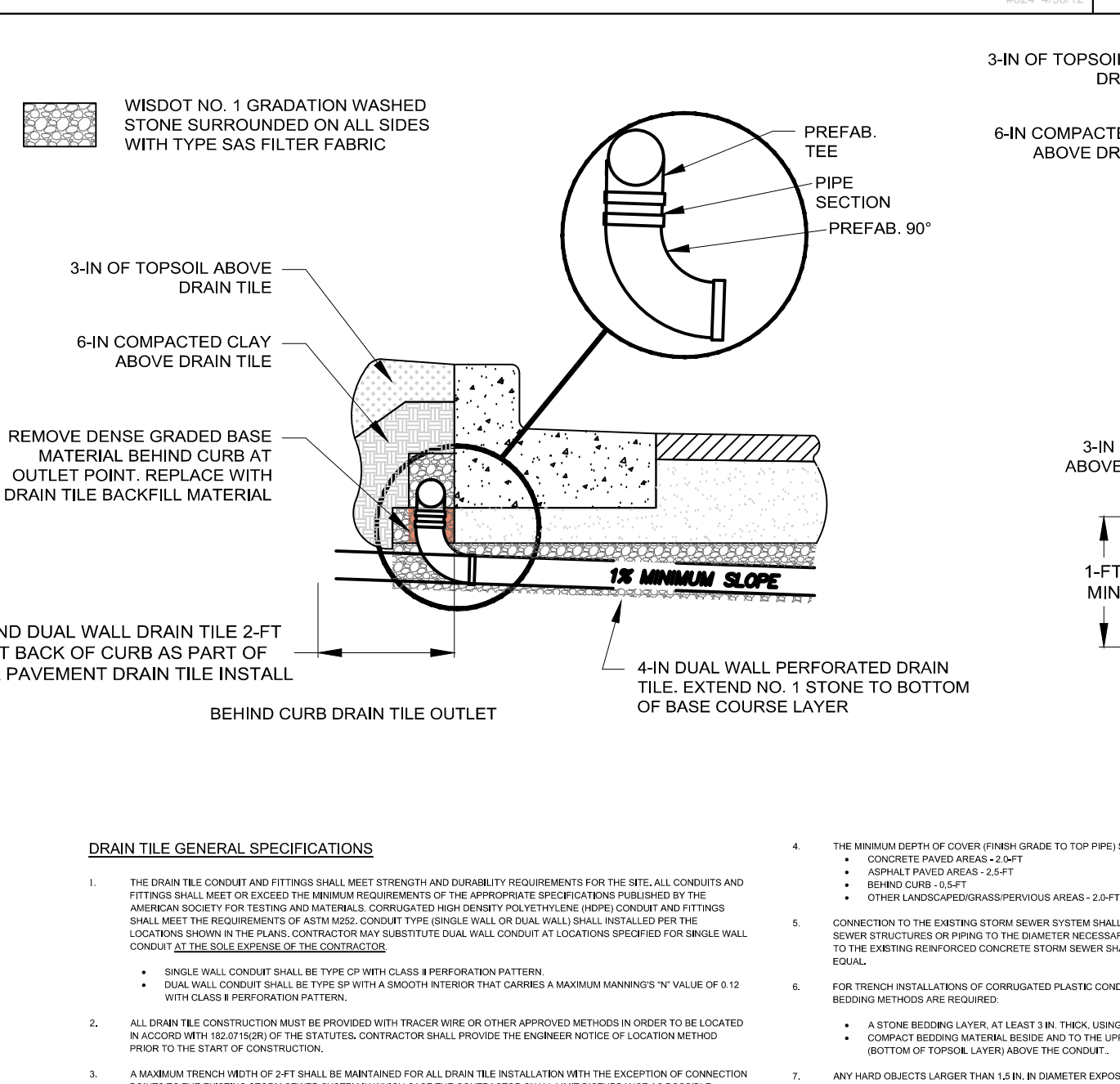
CATCH BASIN - UNDERDRAIN



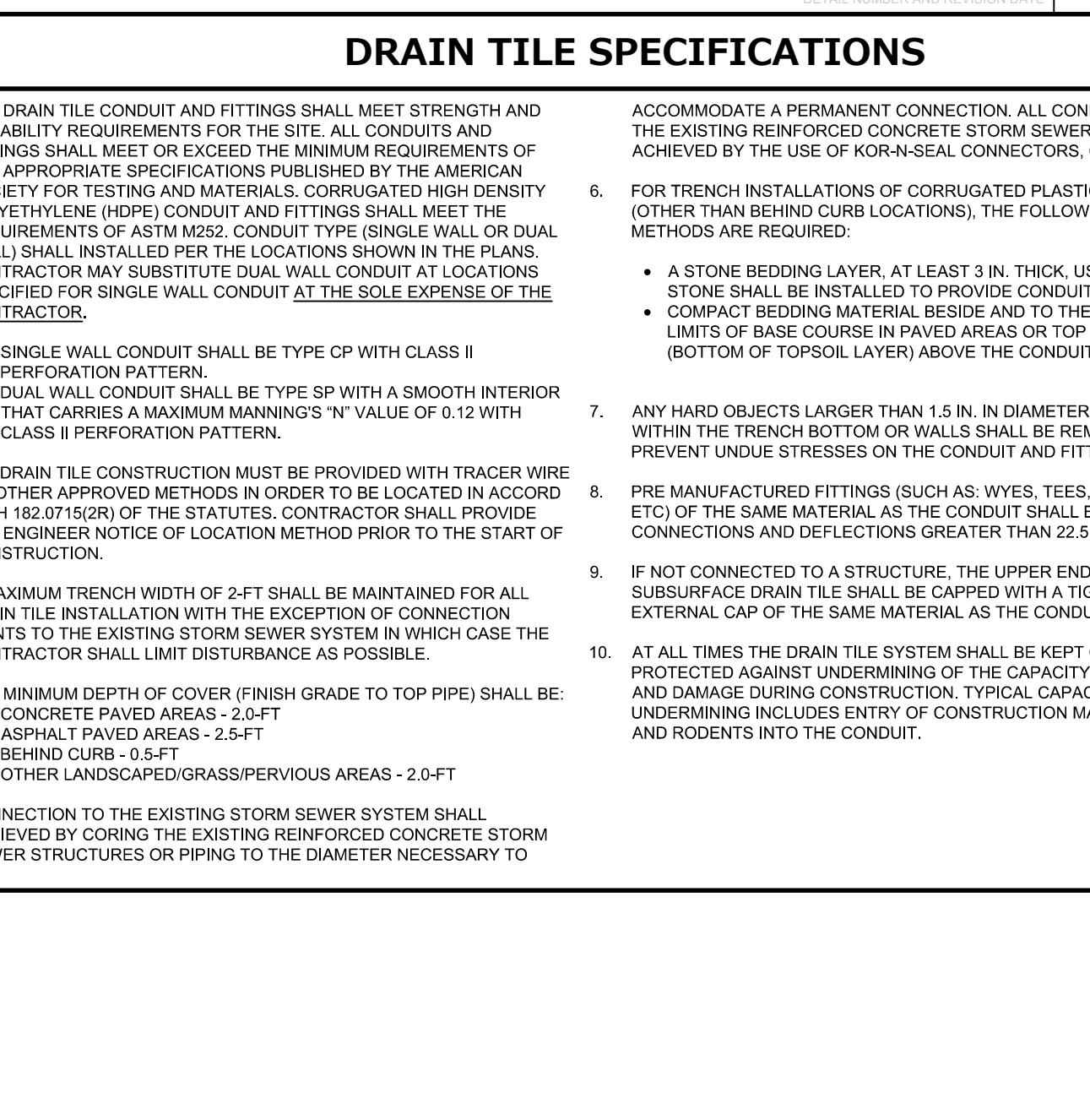
ADA SIGN



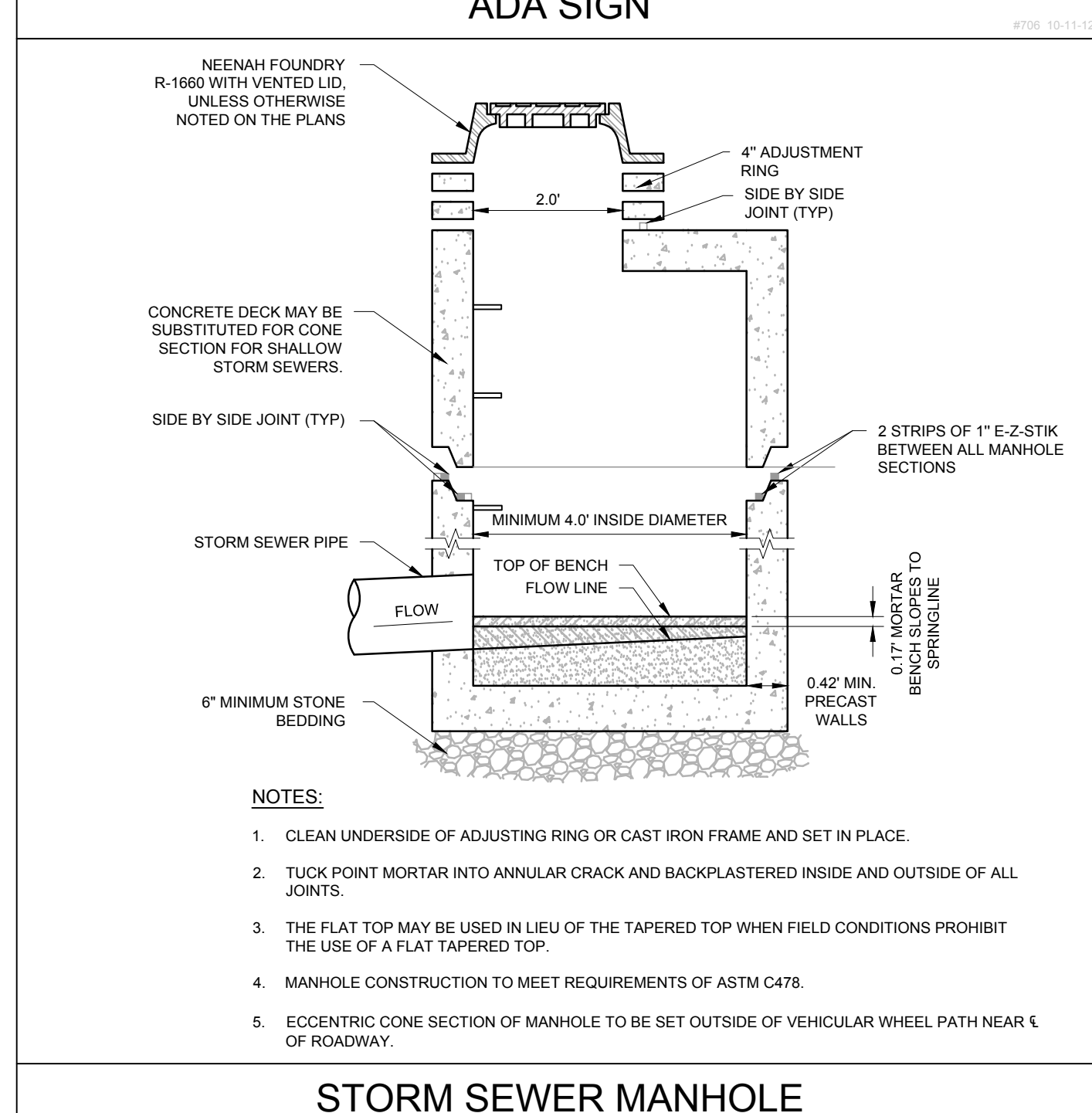
DETECTABLE WARNING TRUNCATED DOMES



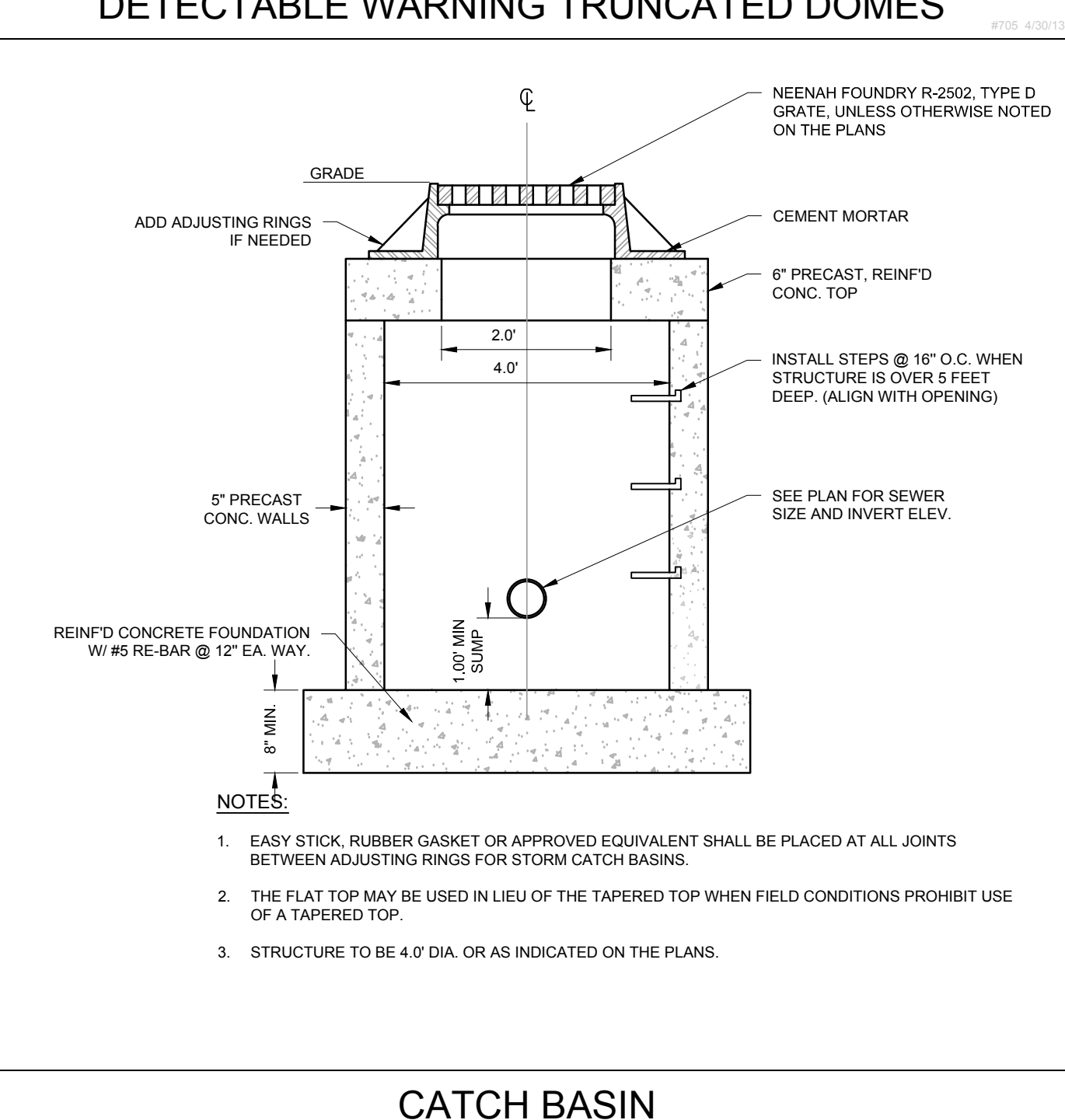
DRAIN TILE



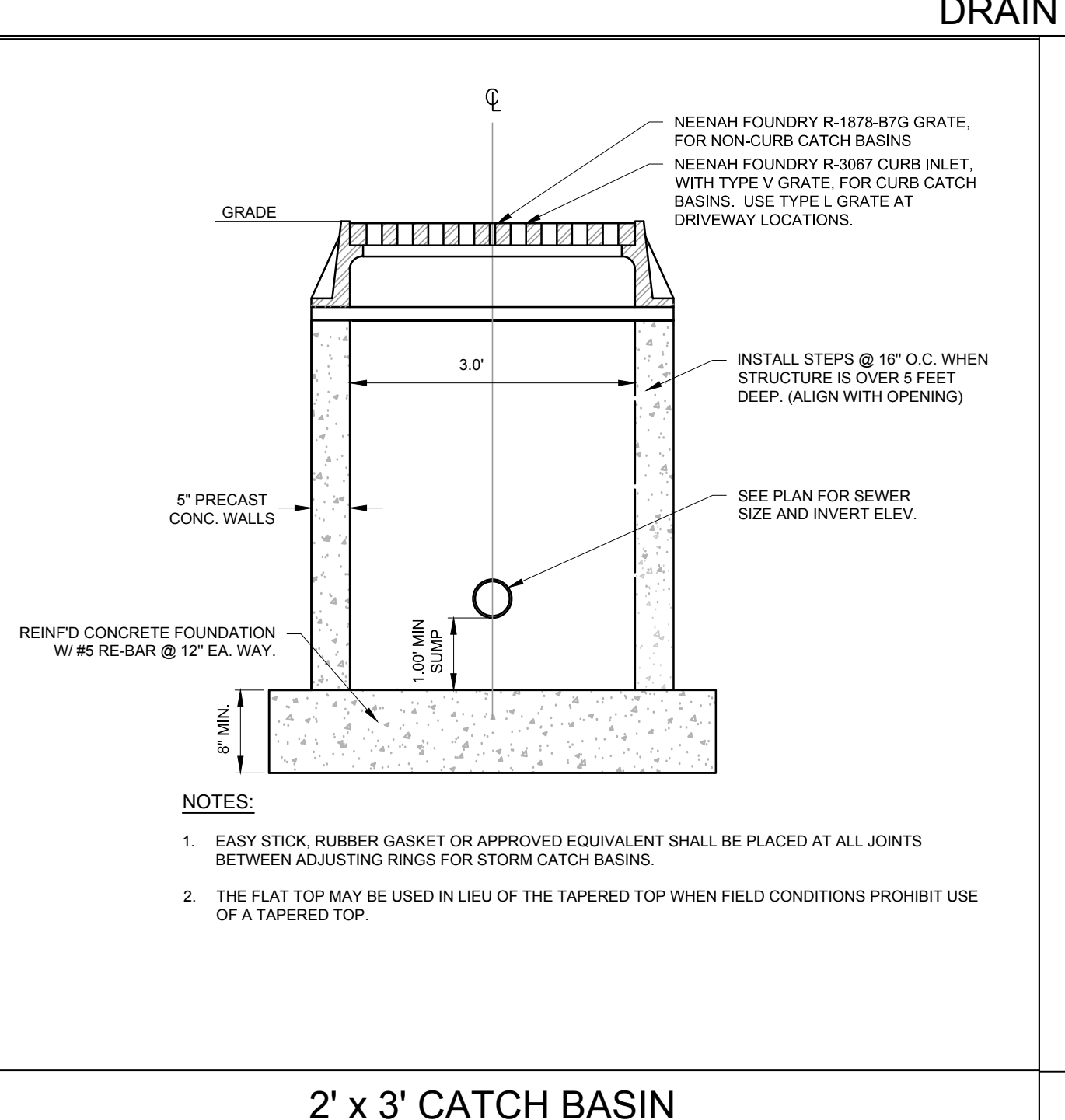
DRAIN TILE SPECIFICATIONS



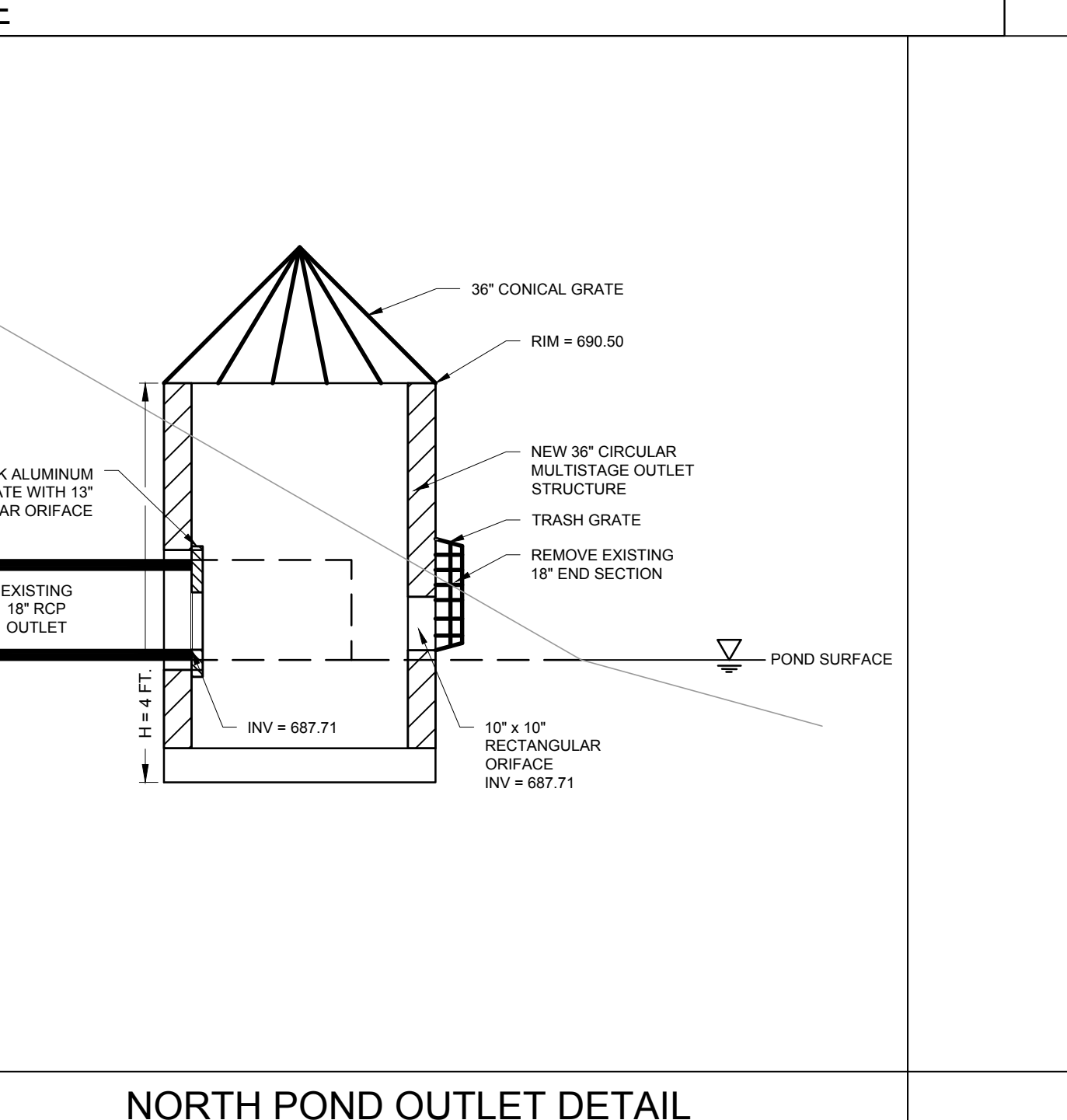
STORM SEWER MANHOLE



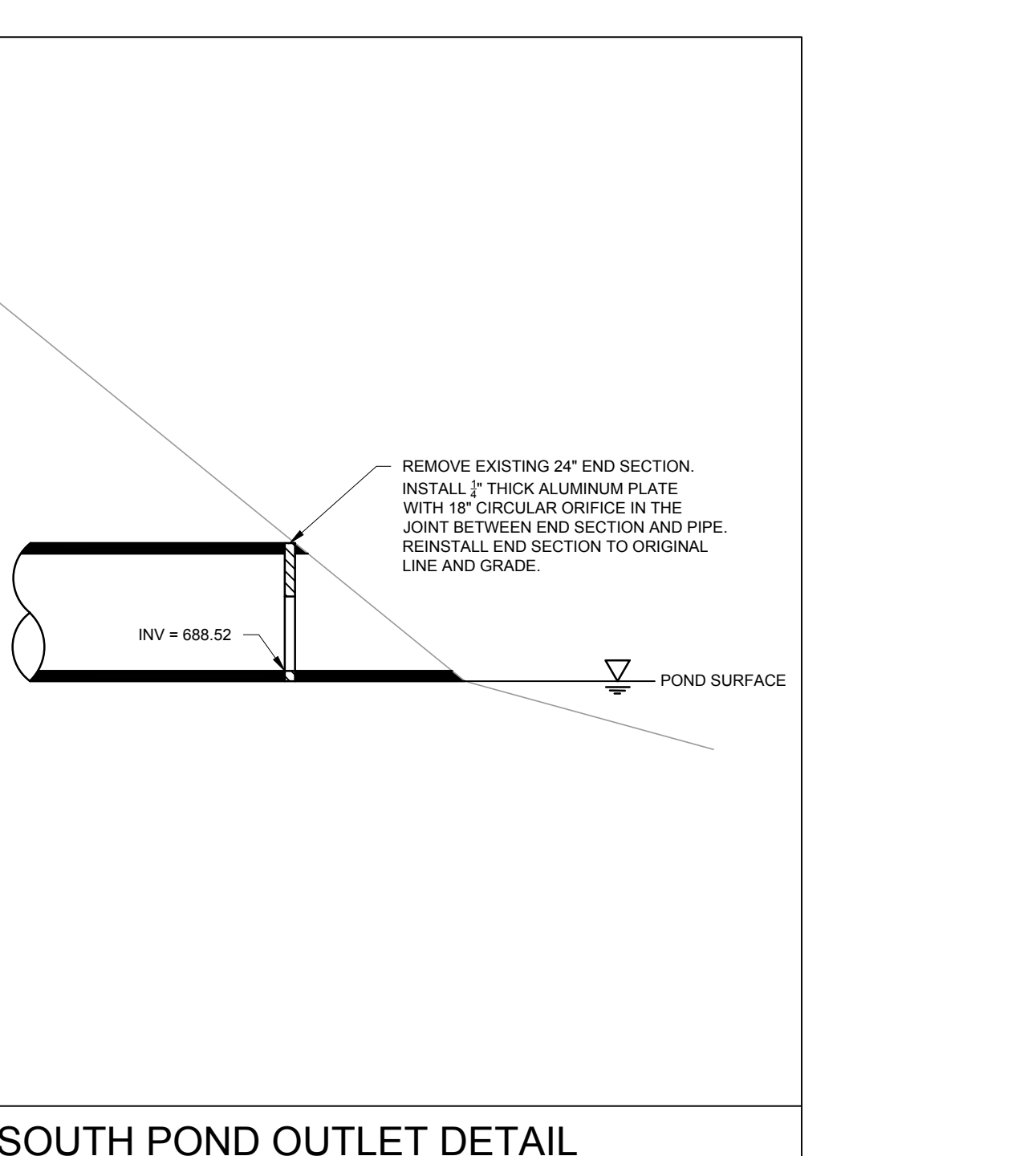
CATCH BASIN



2' x 3' CATCH BASIN



NORTH POND OUTLET DETAIL



SOUTH POND OUTLET DETAIL

PLAN | DESIGN | DELIVER  
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**PINNACLE ENGINEERING GROUP**  
ENGINEERING | NATURAL RESOURCES | SURVEYING

WISCONSIN OFFICE:  
15850 W. BLUEMOUND ROAD  
BROOKFIELD, WI 53005  
(262) 754-8888  
CHICAGO | MILWAUKEE | RATIONSVILLE

**LAKEVIEW LOT 40  
PLEASANT PRAIRIE, WI**

**CONSTRUCTION DETAILS**

REVISIONS	
NO.	DESCRIPTION

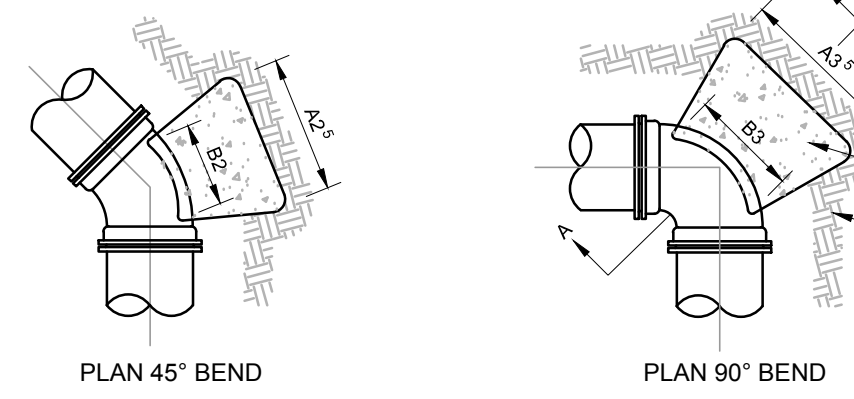
REG. JOB NO. 559.00A-WT  
MAC  
SCALE: NTS  
START DATE: 07/11/16  
SHEET  
C-8  
C-9

FOR REVIEW ONLY

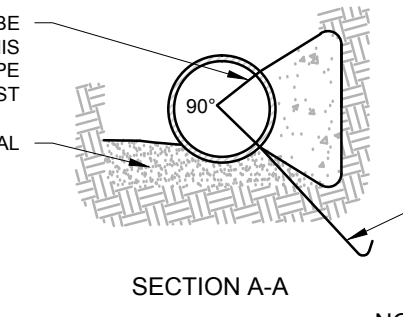
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CLASS 1" CONCRETE (4.5 BAG MIX) BUTTRESS TO BE POURED AGAINST FIRM UNDISTURBED EARTH

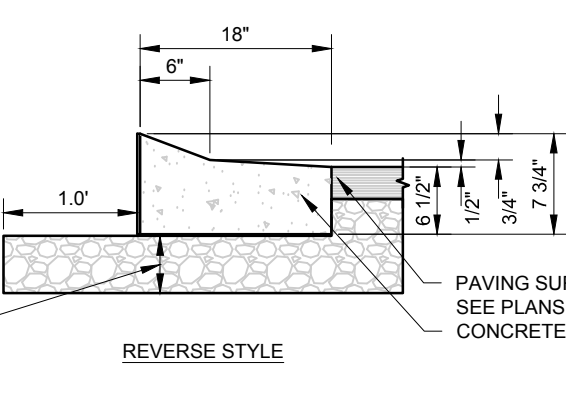
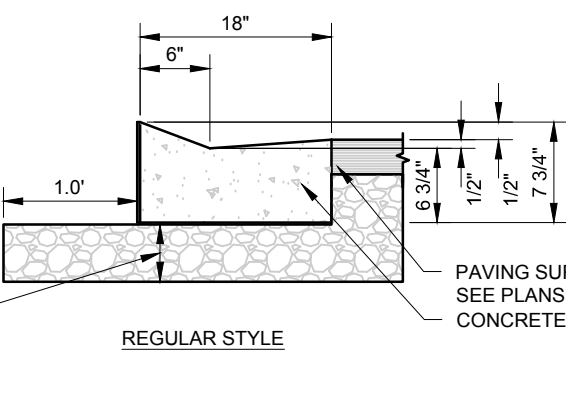


SECTION A-A

NOTES:

PIPE SIZE	22 1/2° BENDS		45° BENDS		90° BENDS	
	A1	B1	A2	B2	A3	B3
6"	1'-0"	1'-0"	1'-0"	1'-0"	1'-4"	1'-2"
8"	1'-0"	1'-0"	1'-4"	1'-2"	1'-10"	1'-6"
12"	1'-4"	1'-4"	1'-10"	1'-10"	2'-8"	2'-3"
16"	1'-10"	1'-8"	2'-6"	2'-4"	3'-10"	2'-10"
20"	2'-4"	2'-4"	3'-3"	2'-10"	5'-0"	3'-4"
24"	2'-10"	2'-4"	4'-0"	3'-3"	6'-4"	3'-10"
30"	3'-6"	3'-0"	5'-4"	3'-10"	8'-0"	4'-8"

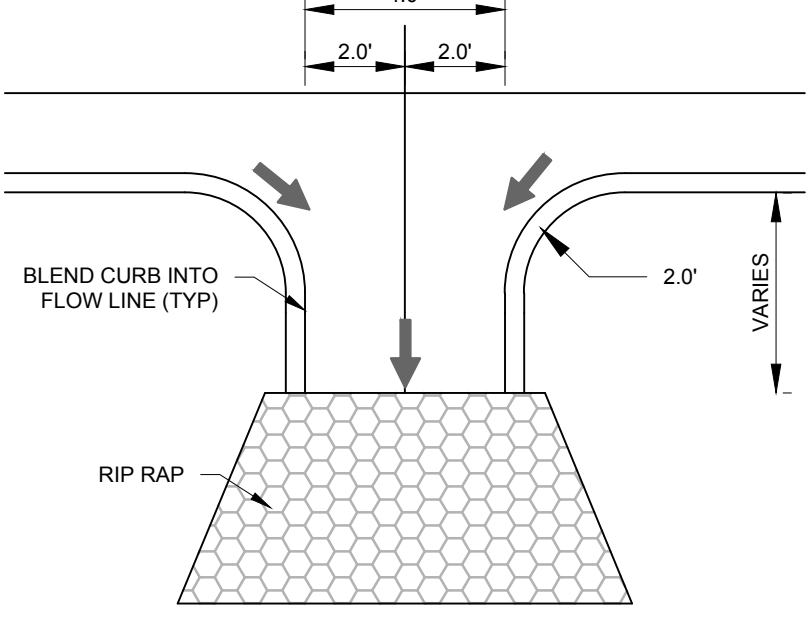
**THRUST BLOCK**



NOTES:

- LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15 FEET NOR LESS THAN 6 FEET. THE JOINTS SHALL BE A MINIMUM OF 3 INCHES IN DEPTH.
- EXPANSION JOINTS SHALL BE PLACED TRANSVERSELY AT RADIUS POINTS ON CURVES OF RADIUS 200 FEET OR LESS, AND AT ANGLE POINTS, OR AS DIRECTED BY THE ENGINEER OF RECORD. THE EXPANSION JOINTS FILLER SHALL BE A ONE PIECE FIBERGLASS OR THE APPROVED EQUIVALENT MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 5 INCH THICK.
- IN ALL CASES, CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED CRUSHED STONE.
- REVERSE STYLE CURB LOCATIONS ARE NOTED ON THE PLANS.

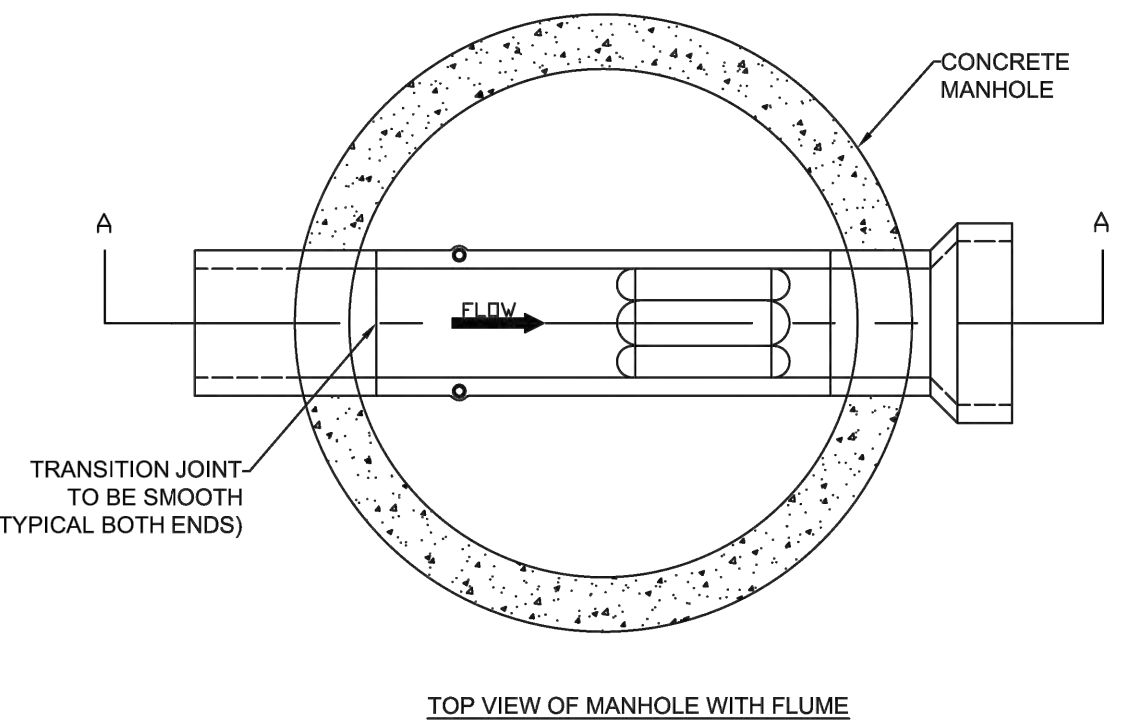
**18" DEPRESSED CURB**



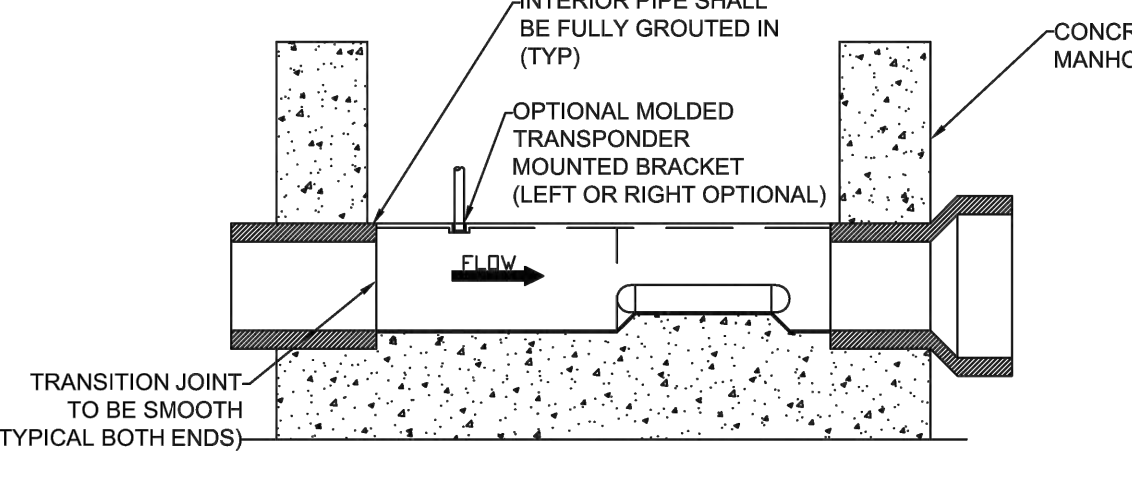
NOTES:

- PITCH CONCRETE AT 2% FROM FLOW LINE OF GUTTER SECTION TO CL OF FLUME.

**CONCRETE FLUME**



TOP VIEW OF MANHOLE WITH FLUME



SECTION A - A ENLARGED

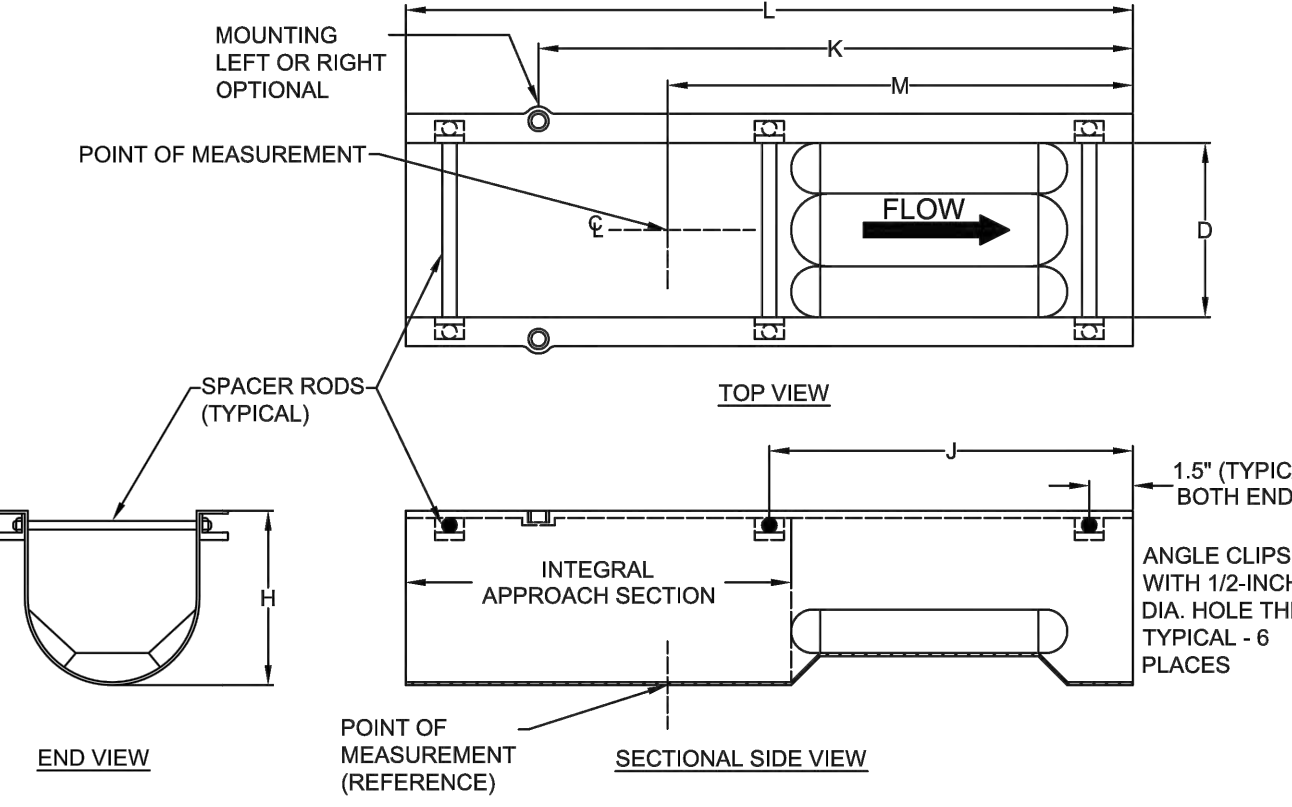
- NOTE:
- FLUME SHALL BE SET LEVEL INSIDE THE MANHOLE FOR PROPER TESTING PROCEDURES.
  - REFER TO VILLAGE STANDARD SPECIFICATIONS FOR SANITARY SEWER.

SCALE: NTS

**PLEASANT PRAIRIE PALMER-BOWLUS FLUME DETAIL (1 OF 2)** DETAIL: SAN - 2A

CREATED: 11-21-12 APPROVED BY: MATT FINEOUR

REVISED: 11-18-15



DIMENSIONS TABLE

PIPE SIZE	D	H	M	K	J	L
4	4	6	11	15 7/16	6 1/2	17
6	6	8	16	20 7/16	12 1/2	25
8	8	10	21	25 7/16	18 1/2	33
10	10	12	26	30 7/16	20 1/2	41
12	12	14	31	35 7/16	24 1/2	49
15	15	17	38 1/2	42 15/16	30 1/2	61
18	18	20	46	50 7/16	38 1/2	73
21	21	23	53 1/2	57 15/16	42 1/2	85
24	24	26	61	65 7/16	48 1/2	97
27	27	29	68 1/2	72 15/16	54 1/2	109
30	30	32	76	80 7/16	60 1/2	121

NOTES:

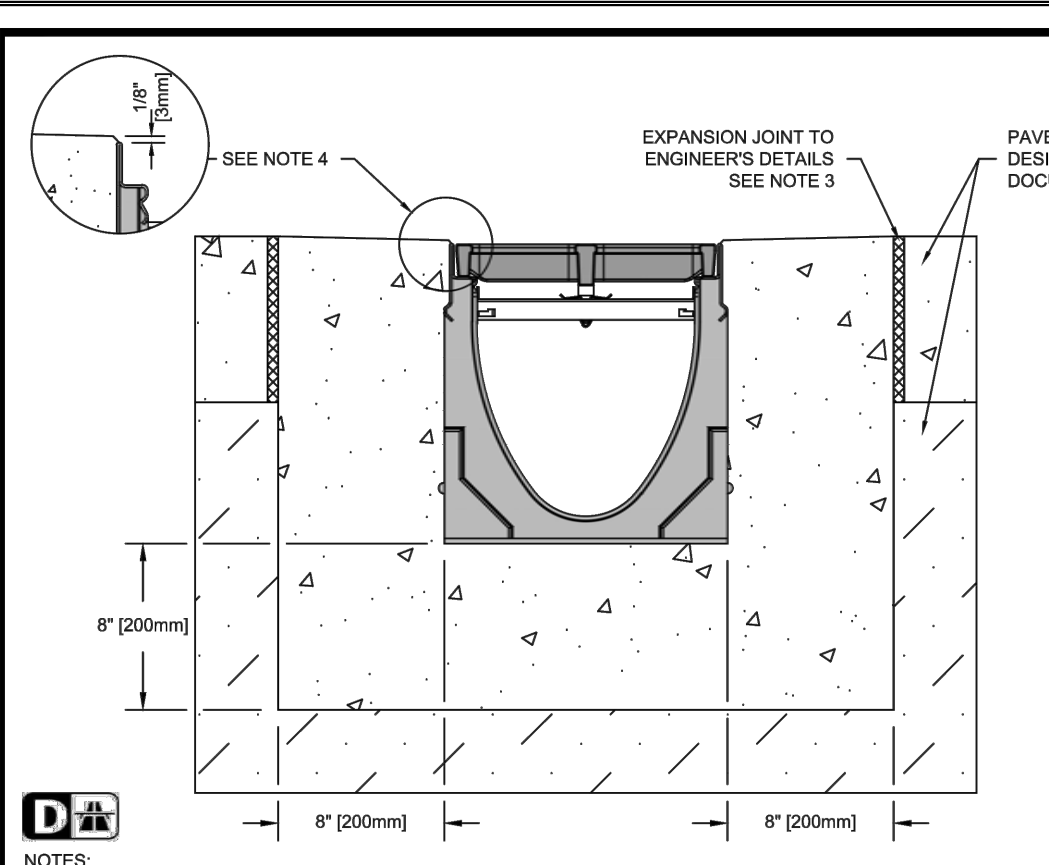
- DIMENSIONS ARE IN INCHES, UNLESS OTHERWISE SPECIFIED.
- DIMENSIONS PROVIDED FOR REFERENCE ONLY.

SCALE: NTS

**PLEASANT PRAIRIE PALMER-BOWLUS FLUME DETAIL (2 OF 2)** DETAIL: SAN - 2B

CREATED: 11-21-12 APPROVED BY: MATT FINEOUR

REVISED: 11-16-15



**ACQ Polymer Products, Inc. K200 KLASIKDRAIN - LOAD CLASS D**

**GENERAL**  
THE SURFACE DRAINAGE SYSTEM SHALL BE POLYMER CONCRETE K200 CHANNEL SYSTEM WITH GALVANIZED STEEL EDGE RAILS AS MANUFACTURED BY ACQ POLYMER PRODUCTS, INC.

**MATERIALS**  
CHANNEL SHALL BE MANUFACTURED FROM POLYESTER RESIN POLYMER CONCRETE WITH AN INTEGRALLY CAST-IN GALVANIZED STEEL EDGE RAIL. MINIMUM PROPERTIES OF POLYMER CONCRETE WILL BE AS FOLLOWS:  
 COMPRESSIVE STRENGTH: 14,000 PSI  
 FLEXURAL STRENGTH: 4,000 PSI  
 TENSILE STRENGTH: 1,500 PSI  
 WATER ABSORPTION: 0.07%  
 FROST PROOF: YES  
 DILUTE ACID AND ALKALI RESISTANT: YES  
 #117 SALT SPRAY TEST COMPLIANT: YES

THE SYSTEM SHALL BE # 200(NH) NOMINAL INTERNAL WIDTH WITH A 1/2" (200NH) OVERALL WIDTH AND A BUILT-IN SLOPE OF 0.1%. CHANNEL JOINT SHALL HAVE SEVERED "S" SHAPE. ALL CHANNELS SHALL BE INTERLOCKING WITH A MALE/FEMALE JOINT.

THE COMPLETE DRAINAGE SYSTEM SHALL BE BY ACQ POLYMER PRODUCTS, INC. ANY DEVIATION OR PARTIAL SYSTEM DESIGN AND/OR IMPROPER INSTALLATION WILL VOID ANY AND ALL WARRANTIES PROVIDED BY ACQ POLYMER PRODUCTS, INC.

CHANNEL SHALL WITHSTAND LOADING TO PROPER LOAD CLASS AS OUTLINED BY EN 1433. GRATE TYPE SHALL BE APPROPRIATE TO MEET THE SYSTEM LOAD CLASS SPECIFIED AND INTENDED APPLICATION AND CONCRETE SURROUND. ENGINEERING ADVISE MAY BE REQUIRED TO PROTECT CHANNEL.

EXPANSION AND CONTRACTION CONTROL JOINTS AND REINFORCEMENT ARE RECOMMENDED TO PROTECT CHANNEL.

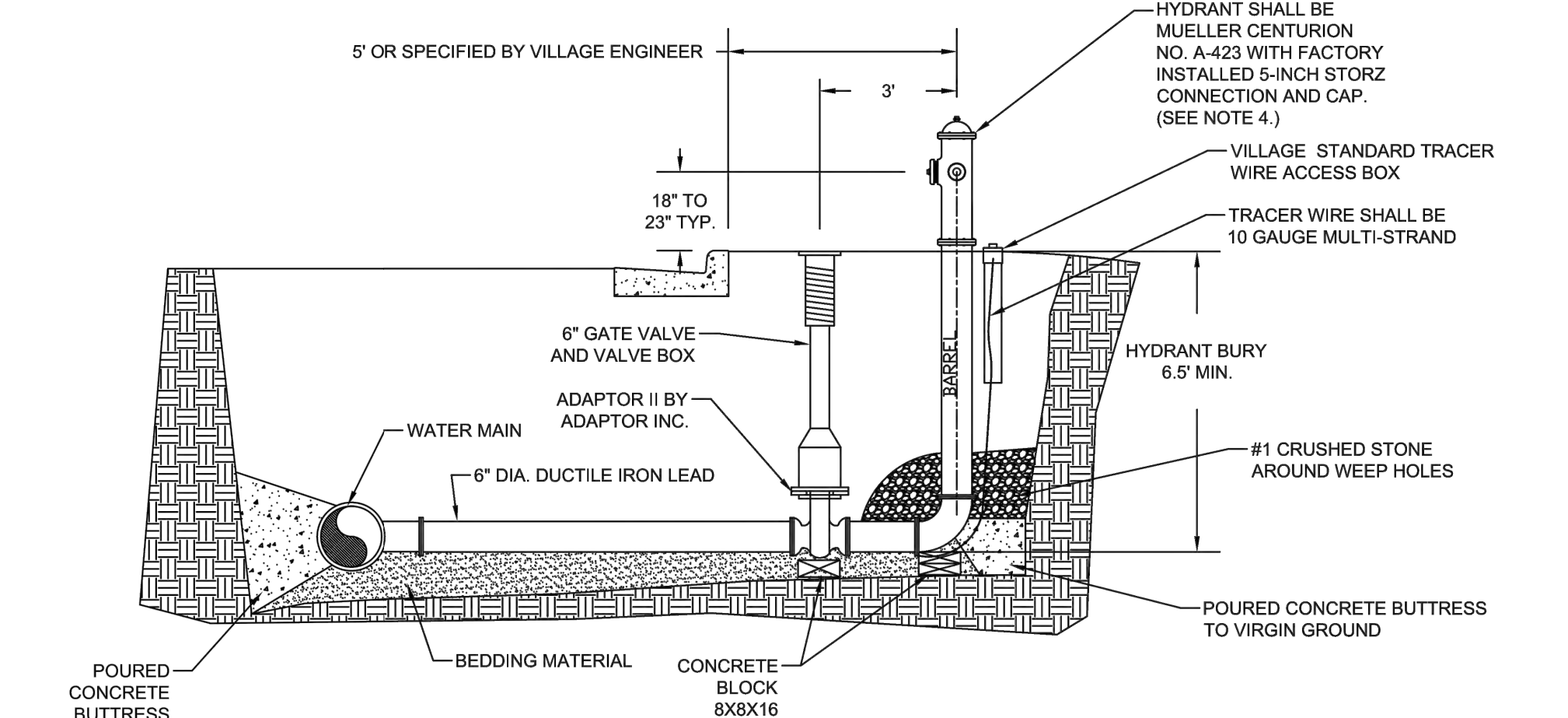
THE FINISHED LEVEL OF THE CONCRETE SURROUND MUST BE APPROX. 1/8" (20mm) ABOVE THE TOP OF THE CHANNEL EDGE.

CONCRETE BASE THICKNESS SHOULD MATCH SLAB THICKNESS. ENGINEERING ADVISE MAY BE REQUIRED TO DETERMINE PROPER LOAD CLASS.

REFER TO ACQ'S LATEST INSTALLATION INSTRUCTIONS FOR FURTHER DETAILS.

**ACQ Polymer Products, Inc.**  
 825 W. Beachcroft St. 9470 Pleasant Rd. 4211 Pleasant Rd.  
 Casa Grande, AZ 85122 Mesa, AZ 84800 Fort Mill, SC 29718  
 Tel: 520-431-9889 Tel: 480-529-2200 Tel: 469-231-7200  
 Fax: 520-431-9889 Fax: 480-529-2200 Fax: 469-231-7200

Arizona Tel: 888-490-9552 e-mail: sales@acqusa.com Ohio Tel: 800-543-4764 www.acqusa.com South Carolina Tel: 800-543-4764



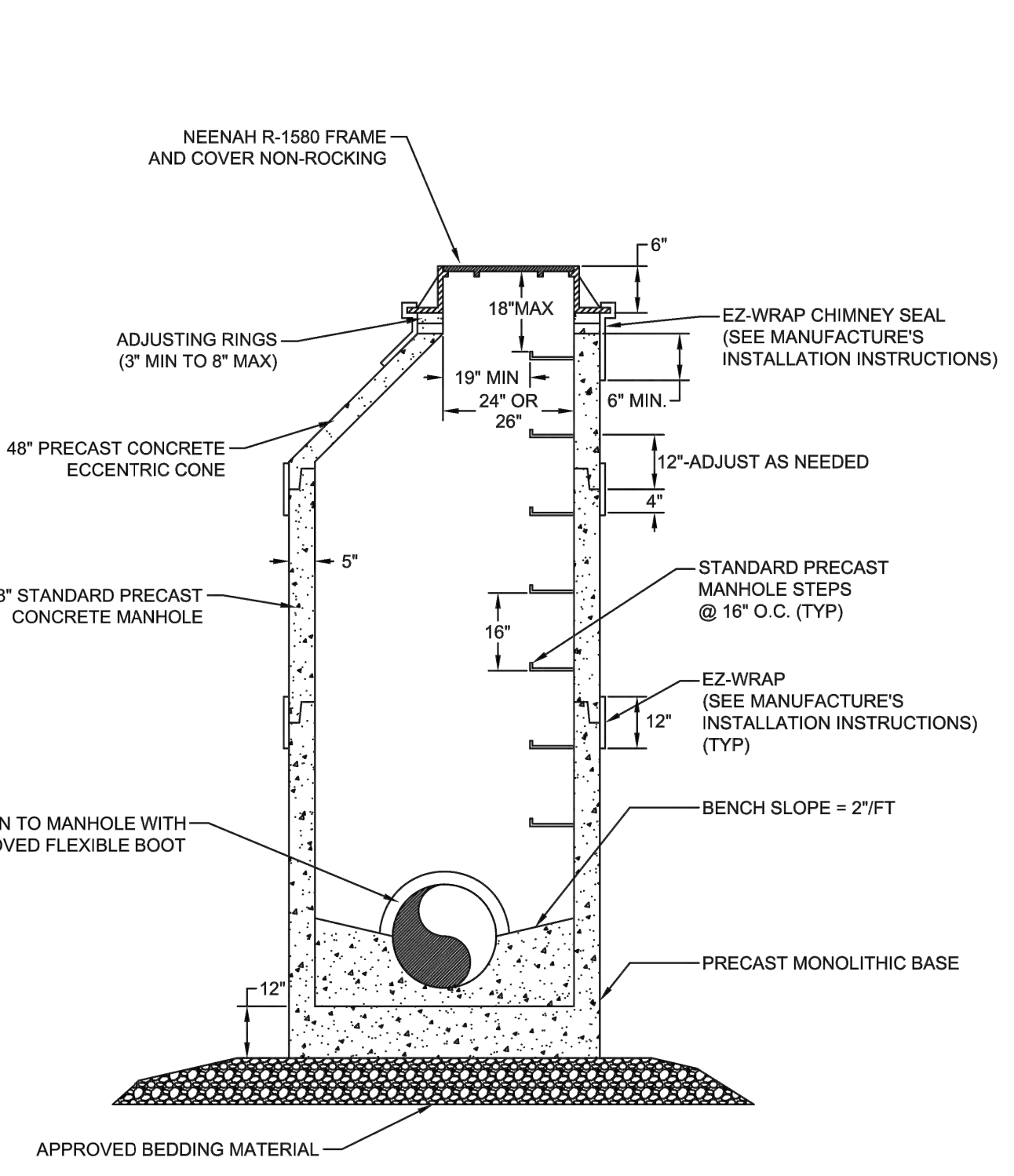
- NOTES:
- MECHANICAL JOINTS FROM TEE TO VALVE AND FROM VALVE TO HYDRANT SHALL BE RESTRAINED WITH MEGALUGS AND STAINLESS STEEL BOLTS.
  - ALL BOLTS SHALL BE STAINLESS STEEL BOLTS.
  - REFER TO VILLAGE STANDARD SPECIFICATIONS FOR WATER MAIN CONSTRUCTION.
  - HYDRANT SPECIFICATIONS - 2 EACH 2-1/2 INCH NST NOZZLE, 1 FACTORY INSTALLED 1-INCH STORZ CONNECTION AND CAP MANUFACTURED BY MUELLER.
  - PAINT SPECIFICATION - PLEASE REFER TO VS-0400 OF THE VILLAGE CONSTRUCTION SPECIFICATIONS.
  - HYDRANT EXTENSIONS ARE NOT PERMITTED.

SCALE: NTS

**PLEASANT PRAIRIE STANDARD HYDRANT ASSEMBLY** DETAIL: W - 1

CREATED: 11-26-12 APPROVED BY: MATT FINEOUR

REVISED: 11-16-15



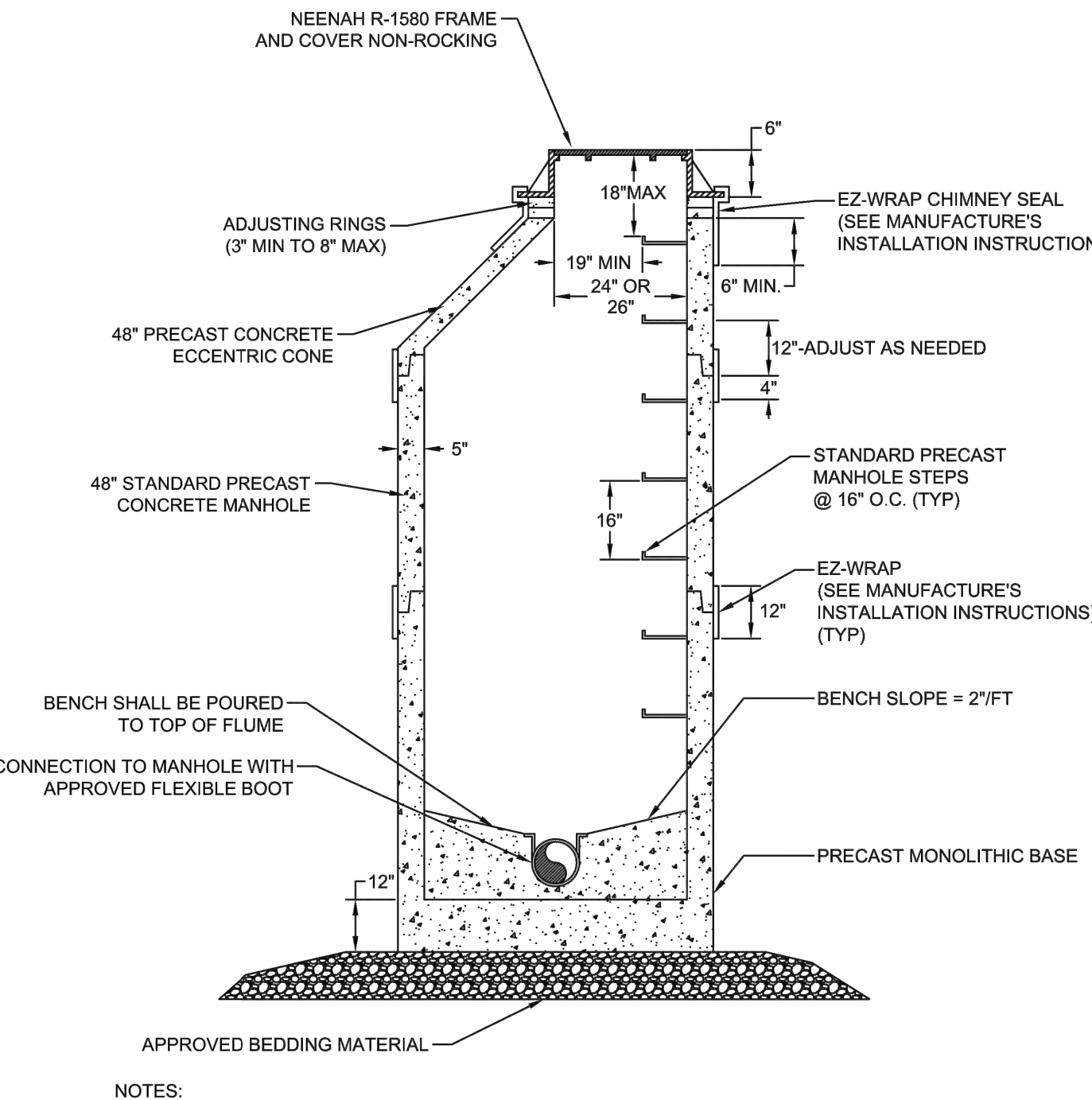
NOTE: REFER TO VILLAGE STANDARD SPECIFICATIONS FOR SANITARY SEWER

SCALE: NTS

**PLEASANT PRAIRIE STANDARD SANITARY MANHOLE** DETAIL: SAN - 1

CREATED: 11-21-12 APPROVED BY: MATT FINEOUR

REVISED: 11-10-15



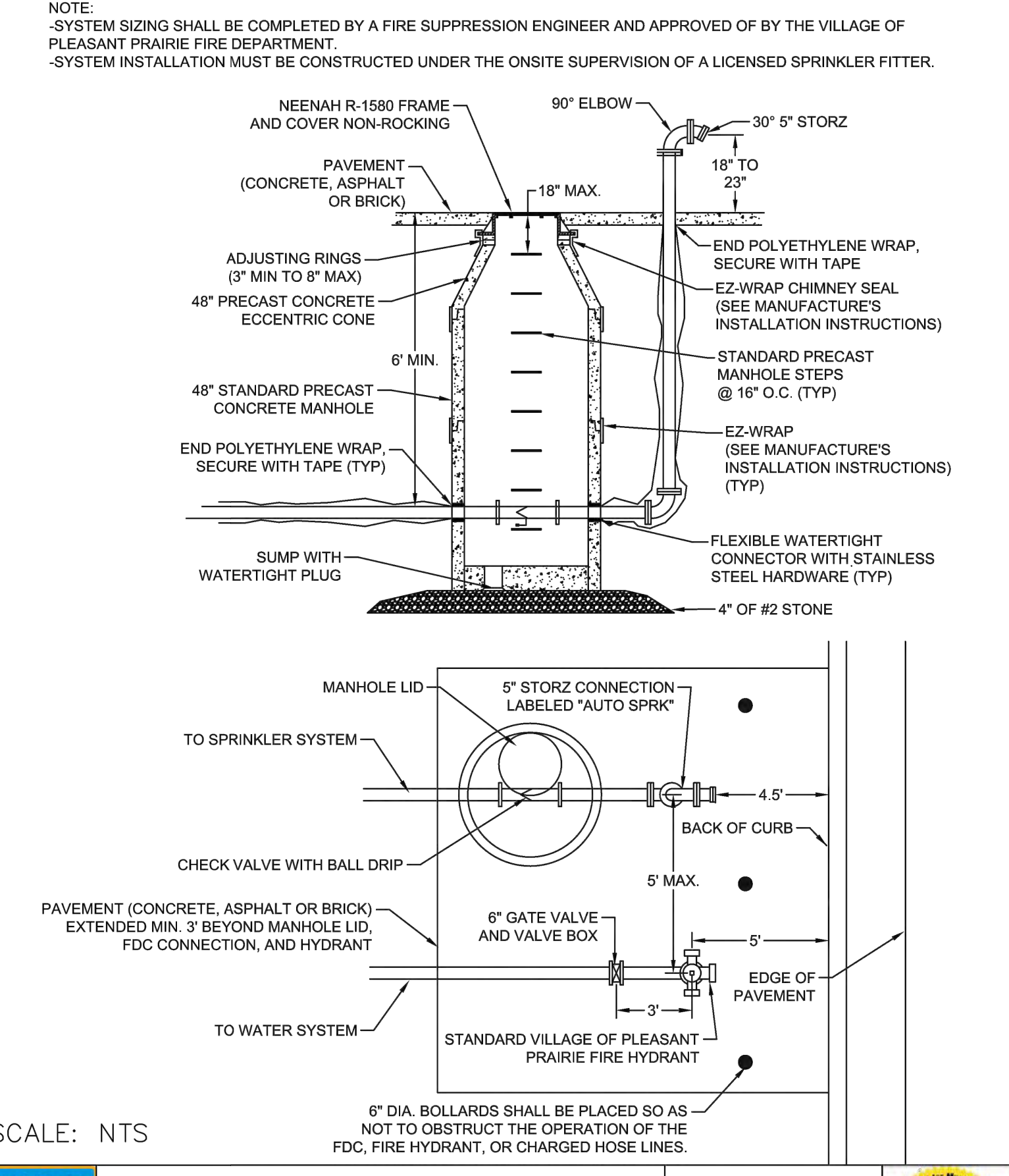
- NOTES:
- STANDARD SAMPLING MANHOLE SHALL HAVE A PALMER-BOWLUS FLUME WITH INTEGRAL APPROACH INSTALLED.
  - VILLAGE OF PLEASANT PRAIRIE DPW SHALL BE CONTACTED FOR FINAL INSPECTION OF SAMPLING MANHOLES.
  - SEE DETAIL SAN-2A AND SAN-2B FOR PALMER-BOWLUS FLUME DETAILS.
  - REFER TO VILLAGE STANDARD SPECIFICATIONS FOR SANITARY MANHOLES.

SCALE: NTS

**PLEASANT PRAIRIE STANDARD SAMPLING MANHOLE** DETAIL: SAN - 2

CREATED: 11-21-12 APPROVED BY: MATT FINEOUR

REVISED: 11-10-15



SCALE: NTS

**PLEASANT PRAIRIE PUMPER PAD FDC DETAIL** DETAIL: FD - 1

CREATED: 4-16-13 APPROVED BY: D. McELMURY

REVISED: 3-2-16

FOR REVIEW ONLY CONSTRUCTION DETAILS www.pinnacle-engr.com



01 VIEW LOOKING NORTH EAST



02 VIEW LOOKING NORTH EAST



03 VIEW LOOKING NORTH EAST



04 VIEW LOOKING SOUTH EAST



05 VIEW LOOKING SOUTH WEST



AERIAL IMAGE - LOT 40

REVIEWS

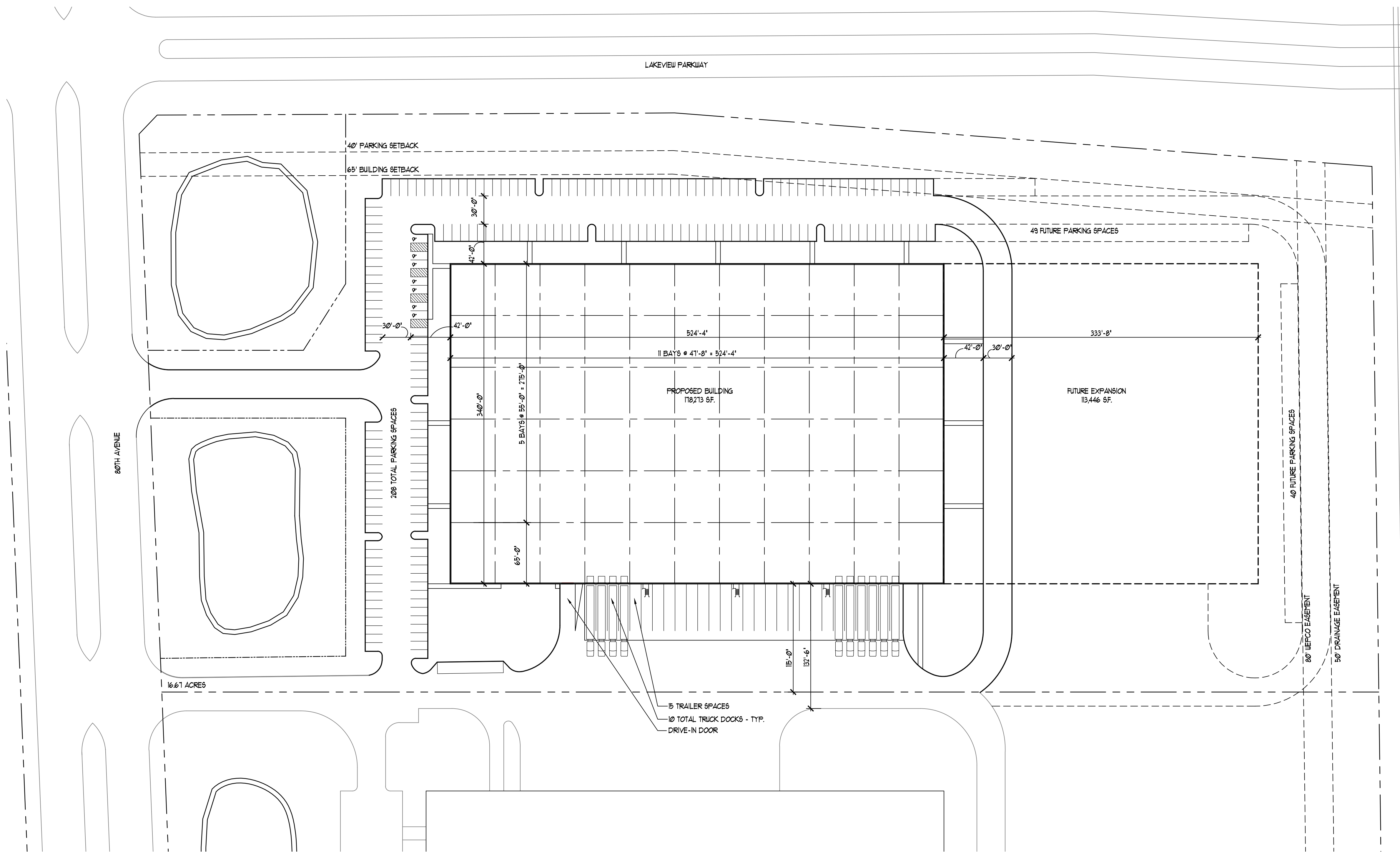
DOHENY ENTERPRISES INC.  
 Lot 40, Lakeview Corp. Park, Pleasant Prairie, WI  
 SITE PHOTOS

2610 LAKE COOK ROAD  
 Suite 200  
 Riverwoods, IL 60015  
 Ph: (847) 940-0300  
 Fax: (847) 940-1045

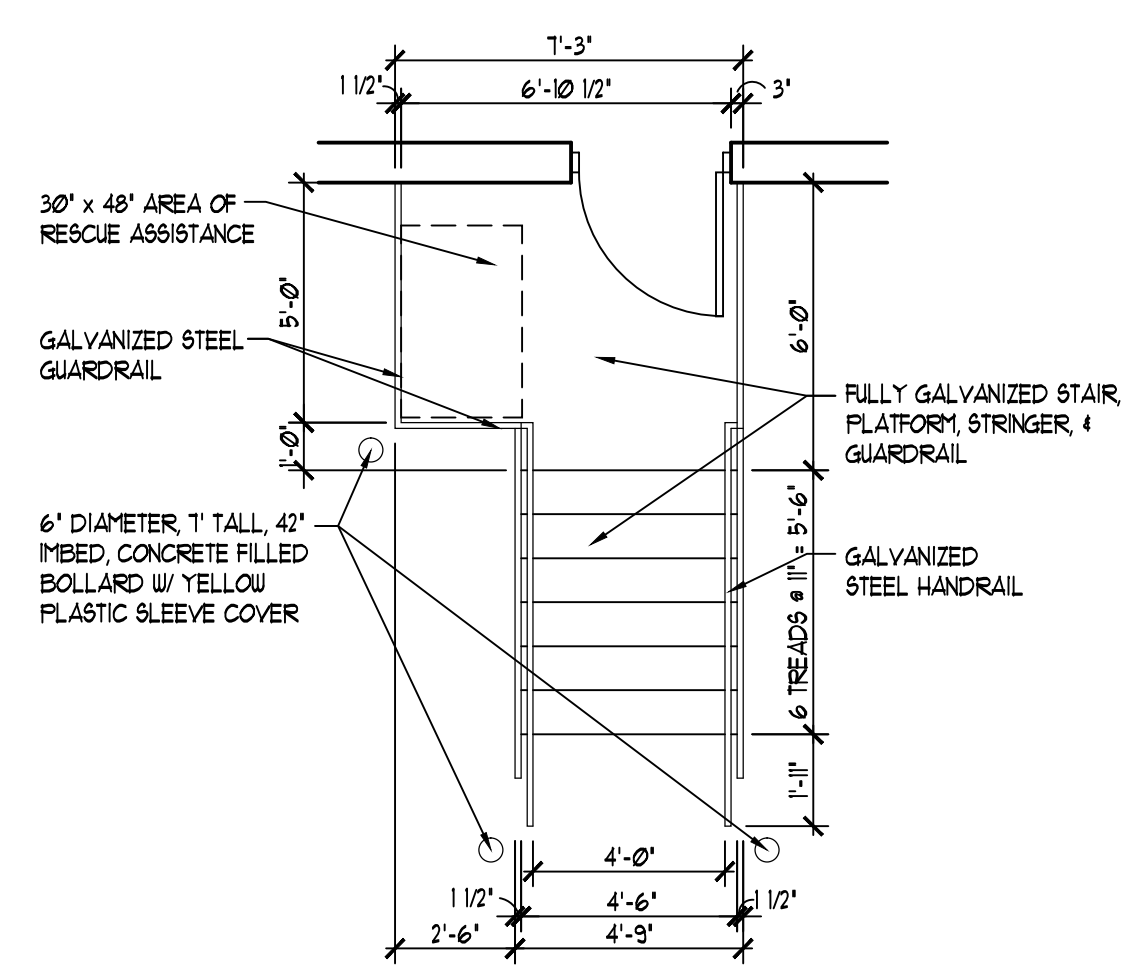
**Partners in Design**  
 ARCHITECTS

PROJECT NO:  
**53509034**  
 DRAWN BY: LEK  
 CHECKED BY: UHB  
 DATE: 01.18.16

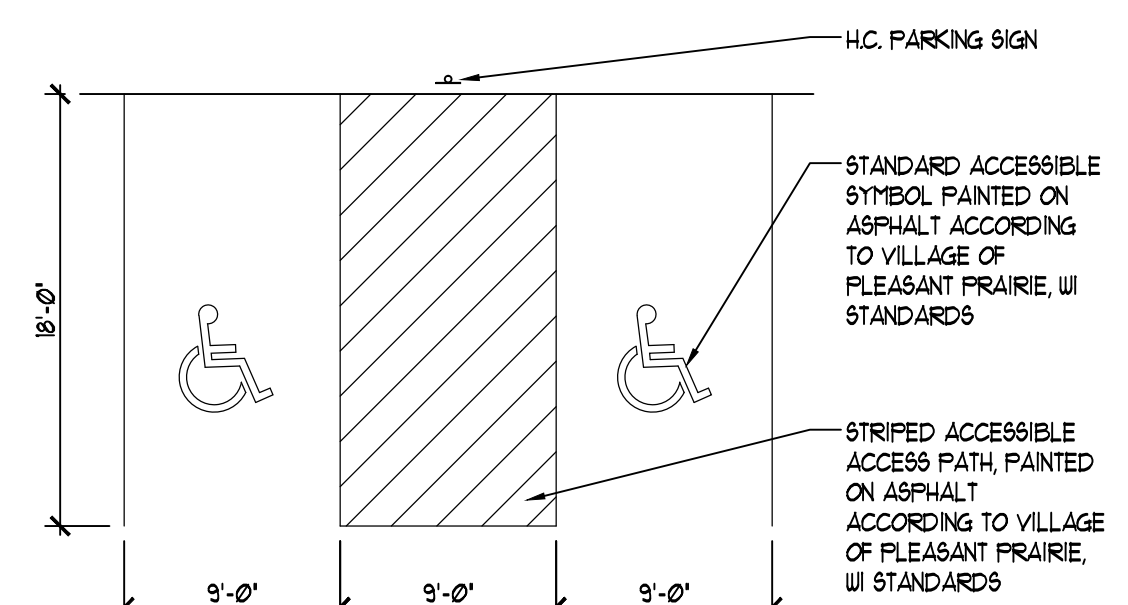
SHEET NO:  
**A0.1**



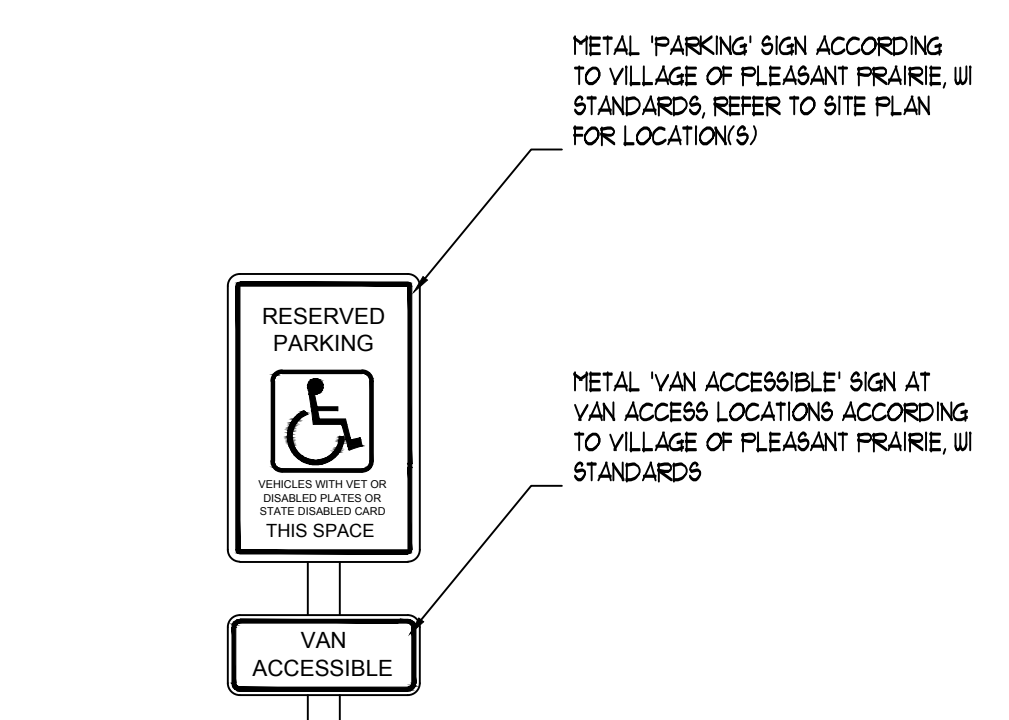
1 PROPOSED SITE PLAN  
A1.0 1" = 60'-0"



2 TYP. EXIT STAIR PLAN  
A1.1 1/4" = 1'-0"



3 TYP. H.C. PARKING STALL  
A1.1 1/8" = 1'-0"



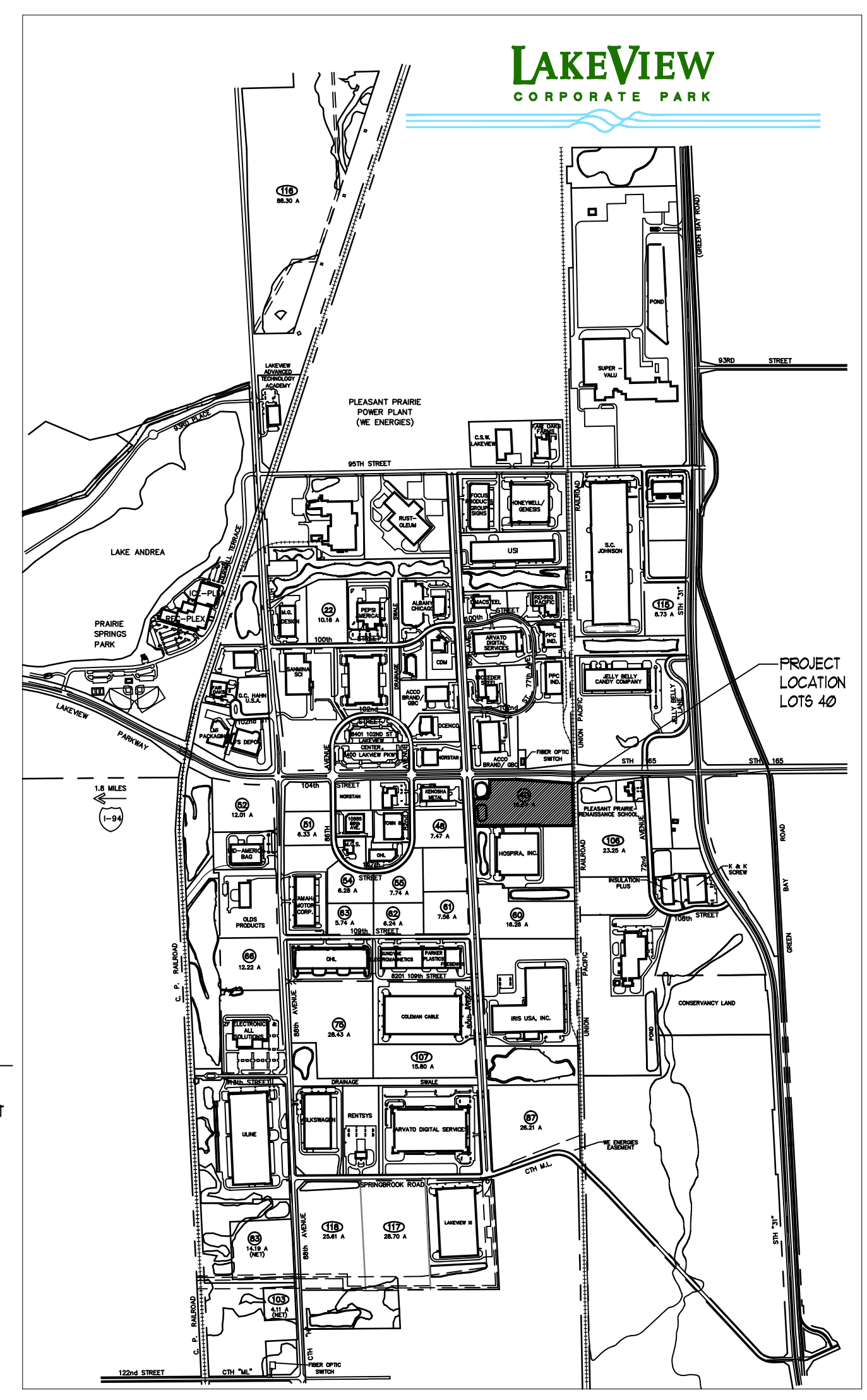
4 H.C. PARKING SIGN  
A1.1 1" = 1'-0"

GENERAL SITE NOTES:

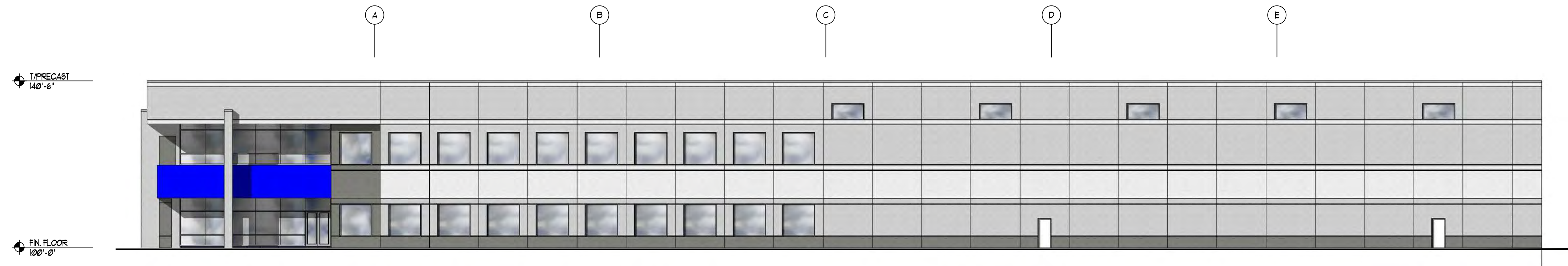
- ALL SITE LIGHTING SHALL BE DIRECTED DOWNWARDS AND SHALL NOT GLARE ONTO ADJACENT PROPERTIES OR PUBLIC ROADWAYS.
- TRUCKS/TRAILERS PARKED OUTSIDE OF THE FACILITY SHALL NOT BE USED AS A MEANS OF ADDITIONAL STORAGE AND/OR WAREHOUSING SPACE, EXCEPT FOR THOSE TRUCKS/TRAILERS THAT HAVE BEEN LOADED AND ARE AWAITING PENDING DELIVERY OR THOSE THAT ARE IN QUEUE AND ARE AWAITING PENDING UNLOADING PROCEDURES.
- AT NO TIME SHALL THERE BE ANY OUTDOOR STORAGE OF PALLETS (WOODEN, PLASTIC, OR METAL), RECYCLING MATERIALS, GARBAGE, LANDSCAPING EQUIPMENT OR LANDSCAPE MATERIALS, ETC.
- PROJECT PARCEL IS ZONED M-2, GENERAL MANUFACTURING DISTRICT.
- THE LOCATION OF ALL CONSTRUCTION TRAILERS PARKED ON THE SITE DURING CONSTRUCTION ACTIVITIES SHALL BE APPROVED BY THE VILLAGE OF PLEASANT PRAIRIE. NO CONSTRUCTION TRAILERS SHALL BE PARKED IN VILLAGE, COUNTY, OR STATE RIGHTS-OF-WAY. ALL CONSTRUCTION RELATED SIGNAGE SHALL BE APPROVED AND PERMITTED BY THE VILLAGE.
- THERE SHALL BE NO CUSTOMER OR EMPLOYEE PARKING PERMITTED ON 80TH AVENUE OR SPRINGBROOK ROAD.
- DUMPSTER/RECYCLING CONTAINERS ARE NOT SHOWN ON PROPOSED SITE PLAN AT THIS TIME. THE LOCATION(S) OF SUCH IS TO BE DETERMINED WHEN A TENANT IS OBTAINED AND WILL FOLLOW ALL VILLAGE ORDINANCES. THE LOCATION SHALL BE APPROVED BY THE ZONING ADMINISTRATOR. THE DUMPSTER/RECYCLING AREAS SHALL BE FULLY SCREENED FROM THE PUBLIC VIEW AND ADJACENT HIGHWAY/ROADWAYS.
- IF/WHEN ANY FUTURE PARKING LOT EXPANSIONS OCCUR, PERMITS FROM THE VILLAGE WILL BE REQUIRED AND THE EXPANSION PARKING AREAS, AS WELL AS THE ASSOCIATED MANEUVERING LANES, SHALL INCORPORATE VERTICAL CONCRETE CURB & GUTTER.
- MUNICIPAL UTILITIES SHALL NOT BE BURIED UNDER EARTH BERMS OR TREE LANDSCAPING.

PROJECT DEVELOPMENT DATA:

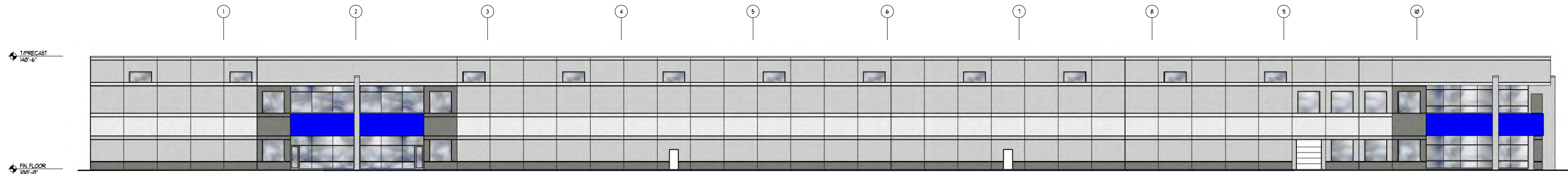
PROPOSED LAKEVIEW LOT 40:	
SITE ZONING:	M-2, GENERAL MANUFACTURING DISTRICT
SITE AREA:	16.61 ACRES (116,145 SF.)
BUILDING AREA:	18,773 SF.
BLDG. COVERAGE RATIO:	
BUILDING IMPERVIOUS AREA:	18,773 SF.
ALL OTHER IMPERVIOUS AREA:	31,703 SF.
TOTAL IMPERVIOUS AREA:	450,065 SF.
TOTAL IMPERVIOUS PERCENTAGE:	6.13%
GREENSPACE COVERAGE RATIO:	
TOTAL LANDSCAPED AREA:	236,000 SF.
TOTAL LANDSCAPED PERCENTAGE:	32.3%
PARKING:	
TOTAL CAR SPACES (INCLUDING HANDICAPPED):	208 SPACES
TOTAL TRUCK/DOCK SPACES:	25 DOCK LOCATIONS



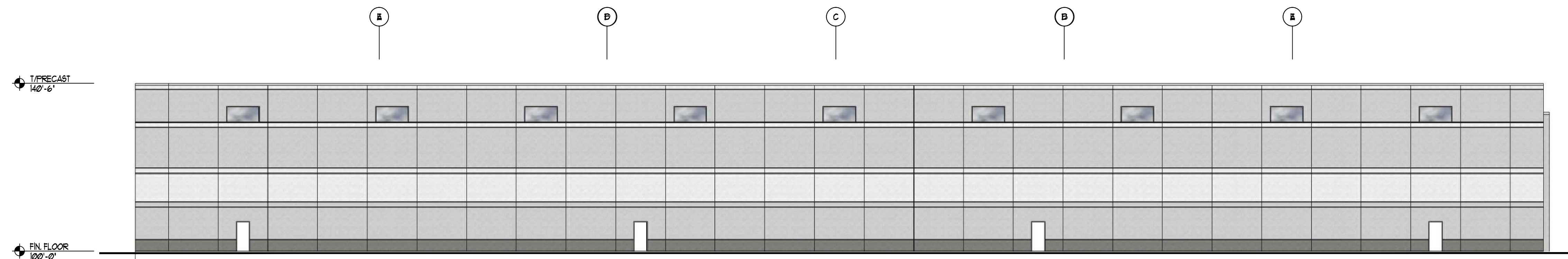
LOCATION PLAN  
NOT TO SCALE



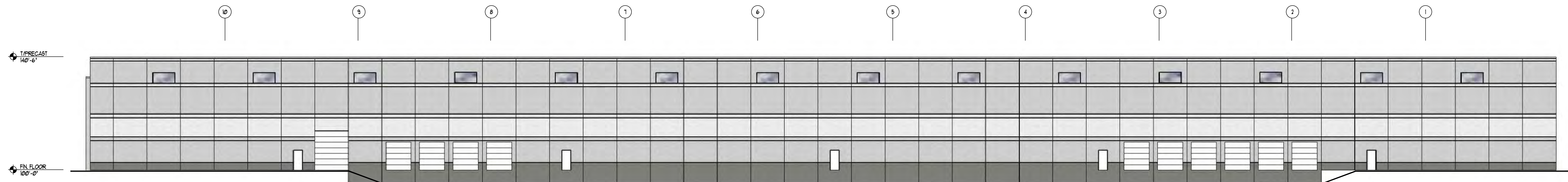
1 WEST ELEVATION  
A4.1 1/16" = 1'-0"



2 NORTH ELEVATION  
A4.1 1/16" = 1'-0"



3 EAST ELEVATION  
A4.1 1/16" = 1'-0"



4 SOUTH ELEVATION  
A4.1 1/16" = 1'-0"



Filed \_\_\_\_\_ 20\_\_  
 Fee Paid \_\_\_\_\_ 20\_\_  
 PC Meeting Date \_\_\_\_\_ 20\_\_  
 VB Meeting Date \_\_\_\_\_ 20\_\_  
 Approved \_\_\_\_\_ 20\_\_  
 Denied \_\_\_\_\_ 20\_\_

**VILLAGE OF PLEASANT PRAIRIE  
 CERTIFIED SURVEY MAP APPLICATION**

To: Village Plan Commission & Village Board of Trustees of the Village of Pleasant Prairie:

I, (We), the undersigned owner(s)/agent do hereby petition the Village Board to amend the Village of Pleasant Prairie Zoning Map as hereinafter requested.

It is petitioned that the following described property be subdivided with a Certified Survey Map (CSM)

The property petitioned to be subdivided is located at: Southeast corner of 80th Ave. and STH 165  
 and is legally described as follows: See attached CSM

Tax Parcel Number(s): 92-4-122-281-0258

- The property abuts or adjoins a State Trunk Highway  Yes  No
- The property abuts or adjoins a County Trunk Highway  Yes  No
- Municipal Sanitary Sewer is available to service said properties  Yes  No
- Municipal Water is available to service said properties  Yes  No

I (We), have contacted the Community Development Department to arrange a pre-application meeting to discuss the proposed request with the Village staff to determine additional information that may be needed to consider the request.

I, (We), hereby certify that all the above statements and attachments submitted herewith are true and correct to the best of my knowledge.

**PROPERTY OWNER:**

Print Name: John Doheny, Doheny Enterprises, Inc.  
 Signature: [Signature]  
 Address: 6950 51st St.  
Kenosha, WI 53144  
 (City) (State) (Zip)  
 Phone: 262-366-6460  
 Fax: \_\_\_\_\_  
 Date: \_\_\_\_\_

**OWNER'S AGENT:**

Print Name: Matt Carey, Pinnacle Engineering Group  
 Signature: [Signature]  
 Address: 15850 W. Bluemound Road, STE 210  
Brookfield, WI 53005  
 (City) (State) (Zip)  
 Phone: 262-754-8888  
 Fax: 262-754-8850  
 Date: 8/11/16



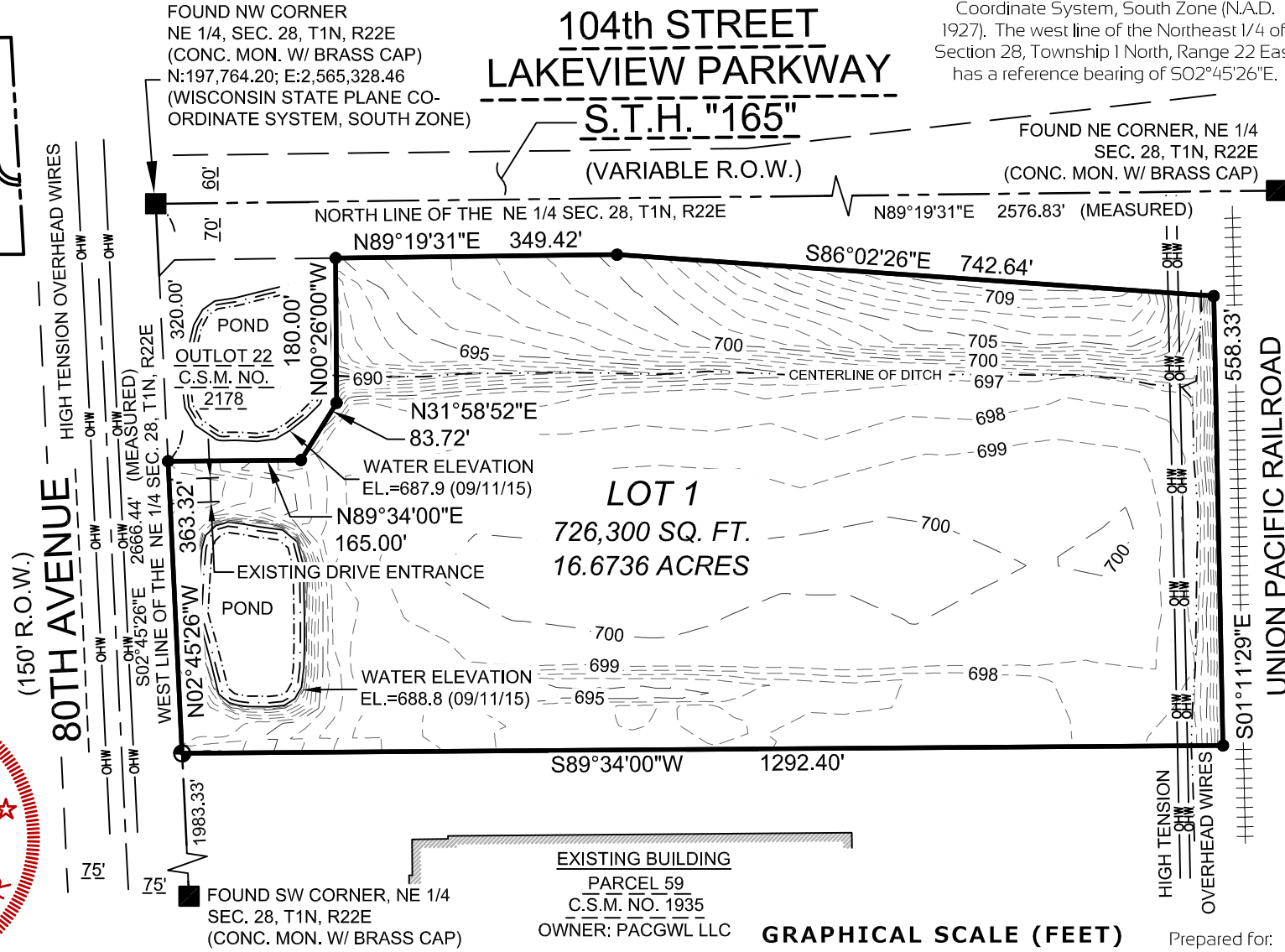
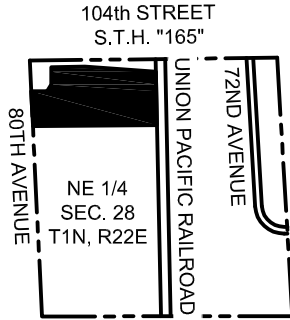
# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

Being a revision of Parcel 58 of Certified Survey Map No. 2178, being a part of the Northwest 1/4 of the Northeast 1/4 of Section 28, Town 1 North, Range 22 East, in the Village of Pleasant Prairie, County of Kenosha, State of Wisconsin.



AUGUST 12, 2016

## VICINITY SKETCH SCALE 1"=2000'



Subject Property  
Zoning: M2 General Manufacturing District  
Tax Key Number: 92-4-122-281-0258

Bearings refer to the Wisconsin State Plane Coordinate System, South Zone (N.A.D. 1927). The west line of the Northeast 1/4 of Section 28, Township 1 North, Range 22 East has a reference bearing of S02°45'26"E.

**NOTES:**

- Outlot 22 of Certified Survey Map No. 2178 owned by: LAKEVIEW CORPORATE PARK OWNERS ASSOCIATION INC.
- Vertical Datum: National Geodetic Vertical Datum of 1929 (NGVD29). Contours are shown at a 1' interval based on actual ground survey of the current ground terrain. Reference Benchmark: Concrete monument with brass cap at the northwest corner of the Northeast 1/4 Section 28, Town 1 North, Range 22 East, Elevation = 690.73.
- Flood Zone Classification: The property lies with in Zone "X" of the Flood Insurance Rate Map Community Panel No. 55059CO194D with an effective date of JUNE 19, 2012.
- All measurements have been made to the nearest one-hundredth of a foot and all angular measurements have been made to the nearest one second.

Prepared By:  
**PINNACLE ENGINEERING GROUP**  
15850 BLUEMOUND ROAD 1 SUITE 210  
BROOKFIELD, WI 53005  
OFFICE: (262) 754-8888



# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

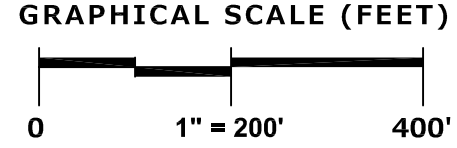
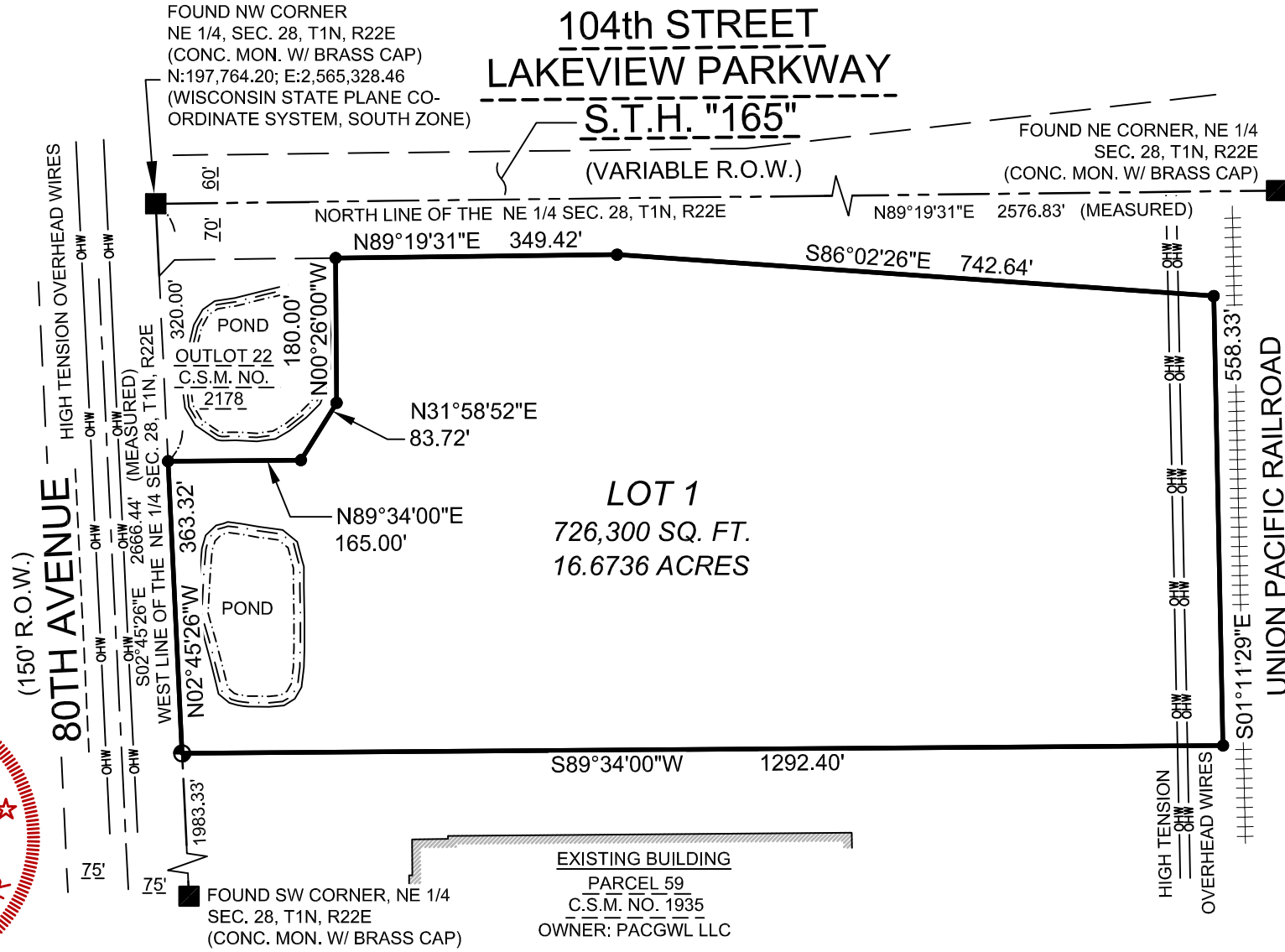
Being a revision of Parcel 58 of Certified Survey Map No. 2178, being a part of the Northwest 1/4 of the Northeast 1/4 of Section 28, Town 1 North, Range 22 East, in the Village of Pleasant Prairie, County of Kenosha, State of Wisconsin.



AUGUST 12, 2016



## PROPOSED EASEMENTS



- LEGEND:**
- - Denotes Found Capped 3/4" Iron Rod.
  - - Denotes Set 3/4" X 18" Iron Rebar, 1.5 LBS./FT.
  - ⊕ - Denotes Found Mag Nail.

Prepared By:  
**PINNACLE ENGINEERING GROUP**  
15850 BLUEMOUND ROAD 1 SUITE 210  
BROOKFIELD, WI 53005  
OFFICE: (262) 754-8888

# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

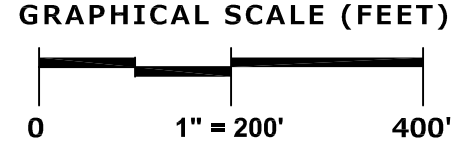
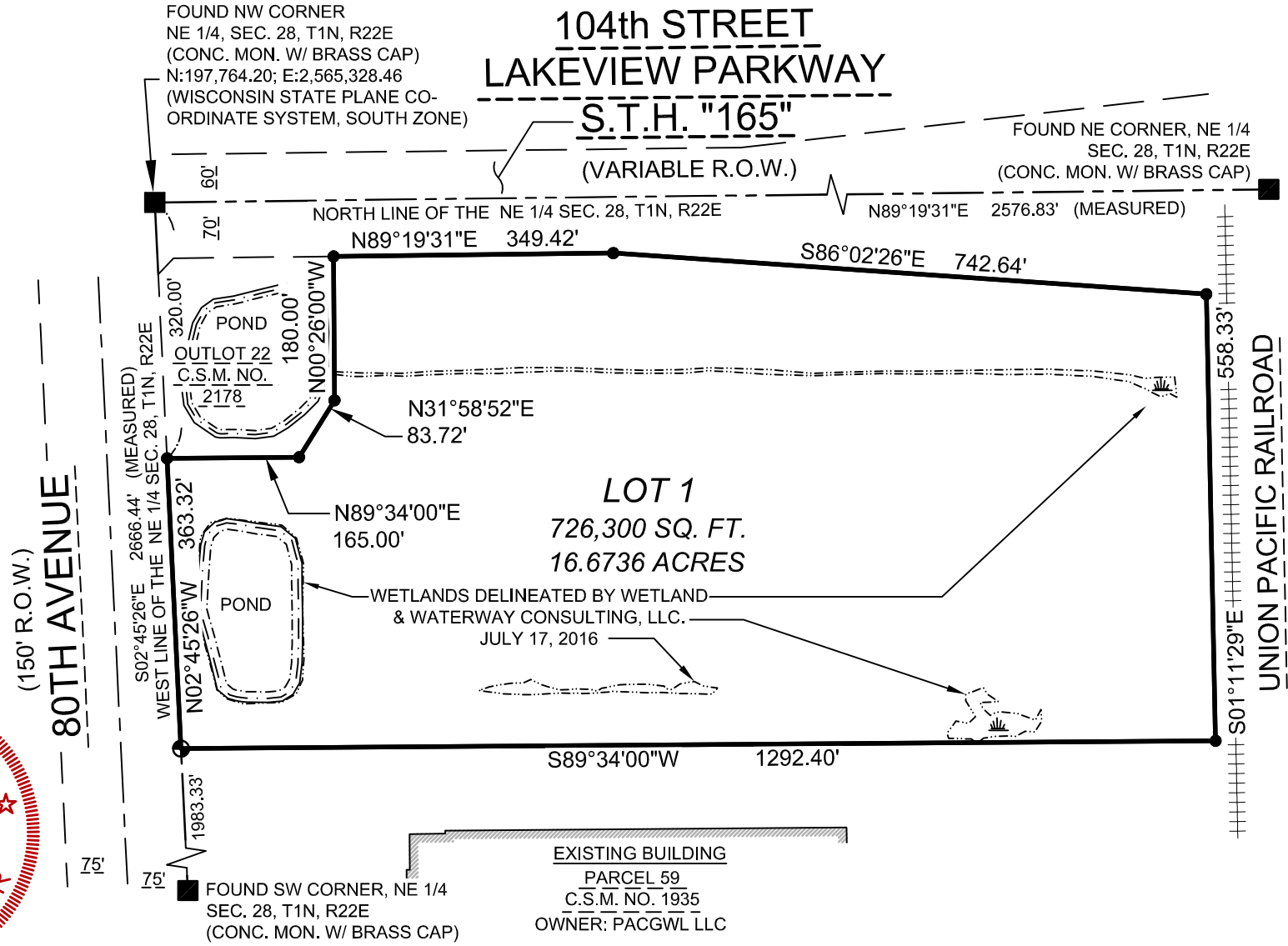
Being a revision of Parcel 58 of Certified Survey Map No. 2178, being a part of the Northwest 1/4 of the Northeast 1/4 of Section 28, Town 1 North, Range 22 East, in the Village of Pleasant Prairie, County of Kenosha, State of Wisconsin.



## WETLANDS

**NOTE:**  
- Wetlands delineated by Wetland & Waterway Consulting, LLC on July 17, 2016.

AUGUST 12, 2016



- LEGEND:**
- - Denotes Found Capped 3/4" Iron Rod.
  - - Denotes Set 3/4" X 18" Iron Rebar, 1.5 LBS./FT.
  - ⊕ - Denotes Found Mag Nail.

Prepared By:  
**PINNACLE ENGINEERING GROUP**  
15850 BLUEMOUND ROAD 1 SUITE 210  
BROOKFIELD, WI 53005  
OFFICE: (262) 754-8888

# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

Being a redivision of Parcel 58 of Certified Survey Map No. 2178, being a part of the Northwest 1/4 of the Northeast 1/4 of Section 28, Town 1 North, Range 22 East, in the Village of Pleasant Prairie, County of Kenosha, State of Wisconsin.

## SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN)  
WAUKESHA COUNTY) SS

I, John P. Konopacki, Professional Land Surveyor, do hereby certify:

That I have surveyed, mapped and redivided Parcel 58 of Certified Survey Map No. 2178, recorded in the Kenosha County Register of Deeds office on March 29, 2000, as Document No. 1177146, being a redivision of Parcel 58 of Certified Survey Map No. 1935, in the Northwest 1/4 of the Northeast 1/4 of Section 28, Town 1 North, Range 22 East, Village of Pleasant Prairie, Kenosha County, Wisconsin, which is bounded and described as follows:

Commencing at the northwest corner of said Northeast 1/4 of Section 28;

Thence South 02°45'26" East along the west line of said Northeast 1/4 and the east right of way line of 80th Avenue, 320.00 feet to the Point of Beginning;

Thence North 89°34'00" East along the south line of Outlot 22 of Certified Survey Map No. 2178, 165.00 feet;

Thence North 31°58'52" East along the east line of said Outlot 22, 83.72 feet;

Thence North 00°26'00" West along said east line, 180.00 feet to the south right of way line of 104th Street - Lakeview Parkway - State Trunk Highway "165";

Thence North 89°19'31" East along said south right of way line, 349.42 feet;

Thence South 86°02'26" East along said south right of way line, 742.64 feet to the west line of the Union Pacific Railroad;

Thence South 01°11'29" East along said west line, 558.33 feet to the north line of Parcel 59 of Certified Survey Map No. 1935;

Thence South 89°34'00" West along said north line, 1292.40 feet to the aforesaid west line of the Northeast 1/4 of Section 28 and the east right of way line of 80th Avenue;

Thence North 02°45'26" West along said east right of way line, 363.32 feet to the Point of Beginning.

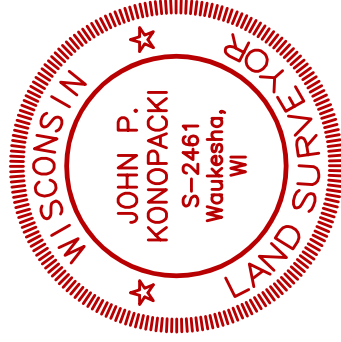
Containing 726,300 Square Feet (16.6736 Acres) land more or less.

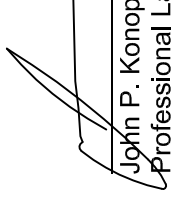
That I have made such survey, land division and map by the direction of Doheny Enterprises, Inc., owner of said land.

That such plat is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

That I have fully complied with the requirements of Chapter 236 of the Wisconsin State Statutes and the Village of Pleasant Prairie Land Division Ordinance in surveying, mapping and dividing the same.

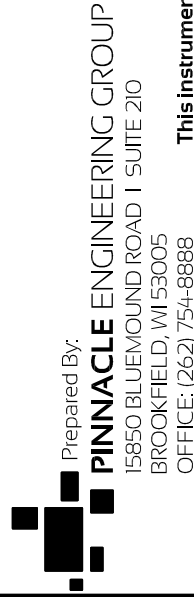
Date: AUGUST 12, 2016



  
John P. Konopacki  
Professional Land Surveyor S-2461

## WISCONSIN DEPARTMENT OF TRANSPORTATION HIGHWAY TRANS 233 NOTES:

1. Setback Notes: There shall be no improvements or structures placed between the highway and the setback line.
2. Access Notes: As owner I hereby restrict all lots and blocks, in that no owner, possessor, user, nor licensee, nor other person shall have any right of direct vehicular ingress or egress with STH - "165", as shown on the plat; it being expressly intended that this restriction shall constitute a restriction for the benefit of the public according to §236.293, Stats., and shall be enforceable by the Department of Transportation.
3. Noise Notes: The lots of this land division may experience noise at the levels exceeding the levels in sTrans 405.04, Table I. These levels are based on federal standards. The Department of Transportation is not responsible for abating noise from existing state trunk highways or connecting highways, in the absence of any increase by the Department to the highway's through-lane capacity.



Prepared By:

**PINNACLE ENGINEERING GROUP**

15850 BLUEMOUND ROAD 1 SUITE 210

BROOKFIELD, WI 53005

OFFICE: (262) 754-8888

This instrument drafted by **John P. Konopacki, PLS-License No. S-2461**

PEG JOB#5559.00  
SHEET 5 OF 7

# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

Being a redivision of Parcel 58 of Certified Survey Map No. 2178, being a part of the Northwest 1/4 of the Northeast 1/4 of Section 28, Town 1 North, Range 22 East, in the Village of Pleasant Prairie, County of Kenosha, State of Wisconsin.

The following "Dedication of Easement Provisions" and "Restrictive Covenants" were drafted by the Village of Pleasant Prairie and is shown heron as a condition of map approval. Inclusion thereof on this document is not to be considered practicing law in the State of Wisconsin by the above signed Land Surveyor, the Land Surveyor is not responsible for rights granted, perceived or otherwise stated herein.

## DEDICATIONS and EASEMENTS :

### 1. DEDICATED WETLAND PRESERVATION AND PROTECTION, ACCESS AND MAINTENANCE EASEMENT

A nonexclusive easement coextensive with the area shown as a Wetland Preservation and Protection, Access and Maintenance Easement area within Lot 1 on this CSM is hereby dedicated, given, granted and conveyed by the Owner to the Village for wetland protection and preservation and maintenance purposes and uses and for related ingress and egress. Unless the Village exercises the rights granted to it pursuant to this easement, the Village shall have no obligation to do anything related to its rights under this easement.

## RESTRICTIVE COVENANTS :

1. The Owner hereby covenants that the Lot 1 Owner shall have the obligation of protecting and preserving the Wetland Preservation and Protection, Access and Maintenance Easement areas shown on Lot 1 of this CSM. Such preservation and maintenance shall include without limitation and as needed, removing of dead, dying or decayed trees, plant material or evasive species; re-planting wetland plant life as approved by the Village and the Wisconsin Department of Natural Resources; and removing of trash and debris in order to prevent a nuisance condition. No mowing or cutting of the wetland vegetation shall be allowed without the permission of the Village. No buildings, signage or fences shall be erected within the Wetland Preservation and Protection, Access and Maintenance Easement which may cause damage to the wetland area. The covenant shall run with the land and shall be binding upon the Owner of Lot 1 of this CSM, their successors, assigns and successors-in-title of the lands, in their capacity as Owners of such land, and shall benefit and be enforceable by the Village. The Owner of Lot 1 of this CSM shall perform such maintenance as may be needed, without compensation and to the satisfaction of the Village. This covenant will not restrict or prohibit the Owner of Lot 1 on this CSM from seeking and obtaining the required permits and approvals from the appropriate federal or State agencies having jurisdiction to fill or adjust the wetland areas on Lot 1 insofar as the appropriate permits and approvals are obtained from the federal, State and Village agencies prior to commencing any wetland disturbing or fill activities.

To the extent that the Village performs any such wetland related maintenance activities on behalf of the landowner, the Owner of Lot 1 shall be liable for any costs which may be incurred by the Village, which the Village may recover from such Owner as special assessments or special charges under Section 66.0627 (or successors and assigns or other similar provisions) of the Wisconsin Statutes or otherwise according to law. Unless the Village exercises the rights granted to it in the Dedication and Easement Provisions as referenced on this CSM, the Village shall have no obligation to do anything pursuant to its rights under the easement dedications.

## CONSENT OF CORPORATE MORTGAGEE

\_\_\_\_\_, a corporation duly organized and existing under and by virtue of the laws of the State of \_\_\_\_\_, mortgagee of the described land, does hereby consent to the surveying, dividing and mapping of the land described in the forgoing affidavit of John P. Konopacki, surveyor, and does hereby consent to the certification of owner.

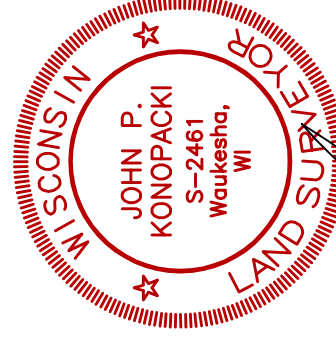
IN WITNESS WHEREOF, the said \_\_\_\_\_, has caused these presents to be signed by \_\_\_\_\_, its President, and its corporate seal to be hereunto affixed this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

\_\_\_\_\_  
Date \_\_\_\_\_ President

STATE OF WISCONSIN) \_\_\_\_\_ COUNTY) 55

Personally came before me this \_\_\_\_\_ day of \_\_\_\_\_, 2016, \_\_\_\_\_, to me known to be the person who executed the foregoing instrument and to me known to be such officer of said corporation and acknowledged the same.

Notary Public  
Name: \_\_\_\_\_  
State of Wisconsin \_\_\_\_\_  
My Commission Expires: \_\_\_\_\_



Prepared By:

**PINNACLE ENGINEERING GROUP**

15850 BLUEMOUND ROAD 1 SUITE 210

BROOKFIELD, WI 53005

OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

AUGUST 12, 2016

PEG JOB#559.00

SHEET 6 OF 7

# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

Being a redivision of Parcel 58 of Certified Survey Map No. 2178, being a part of the Northwest 1/4 of the Northeast 1/4 of Section 28, Town 1 North, Range 22 East, in the Village of Pleasant Prairie, County of Kenosha, State of Wisconsin.

## PLAN COMMISSION APPROVAL

Approved by the Plan Commission of the Village of Pleasant Prairie on this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

Date \_\_\_\_\_

Thomas W. Terwall, Chairman

## VILLAGE BOARD APPROVAL

Approved by the Village Board of the Village of Pleasant Prairie, Wisconsin, on this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

Date \_\_\_\_\_

John P. Steinbrink, Village President

Date \_\_\_\_\_

Jane M. Romanowski, Village Clerk

## OWNER'S CERTIFICATE

Doheny Enterprises, Inc., a corporation duly organized and existing under and by virtue of the laws of the State of \_\_\_\_\_, as owner, does hereby certify that said corporation caused the land described on this certified survey map to be surveyed, divided and mapped as represented on this certified survey map.

Doheny Enterprises, Inc., as owner, does further certify that this certified survey map is required by Chapter 236 of the Wisconsin State Statutes to be submitted to the following for approval or objection:

1. Village of Pleasant Prairie

IN WITNESS WHEREOF, the said Doheny Enterprises, Inc. has caused these presents to be signed by (name) \_\_\_\_\_, (title) \_\_\_\_\_, at \_\_\_\_\_, on this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

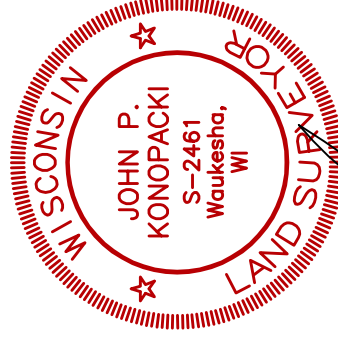
In the presence of: Doheny Enterprises, Inc.

Name - Title \_\_\_\_\_

STATE OF \_\_\_\_\_ COUNTY ) SS

Personally came before me this \_\_\_\_\_ day of \_\_\_\_\_, 2016, (name) \_\_\_\_\_, (title) \_\_\_\_\_ and to me known to be such \_\_\_\_\_ of the above named corporation, to me known to be the person who executed the foregoing instrument as such officer as the deed of said corporation, and acknowledged that they executed the foregoing instrument by its authority.

Notary Public  
Name: \_\_\_\_\_  
State of \_\_\_\_\_  
My Commission Expires: \_\_\_\_\_



Prepared By:

**PINNACLE ENGINEERING GROUP**

15850 BLUEMOUND ROAD 1 SUITE 210

BROOKFIELD, WI 53005

OFFICE: (262) 754-8888

JULY 13, 2016

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

PEG JOB#5559.00

SHEET 7 OF 7

- C. Consider the request of Paul Schmitter, agent for CenterPoint WisPark Land Company LLC, owner of the vacant property generally located on the east side of 80<sup>th</sup> Avenue and north of Springbrook Road for **time extension related to the conditionally approved Site and Operational Plans** for the construction of a 417,384 square foot speculative industrial building and related site improvements.

**Recommendation:**

Village staff recommends that the Plan Commission grant a one (1) year extension (until September 14, 2017) of the Site and Operational Plans conditional approval for the proposed speculative building subject to compliance with the April 1, 2016 approval letter and compliance with any Village Ordinance amendments made since the original approval.



## VILLAGE STAFF REPORT OF AUGUST 22, 2016

Consider the request of Paul Schmitter, agent for CenterPoint WisPark Land Company LLC, owner of the vacant property generally located on the east side of 80<sup>th</sup> Avenue and north of Springbrook Road for **time extension related to the conditionally approved Site and Operational Plans** for the construction of a 417,384 square foot speculative industrial building and related site improvements.

*On March 14, 2016 the Plan Commission conditionally approved Site and Operational Plans for the petitioner to develop the vacant parcel located on the east side of 80<sup>th</sup> Avenue and north of Springbrook Road with the construction of a 417,384 square foot speculative industrial building.*

The petitioner has been working with the Wisconsin Department of Natural Resources (DNR) and the Army Corps of Engineers (ACOE) to obtain a permit to fill a small wetland area of the site. While the petitioner has recently obtained approval of the ACOE and they are awaiting approval from the DNR. Therefore the petitioner is requesting an extension to satisfy the conditional Village approval and obtain the required building permits.

**Recommendation:** Village staff recommends that the Plan Commission grant a one (1) year extension (until September 14, 2017) of the Site and Operational Plans for the proposed speculative building subject to compliance with the April 1, 2016 approval letter and compliance with any Village Ordinance amendments made since the original approval.



**CenterPoint Properties®**

August 3, 2016

Jean Werbie-Harris  
Village of Pleasant Prairie  
9915 39<sup>th</sup> Avenue  
Pleasant Prairie, WI 53158

Re: LakeView lot #87

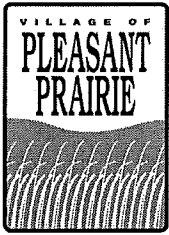
Jean,

Included with this letter is a check for \$100.00. I would formally like to request that the Site and Operational plans that were conditionally approved on March 14<sup>th</sup> be extended. I believe this item can be scheduled for the September 12<sup>th</sup> plan commission meeting. We have received approval from the Army Corps of Engineers, however, we are still working with the WI DNR to obtain their approval. This is the basis of the request.

Regards,

Paul Schmitter  
Development Manager

**RECEIVED**  
AUG 3 - 2016  
PLEASANT PRAIRIE



Office of the Community  
Development Director  
**Jean M. Werbie-Harris**

**VIA EMAIL**

April 1, 2016

Mr. Paul Schmitter  
CenterPoint WisPark Land Company LLC  
6750 W Washington Street  
West Allis, WI 53214

Dear Mr. Schmitter:

The purpose of this letter is to inform you that on March 14, 2016 the Village Plan Commission conditionally approved the **Site and Operational Plans** for the construction of a 417,384 square foot speculative industrial building (LakeView 18, a/k/a Lot 87) and related site improvements on the vacant properties generally located on the east side of 80<sup>th</sup> Avenue and north of Springbrook Road in the Village and further identified as Tax Parcel Numbers 92-4-122-284-0310 and 92-4-122-284-0320.

In addition, on March 21, 2016 the Village Board conditionally approved a **Development Agreement and related documents** for the proposed public improvements in 80<sup>th</sup> Avenue for the aforementioned development subject to compliance with the following conditions:

1. The application fee of \$825 to prepare the required Development Agreement shall be submitted.
2. CenterPoint will be financially responsible for costs associated with the relocation and coordination of the Required Public Improvements pursuant to the Village approved Plans which include: relocating the 80<sup>th</sup> Avenue median and road and curb/gutter repair; moving or relocating the southern access driveway to 80<sup>th</sup> Avenue for the Arvato tenant (Tax Parcel Number 92-4-122-283-0210), relocating one (1) 80<sup>th</sup> Avenue public street light and abandoning and capping unused water service(s) at the main and water service connection(s) and its related road repair in 80<sup>th</sup> Avenue. The revised plans will include these improvements for review.
3. The following shall be submitted and will be exhibits of the Development Agreement:
  - a. Three (3) paper copies and a pdf copy of the Final Engineering Plans, Profiles and Specifications subject to the changes and corrections of the conditional approval of the Site and Operational Plans (as noted below in this letter).
  - b. Ownership Documents.
  - c. A copy of the signed contract(s), certificate of insurance, and performance and payment bond. The contract(s) shall have the Developer's name as shown on the title of the property. The certificates of insurance shall also list the Village of Pleasant Prairie as an insured party. **All contractors for this work in 80<sup>th</sup> Avenue are required to be Village pre-approved contractors.**
  - d. A Policy of Title Commitment equal to the cost of public improvements.
  - e. Three (3) paper copies and a pdf of the Work in the Right-of-Way application, plans and related application fee.
  - f. A "draft" LOC shall be provided to the Village for staff review. (See comment below related to the LOC.)

- g. Final Development Agreement (see **attached** draft)
2. A one year minimum Irrevocable Letter of Credit (LOC) to the Village, in the amount of 115% of the total cost of the Required Public Improvements, including the Required Public Improvements pursuant to the Village approved Plans which include: relocating the 80<sup>th</sup> Avenue median and road and curb/gutter repair; moving or relocating the southern access driveway to 80<sup>th</sup> Avenue for the Arvato tenant (Tax Parcel Number 92-4-122-283-0210), relocating one (1) 80<sup>th</sup> Avenue public street light and abandoning and capping unused water service(s) at the main and water service connection(s) and its related road repair in 80<sup>th</sup> Avenue. The Itemized Cost Breakdown Exhibit will be prepared by the Village staff to determine the amount of the Letter of Credit and the cash payments. *IMPORTANT: A draft Letter of Credit equal to the cost breakdown analysis (need to verify proper format and dollar amount of Letter of Credit prior to submitting the Original Letter of Credit.* The Cash payments and the "Final" LOC shall be provided prior to the Village at the closing.
3. **Prior to public or private work commencing, the Village shall host a closing with the Developer to execute all documents and to receive the letter of credit. In addition a pre-construction meeting, which includes contractors shall be scheduled (contact the CD Department –Jean Werbie-Harris for available dates) and held at the Village Offices. The preconstruction meeting shall be moderated and minutes shall be taken by the Design Engineer of record. Minutes shall be distributed within 7 days. A sample agenda can be provided by the Village CD Department (Jean Werbie-Harris).**

**The Site and Operational Plans were conditionally approved subject to the following comments and conditions:**

**COMMENTS:**

At this time there is no identified user for this speculative building 417,384 square foot speculative warehouse and distribution building (LakeView XVIII). As information, any tenant that proposes to use/occupy 50% or more of this speculative building will require Site and Operational Plan approval from the Plan Commission. Also, depending on the use proposed, a Conditional Use Permit, along with Site and Operational Plan approval from the Plan Commission may be required.

The property is zoned M-2, General Manufacturing District. The M-2 District requires that the building meet the following minimum setback requirements:

- Street setback: 65 feet minimum from both 80<sup>th</sup> Avenue and 116<sup>th</sup> Street.
- Side setback: 45 feet minimum for all buildings.
- Wetland setback: 25 feet minimum [Note the wetland area is proposed to be filled, pending WI DNR and ACOE final approval].

The location of the parking lots, maneuvering lanes and the fire access lanes shall be setback a minimum 20 feet to property lines and 25 feet from the wetlands. [Note: the wetland area is proposed to be filled, pending WI DNR and ACOE final approval.]

The M-2 District requires that at minimum of 25% of the site be open space. The site provides 30.03% open space.

There will be one access to Springbrook Road (CTH ML) and two (2) access points to 80<sup>th</sup> Avenue. The northern access to 80<sup>th</sup> Avenue will align with an access to the west and the southern access to 80<sup>th</sup> Avenue will require the median in 80<sup>th</sup> Avenue to be relocated. A Development Agreement and Letter of Credit will be provided for the relocation of the median and the required public improvements. CenterPoint will be financially responsible for costs associated with the Required Public Improvements pursuant to the Village approved Plans which including: relocating the 80<sup>th</sup> Avenue median and road and curb/gutter repair; moving or relocating the southern access driveway to 80<sup>th</sup> Avenue for the Arvato tenant (Tax Parcel Number 92-4-122-283-0210), relocating one (1) 80<sup>th</sup> Avenue public street light and abandoning and capping unused water

service(s) at the main and water service connection(s) and its related road repair in 80<sup>th</sup> Avenue. The revised plans will include these improvements for review.

Long-range plans call for the extension of Springbrook Road (CTH ML) eastward to Green Bay Road. That extension could occur by: 1) the "straightening" (removal of the hump) in Springbrook Road (CTH ML) or 2) extending Springbrook Road (CTH ML) eastward from the existing northern "hump" in the road. Whichever Springbrook Road (CTH ML) roadway extension is chosen, the owner of this parcel needs to be aware that any future property site improvements as a result of the Springbrook Road (CTH ML) extension (e.g. driveway connections or adjustments to parking lots or docking areas, etc.) shall be completed at the sole cost of the then-property owner, unless other prior arrangements are made and agreed upon.

All parking areas and maneuvering lanes, fire lanes including the truck court, shall be improved with concrete vertical curb and gutter. The plan includes 215 parking spaces (including five (5) handicapped accessible spaces). A truck court faces south and provides for 42 dock locations with 166 trailer spaces. The two (2) properties (92-4-122-284-0310 and 92-4-122-284-0320) shall be combined into one (1) parcel prior to issuance of permits so that the parking lot meets setback requirements.

Pursuant to the Village Zoning Ordinance the minimum on-site parking spaces for a manufacturing use would require five (5) spaces plus one (1) space per employee on the largest shift and the required number of handicapped accessible parking spaces pursuant to the State Code. The minimum on-site parking spaces for a warehouse/distribution center is one (1) space for every two (2) employees during any 12-hour period and the required number of handicapped accessible parking spaces pursuant to the State Code. At the time the proposed use is known, adequate on-site parking shall be re-verified.

The project is tentatively planning to start construction in spring, 2016 and will be completed by January, 2017.

**CONDITIONS:**

1. **This approval is valid for six months (until September 14, 2016). Prior to the expiration of the approval all conditions of this approval shall be satisfied and permits shall be issued.**
2. The two (2) properties (92-4-122-284-0310 and 92-4-122-284-0320) shall be combined into one (1) parcel prior to issuance of permits. The **attached** lot combination form shall be completed and recorded to combine the two properties.
3. The plans have been reviewed for conformance with the Village Ordinances and generally accepted engineering practices and Village policies. Although the data has been reviewed, the design engineer is responsible for the thoroughness and accuracy of plans and supplemental data and for their compliance with all state and local codes, ordinances, and procedures. Modifications to the plans, etc. may be required should errors or changed conditions be found at a future date. **The following changes shall be made to the Site and Operational Plans and three (3) revised plans and a pdf copy shall be submitted for final staff review and approval prior to issuance of any permits to commence construction. In addition, these conditions shall be returned with a notation in the margin as to how/where each comment was addressed.**
  - a. The entire site shall incorporate vertical curb & gutter. (Revise all plans as applicable)
  - b. The "Trailer Parking Spaces" that face Springbrook Road (CTH ML) shall be screened (earth berms and landscaping) from view of Springbrook Road (CTH ML). ATC shall provide written approval for the placement of berms and additional plantings within their easement.
  - c. On Sheet C-6 the plantings adjacent to 80<sup>th</sup> Avenue shall be placed at 704-705 elevations.

- d. Note on Plans: Per Gary Sipsma at Kenosha County Highways, the location of the temporary driveway connection to CTH ML (Springbrook Road) is subject to a non-compensable elimination at such time that CTH ML is reconstructed with the railroad overpass. (See Kenosha County **attachment**).
  - e. Note on Plans: Design geometrics for the location of the temporary driveway to CTH ML shall be appropriate for truck turning movements. The temporary driveway width can be permitted to be 35 feet if permitted by Kenosha County.
  - f. Note on Plans: When CTH ML is reconstructed there shall be no direct driveway access to CTH ML (Springbrook Road).
  - g. On Sheet L-1 – If allowed by ATC provide additional berming/clustered plantings (pine trees to screen semi-truck headlights in the area identified as the snow storage area at the southeastern corner of the site. The snow can be pushed to the far southeastern corner of the site.
  - h. There shall be landscaping provided along the north property line of the site. Provide proposed locations of multiple locations for monument signage.
  - i. Although one sign location is shown - it is likely that additional signage will be installed on CTH ML temporary entrance and northerly 80th Avenue entrance.
  - j. Provide size, area and material details for the main monument sign when information is known about the tenant(s). Two (2) primary and one (1) secondary sign will be permitted.
  - k. Dimension the setbacks of the primary monument sign on the site plan.
  - l. Provide all field and accent paint colors (samples) for the building.
  - m. For security reasons, the Village will require that the site be surrounded with a six (6) foot high chain link fence during construction. Show on the Erosion Control Plan. A fence permit is required for the temporary fencing. Any modification to this requirement would need to be approved by the Police Chief.
  - n. See **attached** comments dated February 9, 2016 from the Village Department of Public Works.
  - o. See **attached** comments dated February 12, 2016 from the Village Engineering Department.
  - p. Visible numbers inside and outside of each man-door exit/entrance beginning on the front of the building and moving clockwise around the building shall be added. These numbers shall be consistent in size, location and color. Note on the plans and provide a site map for the Police Department.
  - q. Compliance with the **attached** memorandum from the Village Fire & Rescue Department dated February 25, 2016 including the pumper pad and knox box details.
4. The following comments are from the Village Building Inspection Department:
- a. Building Inspection Department information:  
Hours: Mon-Fri, 8am-5pm.  
Phone# 262-694-9304  
Email: buildinginspection@plprairiewi.com
  - b. Permit applications can be found online at [pleasantprairieonline.com](http://pleasantprairieonline.com)
  - c. Inspections are performed Mon- Fri 9am-4pm except electrical inspections; those are only Tue & Thu mornings. 48hr notice is required to schedule an inspection. Please note you must call and speak with a Building Inspection Department

representative. A voicemail or email will not constitute an inspection please plan accordingly. Final occupancy inspections require coordination with multiple departments and staff members there for a minimum of 72 hour notice is required. Any re-inspection fees due must be paid prior to scheduling a re-inspection.

- d. All contractors requiring permits shall not commence work until permit issuance.
- e. Village Inspectors follow the 2009 IBC, IEBC, IMC, IECC, IFGC, 2003 ANSI A117.1, 2011 NEC and WI. Plumbing code SPS 381-386.
- f. Submit all applicable plans to the state for review. Building Inspection Department will not issue permits until we receive the applicable state approval letter. All State approved drawings must be available at job site for inspector review during inspections.
- g. Submit emergency egress path / lighting plan and energy compliance worksheets form SBD 10512 to Building Inspection Department prior to issuance of building permit.
- h. Fire alarm systems require two permits from both the Fire Department and Building Inspection Department.
- i. Any building fire protection loop and combination water main will require approval by the Fire & Rescue Department prior to issuance of exterior plumbing permit.
- j. Fire alarm systems and fire protection loops will require inspections by both the Fire & Rescue Department and Building Inspection Department.
- k. Village staff recommends all exterior lot and building lighting to be LED and Dark Sky compliant with a color temperature between 5000-6000K.
- l. Any tradesmen requiring state license will be "carded" on the jobsite for compliance.
- m. All equipment shall be "LISTED" by a nationally recognized testing laboratory.
- n. Documentation shall be provided for available fault current at equipment, to verify short circuit current rating compliance per 2011 NEC 110.10
- o. All equipment, materials, etc. shall be rated for the environment in which they will be used.
- p. All required WI DNR permits must be approved. In addition, Plans must be State approved, prior to issuance of any Village building permits.
- q. Provide sufficient handicap accessible parking spaces per current addition of the ANSI A117.1 standard.

5. **Upon approval of the revised Site and Operational Plans, and prior to the issuance of the required building, zoning and erosion control permits the following shall be submitted (paper copies and pdf copies):**

- a. Copies of all permits from the WI DNR and ACOE for filling of the wetlands. Upon receipt of these approvals, an application with the \$225 application fee shall be submitted to amend the Village 2035 Comprehensive Plan shall be submitted to remove the wetland designation from the Land Use Plan Map 9.9.
- b. Written approval shall be provided from ATC to allow for improvements and truck parking within their easement.
- c. Written approval shall be provided from the easement holder(s) for proposed grading, utility, and/or other work within easement limits.
- d. Fire Compliance letter shall be submitted to the Fire & Rescue Department, stating that the project will comply with all requirements addressed within the Fire &

Rescue Departments memorandum dated February 25, 2016. A copy of this letter shall also be provided to the Community Development Department.

- e. An Erosion Control Permit Application and plans with a copy of the Wisconsin Department of Natural Resources N.O.I. [Note: The required \$2,000 street sweeping cash deposit shall be deposited with the Village. The street sweeping cash deposit is refundable, less 6% for administrative processing upon issuance of a Certificate of Compliance for the entire project if the amount is not drawn upon by the Village in maintaining the adjacent roadways free from dirt, mud clumps and mud tracking during the construction process. Silt fence shall be installed and inspected prior to any work starting.]
  - f. Village Work in the Right-of-Way permit for grading within 80<sup>th</sup> Avenue.
  - g. The Commercial Building Permit applications (building, HVAC, plumbing, electrical etc.) and required State approved plans.
  - h. A copy of all Kenosha County right-of-way permits for access, any off-site highway improvements and all work within CTH ML. The permit shall include any grading and landscaping within the CTH ML right-of-way. For approval and permits contact Gary Sipsma, Director, Kenosha County Division of Highways 262-857-1870.
  - i. Written approval of the Site and Operational Plans from LakeView Commercial Association.
6. **Prior to work commencing on the site, all required Kenosha County and Village permits shall be issued. All required erosion control measures, shall be in place on the site prior to construction start. Also, a pre-construction meeting, which includes contractors, architect and engineers, shall be scheduled (contact the CD Department –Jean Werbie-Harris for available dates) and held at the Village Offices. The preconstruction meeting shall be moderated and minutes shall be taken by the Design Engineer of record. Minutes shall be distributed within 7 days. A sample agenda can be provided by the Village CD Department (Jean Werbie-Harris).**
7. **After the installation of the footings and foundations and prior to setting the walls, an as-built survey as stamped by a Wisconsin Registered Land Surveyor shall be submitted to the Village Building Inspection Department to verify that the building meets all of the required setbacks.**
8. General Conditions/Comments:
- a. Municipal connection fees shall be paid prior to the connections to the sanitary sewer system.
  - b. Impact fees shall be paid prior to issuance of the building permit. (Based upon \$1.94 per \$1,000 of valuation as determined by the Village Assessing Department).
  - c. The hours of construction activity, operating heavy machinery or equipment associated with the grading, erosion control device installation, and overall site development shall be limited to Monday through Friday from 7:00 a.m. to 9:00 p.m. and Saturday and Sunday from 7:00 a.m. to 6:00 p.m.
  - d. There shall be no construction parking permitted on 88<sup>th</sup> Avenue. On-site (off-street) parking shall be designed to accommodate all construction related workers and site visitors.
  - e. The Village shall approve of the location of all construction trailers parked on the site during construction activities. Show the trailer location on the Erosion Control Plan. No construction trailers shall be parked in Kenosha County or nearby Village rights-of-way and all construction related signage shall be approved and permitted by the Village.



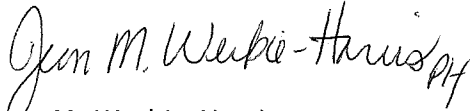
- f. The site shall not be used for any parking (neither overnight nor during the day) of junked/inoperable/dismantled/unlicensed vehicles. All junked/inoperable/dismantled/unlicensed vehicles that are parked overnight will be issued citations.
- g. The owner shall comply with all provisions of the Site & Operational Plan approvals, including compliance with the Village Performance Standards.
- h. At no time shall the site be used to sell, display or advertise any vehicles that are "for sale".
- i. No vehicular parking will be permitted in driveways, maneuvering lanes, fire lanes or on landscaped areas.
- j. There shall be no outside banners, strings of pennants, flags, inflatable devices or streamers affixed or attached to the building(s), light poles, ground or landscaping, etc.
- k. There shall be no long-term semi-truck/trailer or box truck parking permitted on the site that is not used in the daily operations of the facility.
- l. There shall be no outdoor storage of raw materials or display of materials, goods or equipment on this site, unless as approved by the Village.
- m. The use of semi-trailers, storage units, storage bins, roll-off storage devices (e.g. P.O.D.S., S.A.M.S.) or other trucks, for storage purposes or for maintenance supplies is prohibited. Outdoor storage of any materials, including but not limited to: raw materials, business supplies, pallets, crates, etc., is prohibited.
- n. No use shall be conducted in such a way as to constitute a public or private nuisance or to violate any of the performance standards set out in Section 420-38 of the Village Zoning Ordinance.
- o. Prior to occupancy each handicapped parking space shall be appropriately signed and painted on the pavement pursuant to ADA requirements.
- p. All exterior mechanical units, whether roof-mounted or ground-mounted, shall be screened from the general public's view.
- q. All signs shall comply with Article X of Chapter 420 of the Village Municipal Code. The signs shall not be located within any Village Easement but may be allowed within a Utility Easement with written approval from We Energies. A permit is required to be issued prior to installation of the primary monument sign, on-site directional signs, temporary development signs, real estate marking signs and wall signs.
- r. Prior to written occupancy all required landscaping or screening shall be installed and written verification and/or certification shall be provided to the Village by the landscape designer that the landscaping has been installed in accordance with the approved landscape plan prior to the issuance of a certificate of compliance/occupancy.

If weather conditions prevent installation of all or portions of the landscape materials, the Owner shall enter into a written agreement with the Village that specifies the date by which all approved landscaping shall be completed. The owners shall grant the Village a temporary easement to complete the landscaping if not timely completed and shall deposit with the Village Clerk a cash deposit, an irrevocable letter of credit, or other financial assurance approved by the Zoning Administrator to ensure timely completion of all required landscaping; the amount of the financial assurance shall be equal to 110% of the contracted amount to complete the landscaping improvements in order to reasonably compensate the Village for the cost of completion of any landscaping improvements not completed within the specified time.

- s. Prior to written occupancy of the building and associated site improvements three (3) copies of an as-built plan stamped by a Wisconsin Registered Land Surveyor and an electronic copy of the plan sets shall be submitted to the Village to verify that required building, above ground structures and all impervious surfaces meet the minimum setbacks and that all pavement markings were marked per the approved site plans and the grading of the site was completed pursuant to the approved Site and Operational Plans. In addition, written certification from the landscaping and signage companies that the landscaping and signage were installed pursuant to the approved Site and Operational Plans shall be submitted.
- t. Prior to written occupancy an as-built electronic copy of the record drawing of graphical data of all private sewer, water, and storm sewer facilities and underground irrigation system installed shall be provided to the Village for the Village to update the Village's Geographic Informational System. Information shall conform to the Village's electronic format requirements. In addition, a paper copy prepared and stamped by the Engineer of Record for the project shall be submitted.

If you have any questions please contact Ms. Peggy Herrick, Assistant Planner and Assistant Zoning Administrator or me directly at 262-925-6717.

Sincerely,



Jean M. Werbie-Harris  
Community Development Director

Enc.

cc: Adam Artz, P.E., Pinnacle Engineering  
Werner Briske, AIA, Partners In Design Architects

lakeview lot 87 site and op and dev agreement  
DEV1601-003  
PP1602-001

**DEVELOPMENT AGREEMENT BETWEEN**  
**THE VILLAGE OF PLEASANT PRAIRIE, WISCONSIN AND**  
**CENTERPOINT WISPARK LAND COMPANY LLC**

**THIS DEVELOPMENT AGREEMENT** is made between CENTERPOINT WISPARK LAND COMPANY LLC, a Limited Liability Company (the "Owner") with a business and registered office address of 1808 Swift Drive, Oak Brook, IL 60523 and the VILLAGE OF PLEASANT PRAIRIE, (the "Village"), a Wisconsin municipal corporation with offices located at 9915 39th Avenue, Pleasant Prairie, Wisconsin 53158.

**WITNESSETH:**

1. The Owner and the Village have entered into this Development Agreement dated as \_\_\_\_\_, 2016 regarding a 24.27-acre lot for an industrial speculation building to be generally located at the northeastern corner of 80<sup>th</sup> Avenue and County Trunk Highway (CTH) ML (Springbrook Road) containing certain real property located within the Village, the legal description which is attached hereto as **EXHIBIT A** and incorporated herein by reference. A copy of the Site and Operational Plans for the LakeView Corporate Park Lot 87 speculation building located at \_\_\_\_\_ 80<sup>th</sup> Avenue, Pleasant Prairie, WI 53158 as described below are on file with the Village Community Development Department and can be viewed at the Village Hall at the address stated above, relating to the Required Public and Private Improvements to be completed adjacent to and on the Development, all of which are a part of or provided for in this Development Agreement.
2. The Owner has agreed to and has provided to the Village, among other things, the following:
  - a. The obligation and agreement to construct and maintain various required private and public infrastructure improvements pursuant to the Village approved Final Development Engineering Plans for the Development sealed by the Engineer and dated \_\_\_\_\_, 2016: "On-Site Civil Engineering Infrastructure Plans" as prepared by Pinnacle Engineering Group, 15850 Bluemound Road, Brookfield, WI 53005 (262) 754-8888. Also included is an Operational Plan written narrative, Industrial Waste Survey, LakeView Commercial Owners Association approval and the related applications/permits required for the project. These Plans and related documents have been conditionally approved by the Village Plan Commission on March 14, 2016. The conditionally approved Final Site and Operational Plans are on file with the Village (**EXHIBIT B**); and

- b. The obligation and agreement to construct the Required Public Improvements pursuant to the Village approved Plans which include: relocating the 80<sup>th</sup> Avenue median and road and curb/gutter repair; moving or relocating the southern access driveway to 80<sup>th</sup> Avenue for the Arvato tenant (Tax Parcel Number 92-4-122-283-0210), relocating one (1) 80<sup>th</sup> Avenue public street light and abandoning and capping unused water service(s) at the main and water service connection(s) and its related road repair in 80<sup>th</sup> Avenue. These public improvements are shown on the **EXHIBIT B** along with the approval letters, including the Contractor's estimate and Village Public Works Department inspection and construction oversight cost estimate, contractor certificate of insurance, Village Erosion Control and Work in the Right-of-Way Permits and Wisconsin Department of Natural Resources Notice of Intent (NOI) Permit; and
  - c. The obligation and agreement to plant, stake, mulch, weed, water, trim, mow and maintain and replant as necessary all of the required landscaping including replanting the 80<sup>th</sup> Avenue public median turf areas; the public street parkway terrace areas within the adjacent 80<sup>th</sup> Avenue right-of-way; and the private plantings on the site pursuant to the Village-approved Landscaping Plan; and
  - d. The obligation and agreement to pay for a fair share apportionment of costs associated with the invoicing of public street lights energy and maintenance costs, which shall be billed by the Village Finance Department to the properties within the LakeView Corporate Park Commercial Street Lighting District; and
  - e. The obligation and agreement to construct and maintain or cause to be maintained in compliance with Village ordinances and to the satisfaction of the Village, all of the private building and on-site improvements within the Development pursuant to the Village's conditionally approved Site and Operational Plans.
3. The Owner has agreed to dedicate the Required Public Improvements which includes public roadway improvements and public street light to the Village after their

installation, completion and Village inspection, and to the satisfaction of the Village. The Owner further understands that although the 80<sup>th</sup> Avenue public street median and terrace areas are being dedicated to the Village, it is the LakeView Commercial Owner Association's ongoing obligation, of which the Owner is a member, for the placement of topsoil, seeding or sodding and mowing of the 80<sup>th</sup> Avenue boulevard/median.

4. The Owner has also agreed to the payment of the Owner's fair share costs associated with the public street lights facility and maintenance charges and energy charges within the LakeView Corporate Park.
5. The Owner has provided an Irrevocable Letter of Credit equal to the contract amount plus a 15 percent contingency, or a total of \$ \_\_\_\_\_ ( \_\_\_\_\_ dollars and .\_\_/100) to be used by the Village as financial security for the Developer's obligations for relocating the 80<sup>th</sup> Avenue median and repairing the road and curb/gutter; moving or relocating the southern access driveway to 80<sup>th</sup> Avenue for the Arvato tenant (Tax Parcel Number 92-4-122-283-0210), relocating one (1) 80<sup>th</sup> Avenue public street light, and abandoning and capping unused water service(s) at the main, water service connection(s) and road repair in 80<sup>th</sup> Avenue. The original Letter of Credit, Cost Breakdown and Administrative Cash Payments documents (**EXHIBIT E**) are on file with the Village Clerk. The amount of the Letter of Credit shall be reduced to the extent that that construction of the Public Improvements required under this Agreement are completed, paid for, lien waivers are presented and inspections are completed to the satisfaction of the Village, provided that the remaining Letter of Credit is sufficient to secure payment for any remaining Required Public Improvements, and provided that no reduction shall occur until approved by the Village Board at a regularly scheduled meeting. The Letter of Credit shall be fully released by the Village upon the expiration of the one (1) year warranty for and the Village's final acceptance of all of the public street improvements including relocating the 80<sup>th</sup> Avenue median and road and curb/gutter repair; moving or relocating the southern access driveway to 80<sup>th</sup> Avenue for the Arvato tenant (Tax Parcel Number 92-4-122-283-0210), relocating one (1) 80<sup>th</sup> Avenue public street light and

Development Agreement  
LakeView Corporate Park Lot 87  
CenterPoint WisPark Land Company LLC

abandoning and capping unused water service(s) at the main and water service connection(s) and its related road repair in 80<sup>th</sup> Avenue.

6. This Development Agreement is not intended to benefit or to be enforceable by any person(s) other than the Village and the Owner and their respective successors or successors and assigns of the property as to this Agreement.

**IN WITNESS WHEREOF**, the Owner and the Village have caused this Development Agreement to be signed and dated as of this \_\_\_\_\_, 2016.

**OWNER: CenterPoint WisPark Land Company LLC**

\_\_\_\_\_  
Name: Edward R. Harrington  
Title: Sr. Vice President Development, CenterPoint Properties

ACKNOWLEDGMENT  
STATE OF WISCONSIN)  
SS  
KENOSHA COUNTY)

This instrument was acknowledged before me in Pleasant Prairie, Wisconsin, on this \_\_\_\_\_ day of \_\_\_\_\_, 2016 by \_\_\_\_\_ of CenterPoint WisPark Land Company LLC.

\_\_\_\_\_  
**Print Name:** Jean M. Werbie-Harris  
**Notary Public**, Kenosha County, WI  
**My Commission Expires:** December 12, 2017

*Additional signatures on next page.*



Development Agreement  
LakeView Corporate Park Lot 87  
CenterPoint WisPark Land Company LLC

**EXHIBIT A**  
**LEGAL DESCRIPTION**



Development Agreement  
LakeView Corporate Park Lot 87  
CenterPoint WisPark Land Company LLC

**EXHIBIT B**

**CENTERPOINT WISPARK LAND COMAPNY LLC**

**SITE PLANS, ENGINEERING PLANS AND RELATED DOCUMENTS**

Development Agreement  
LakeView Corporate Park Lot 87  
CenterPoint WisPark Land Company LLC

**EXHIBIT C**

**IRREVOCABLE LETTER OF CREDIT, COST BREAKDOWN AND ADMINISTRATIVE CASH  
PAYMENTS SPREADSHEET FOR PUBLIC IMPROVEMENTS**



**VILLAGE OF PLEASANT PRAIRIE  
LOT COMBINATION AFFIDAVIT**

**Name of Owner(s) (as deeded):**

\_\_\_\_\_  
\_\_\_\_\_

**Tax Parcel Numbers of Parcels to be Combined:**

\_\_\_\_\_  
\_\_\_\_\_

**Legal Description of Parcels to be Combined:**

**Return To:**

Village of Pleasant Prairie  
Attn: Community Development  
Department  
9915 39th Avenue  
Pleasant Prairie, WI 53158

**Tax Parcel #'s**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**WHEREAS**, the above referenced parcels are being combined for compliance with the Village of Pleasant Prairie Zoning Ordinance and/or the Village Land Division and Development Control Ordinance and/or the Kenosha County Sanitary Ordinance.

**(or)**

**WHEREAS**, the above referenced parcels are being combined per Section 70.28 of the Wis. Stats.

**STRIKE THE ABOVE PARAGRAPH WHICH DOES NOT APPLY**

**WHEREAS**, the parcels to be combined are contiguous;

**WHEREAS**, this document is intended to combine the legal description of parcels under the same ownership and is not a conveyance per sec. 77.21(1), Wis. Stats.; and

**WHEREAS**, all delinquent taxes have been paid in full for the parcels being combined as verified by the Kenosha County Land Information Office; and

**NOW THEREFORE**, the Owner(s) do (does) agree and understand that the above referenced parcels shall be combined into one (1) parcel and shall not be divided without approval of the Village of Pleasant Prairie pursuant to and in compliance with all Village Ordinances in effect at the time of the proposed division.

**THIS AGREEMENT SHALL BE BINDING UPON ANY SUCCEEDING OWNERS AND CONVEYANCES.**

\_\_\_\_\_  
Property Owner Date

\_\_\_\_\_  
Date

Jean M. Werbie-Harris  
Community Development Director  
Village of Pleasant Prairie

\_\_\_\_\_  
Property Owner Date

\_\_\_\_\_  
Property Owner Date

\_\_\_\_\_  
Date

Al Brokmeier  
Supervisor of Property Listings  
Kenosha County Land Information Office

\_\_\_\_\_  
Property Owner Date

Subscribed/Sworn before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_

\_\_\_\_\_  
Notary Public Signature

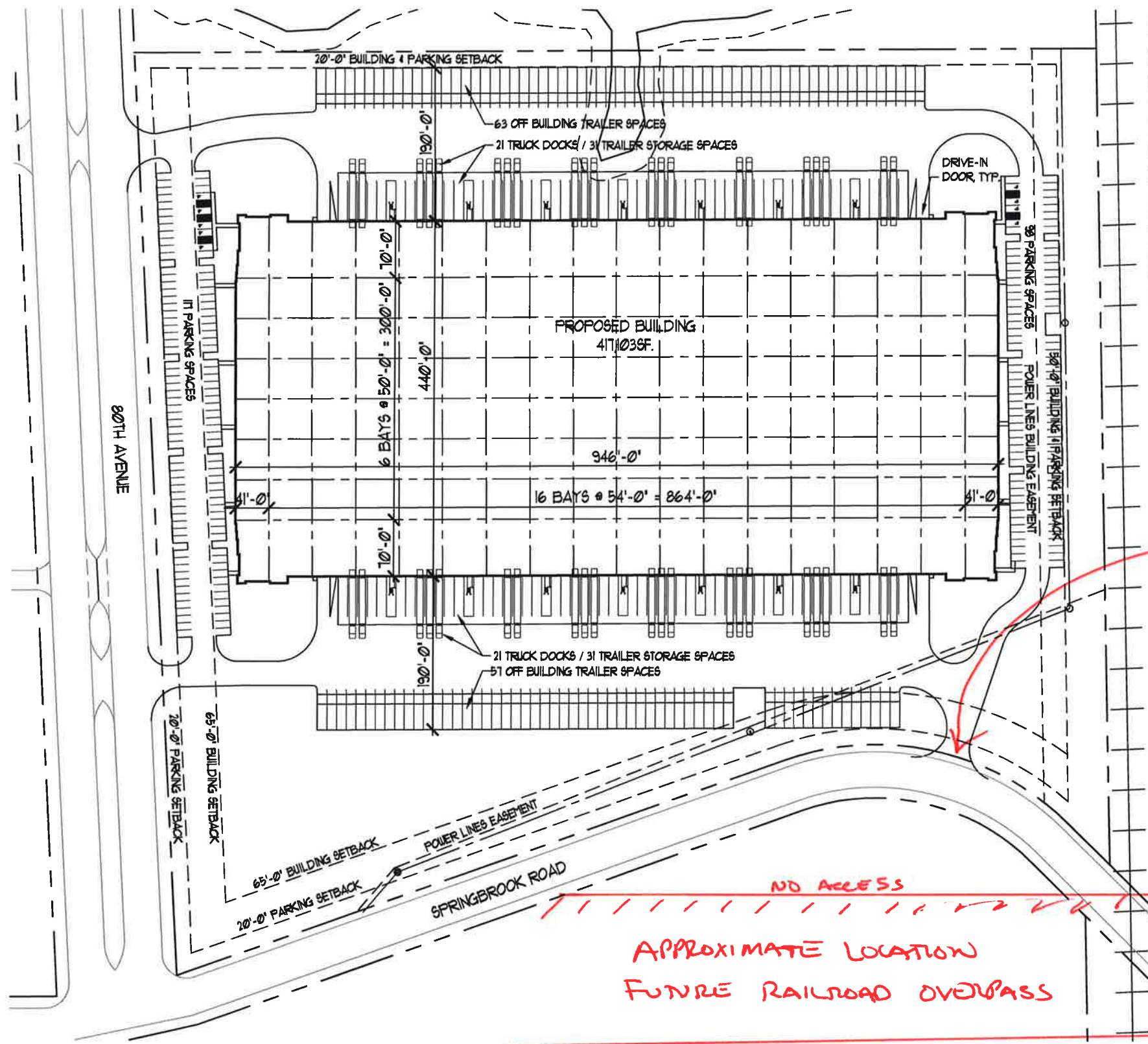
\_\_\_\_\_  
Print Name of Notary

\_\_\_\_\_ County, \_\_\_\_\_

My Commission Expires: \_\_\_\_\_

**This Document was drafted by:**

Jean M. Werbie-Harris  
Community Development Director  
Village of Pleasant Prairie  
9915 39th Avenue  
Pleasant Prairie, WI 53158



**PROJECT SUMMARY**

SITE AREA	26.31 ACRES
BUILDING AREA	417,103 SF
PARKING SPACES	215
TRUCK DOCKS	42
POSSIBLE TRUCK DOCKS	104
TRAILER STORAGE SPACES	182

- 1) LOCATION OK SUBJECT TO NON COMPENSABLE ELIMINATION AT SUCH TIME CTH ML IS RECONSTRUCTED WITH RAILROAD OVERPASS
- 2) DESIGN GEOMETRICS SHALL BE APPROPRIATE FOR TRUCK TURNING MOVEMENTS

**SITE PLAN**  
 DS01 1" = 150'-0"

**DOUBLE-LOADED WAREHOUSE**  
 Lot 87, Lakeview Corp. Park, Pleasant Prairie, WI  
**PROPOSED SITE PLAN**

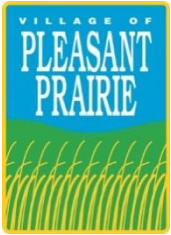
2610 Lake Cook Road  
 Suite 280  
 Riverwoods, Illinois 60015  
 Ph.: (847) 940-0300  
 Fax: (847) 940-1045

**Partners in Design**  
 ARCHITECTS



PROJECT NO:  
 43709.118  
 DRAWN BY: LK  
 CHECKED BY: WHB  
 DATE:  
 02.16.15  
 SHEET NO:

DS01



## DPW PLAN REVIEW COMMENTS

**PLAN NAME: PROJ1601-003**

**PLAN NUMBER: PROJ1601-003**

**DATE REVIEW DUE: 2/10/2016**

**REVIEWER: DPW**

**DATE: 2/09/2016**

- Approved**
- Approved With Conditions**
- Not Applicable**
- Re-submittal Required**
- Submittal Received**
- Withdrawn**
- Denied**

**No Work Impacts DPW**

PAGE#	COMMENT
C-4	Extending the curb on 80 <sup>th</sup> Avenue will eliminate a right and left hand turn to and from adjacent business
C-10	Utilize existing lateral stub. If not – abandon at main (see attached details/asbuilt)  Show and list type of connection to existing water main. Both locations.
C-12	Add: Erosion control to page title (Erosion Control and Site Stabilization Plan)  Call out construction entrance on 80 <sup>th</sup> Avenue and reference detail  Add: Silt fence along North property line  Add: Inlet protection to 80 <sup>th</sup> Avenue  Clarify: sediment traps will be removed prior to final restoration
C-13	Add: Inlet protection to 80 <sup>th</sup> Avenue  Call out: Construction entrance on 80 <sup>th</sup> Avenue and reference detail  Remove: Inlet protection show in West lot; not needed.
Notes	Show all ROW impacts/details. IE: trench drain detail if falls in ROW.





# Lakeview Lot 87



	WATER
	SANITARY
	STORM
	FORCE MAIN



The Village of Pleasant Prairie makes no representations concerning the accuracy or validity presented on this map. Information is for general informational purpose only and is not to be used for system design purposes by others.



## MEMORADUM

Office of the Engineering Department  
Assistant Village Engineer  
**Kurt R. Davidsen, P.E.**

TO: Peggy Herrick, Assistant Planner / Assistant Zoning Administrator

FROM: Kurt Davidsen, P.E., Assistant Village Engineer

SUBJ: Lakeview Lot 87

DATE: February 12, 2016

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Dear Peggy,

The Engineering Department has reviewed the submitted plans for the above referenced project, received on January 21, 2016. Based on our review we have the following comments listed below and/or shown on the attached plans.

Revised plan submittal(s) shall include a cover letter addressing each comment, item by item, to help facilitate Village review of plans.

### **Civil Engineering Plans:**

#### *Cover Sheet:*

1. All Village staff email addresses are incorrect. Village email addresses end with "@plprairiewi.com"

#### *Demolition Plan:*

2. Relocate the existing light pole located along the north curb line of the proposed southern access off of 80<sup>th</sup> Avenue.

#### *Site Dimension and Paving Plans:*

3. Kenosha County permits / approvals are required for work within the CTH ML right-of-way. A copy of the permits shall be provided to the Village.
4. A note shall be placed on the site plans stating that the access off of CTH ML shall be eliminated by the property owner at the direction of the Village or County when 116<sup>th</sup> Street is improved in the future.
5. In the Paving Note 16 it says the base course shall conform to section 305 of the State Highway Specifications but in the legend only crushed limestone is allowed. Also, the legend states 1-1/2" base aggregate dense instead of the DOT standard of 1-1/4". Clarify which base materials are allowed.



6. The Heavy Duty Pavement states a total asphalt thickness of 6.5" but the upper and lower layers listed total 6". Correct the plans as needed.
7. Revise the pavement section for the median opening to be 1.75" asphaltic concrete E-3 12.5mm aggregate on 8" non-reinforced concrete pavement on 6" base aggregate dense. 24" no.4 tie bars shall be installed along the lane lines and saw cut longitudinal joints at 3' on center. Transverse joints do not require dowel bars. A separate sheet shall be created for the new median opening showing pavement replacement along existing joints and a jointing plan which show the existing and proposed pavement joints. Existing longitudinal joints are located along the curb and gutter flange and the center of the roadway (12' off the flange). Transverse joints shall be an extension across the roadway from the existing curb and gutter joints. Prepare a typical section for the proposed median opening. Note on the plans that all roadway and utility work within the right of way shall be in accordance with the Village Specifications.
8. Update the note pertaining to the State of Wisconsin Standard Specifications to reference the current edition.
9. Paving Note 16 requires only the top layer of crushed aggregate base course to conform to the State Highway Specifications. Revise the note so that all layers conform to the State Highway Specifications.
10. Provide turning movement for trucks entering and exiting the site at entrances along 80<sup>th</sup> Avenue.
11. The driveway on the west side of the 80<sup>th</sup> Avenue across from the median opening which is being eliminated shall be realigned to the new median opening or the existing entrance shall be eliminated.
12. Add Village curb and gutter details for replacement of curb and gutter within the right of way of 80<sup>th</sup> Avenue. All curb and gutter within the right of way shall be 30" vertical face curb and gutter. Note that new curb and gutter shall be connected to the existing curb and gutter and concrete pavements by use of tie bars.
13. Create a detail for the construction of the driveway entrances. Curb and gutter within the driveway entrance shall be removed and replaced with 30" curb and gutter with depressed curb head. Curb and gutter shall be tied to existing pavement with 2' long no. 4 tie bars at 3' on center.

*Site Grading & Erosion Control Plans:*

14. Label typical slopes.
15. Install storm sewer inlets within the curb and gutter at the end of the trench drain or extend the trench drain to the face of curb.
16. Review the locations reject or standard curb and gutter is to be installed:

- a. Adjacent to the west side of the building curb and gutter should be reject.
  - b. South curb line of the south entrance on 80<sup>th</sup> Ave should be standard.
  - c. North curb line of the south entrance should transition to reject to the west of the trench drain.
  - d. South curb line of the north entrance on 80<sup>th</sup> Ave should be standard.
  - e. North curb line of the north entrance should be reject.
  - f. Entire parking lot to the east of the building should be reject.
  - g. Median opening.
17. Create a detail for the curb and gutter peninsulas on the west side of the parking lot located west of the building which have the extension of the curb and gutter to convey the storm water behind the peninsulas.
18. Additional spot elevations are needed along curb and gutter.
19. Additional spot elevations are needed along sidewalks.
20. Several un-drained depressions are to be created behind the curb along the south parking lot. Are these depressions intentional?

*Site Utility Plans:*

21. Create a detail for roadway repair associated with the installation of the utility connections/abandonments into the road. The detail shall contain the following information:
- a. Pavement section matching that described for the median opening.
  - b. 18" #4 tie bars at curb and gutter connection points and 2' long tie bars at 3' on center at lane lines and connections to existing pavements along saw cut longitudinal joints.
  - c. Slurry backfill.
  - d. Note and show saw cuts along existing construction joints; flange of curb and gutter, center of the roadway (12' off the flange) and perpendicular to the existing curb and gutter joints. Saw cuts at other locations are not permitted. Pavement replacement shall be full existing concrete panels.
22. Add a general note to install air release assemblies at any highpoints within the water main except at those locations where a hydrant is at a high point and operating as an air release.
23. Should Note 3 reference SPS 382 instead of COMM 82?
24. Clarify in Note 11 that field tiles shall be connected to the storm sewer where they cross the storm sewer trench.
25. Storm sewer within the right of way shall be RCP.
26. Hydrant specification is incorrect.

27. Provide a note stating that all existing public water main and hydrant valves will be operated by or under the supervision of the Village of Pleasant Prairie Public Works Department.
28. Provide construction information for the connections to the public water main (size, connection type, valves, etc.)
29. Review the water main and fire protection main to verify they are labeled correctly.
30. Water main and fire protection main has several connections and crossings. Review the main layouts and note where connections are to be installed.
31. Existing utility stubs shall be utilized when possible. All unused stubs shall be removed and capped at the main. Patches will need to be shown and completed as described above.
32. Rename connection to the existing sanitary sewer.
33. San manhole 2.0 is not a drop manhole.
34. Storm sewer shall connect to the existing 42" stub located out of EXCB-1.0.
35. Correct the rim elevation on the sanitary MH 4.
36. Could a peninsula with the hydrants extended closer to the building be installed in the stripped out truck parking areas to increase accessibility to the fire department? Discuss locations with the fire department.

*Site Notes and Details Plans:*

37. Show and label the locations on the plans where the "protection fence" is to be installed.
38. Delete the outside drop manhole as it no longer applies to the project.
39. Show on the plans where the detectable warning fields are to be installed.
40. Currently not enough information is shown on the plans to clarify where the curb and gutter is flush with the pavement or raised above as shown in the integral detail. Provide elevations or notes on the plans to clarify the work.
41. Shouldn't the "concrete sidewalk" detail have a 2% max cross slope instead of min? If 2% min is correct it must be clarified that accessible routes must not exceed 2% cross slope.
42. Add fire department pumper pad detail.

*Utility Drainage Plans:*

43. Review line styles shown in the legend. The line style for single wall drain tile appears to be the same as that shown for easements. It appears that behind some catch basins drain tile is to be installed but the line style does not match the legend.
44. Drain tile surrounding the inlets only appears to be proposed for those inlets located within pavement. Do inlets located within the curb and gutter not benefit from the same draintile installation?
45. Provide a detail for the cleanouts noted behind the catch basins. Since these cleanouts are to be installed at low points do they have a grated lid?

**Site Plan A1.1:**

46. The H.C. Parking Sign detail does not match that shown on sheet C-17.

**Landscaping Plan:**

47. No comments.

**Photometric Plan:**

48. No comments.

**General:**

49. The fire protection designer shall verify that adequate fire flow requirements are met for the building. Approval from the Fire Department shall be obtained for fire suppression system design.
50. Fire Department will need to review site access and fire hydrant locations.
51. The estimate of the amount of import or export of fill needed for the site grading shall be provided.
52. The Engineering Department will require an electronic pdf of all approved civil engineering and stormwater plans.
53. As-built graphical data of all private sewer, water, and storm sewer facilities shall be provided to update the Village's Geographical Information System. Information shall conform to the Village's format requirements.
54. A record drawing of the utility plans will be required to reflect actual construction records and utility alignments. Record drawing(s) of all water main(s), sanitary sewer(s), and storm sewer(s) shall be prepared by the Engineer of Record for the project.

The engineering plans have been reviewed for conformance with generally accepted engineering practices and Village policies. Although the data has been reviewed, the design engineer is responsible for the thoroughness and accuracy of plans and supplemental data and for their compliance with all state and local codes, ordinances, and procedures. Modifications to the plans, etc. may be required should errors or changed conditions be found at a future date.

# LAKEVIEW LOT 87

## LAKEVIEW CORPORATE PARK

### PLEASANT PRAIRIE, WISCONSIN

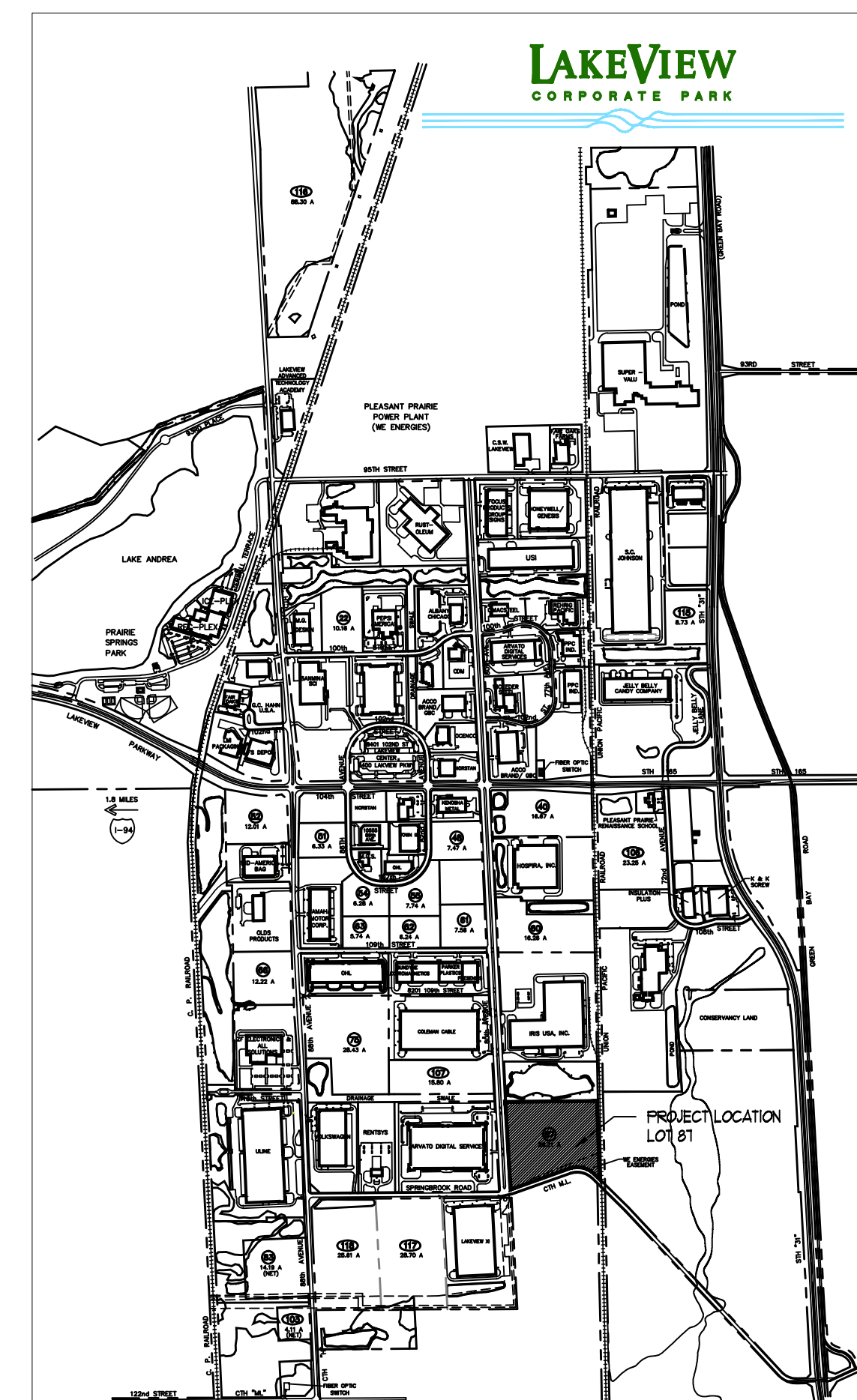


#### GOVERNING AGENCY CONTACTS

<p><b>PLEASANT PRAIRIE VILLAGE HALL</b> 935 39TH STREET PLEASANT PRAIRIE, WI 53158 OFFICE: 262.634.1400</p> <p><b>COMMUNITY DEVELOPMENT DEPARTMENT</b> JEAN WESBIE-HARRIS - COMMUNITY DEVELOPMENT DIRECTOR PLANNER &amp; ZONING ADMINISTRATOR OFFICE: 262.935.6118 EMAIL: jwesbie-harris@pprairieuil.com</p> <p>PEGGY HERRICK - ASSISTANT PLANNER &amp; ZONING ADMINISTRATOR OFFICE: 262.935.6116 EMAIL: pherrick@pprairieuil.com</p> <p><b>ENGINEERING DEPARTMENT</b> MATT FINEOUR, P.E. - VILLAGE ENGINEER OFFICE: 262.935.6118 EMAIL: mfineour@pprairieuil.com</p> <p>KURT DAVIDSEN, P.E. - ASSISTANT VILLAGE ENGINEER OFFICE: 262.935.6128 EMAIL: kdavidsen@pprairieuil.com</p>	<p><b>BUILDING INSPECTION DEPARTMENT</b> SANDRO PEREZ - INSPECTION SUPERINTENDENT OFFICE: 262.634.9304 DIRECT: 262.935.6122 EMAIL: sperez@pprairieuil.com</p> <p>DONALD KOEHN - BUILDING INSPECTOR OFFICE: 262.634.9304 EMAIL: dkoehn@pprairieuil.com</p> <p><b>FIRE &amp; RESCUE DEPARTMENT</b> DOUG McELMURY - FIRE &amp; RESCUE CHIEF 8044 80TH AVENUE OFFICE: 262.634.8011 EMAIL: fireandrescue@pprairieuil.com</p> <p>CRAIG ROEPKE - FIRE &amp; RESCUE DEPUTY CHIEF OFFICE: 262.948.8981 EMAIL: croepke@pprairieuil.com</p> <p>THOMAS CLARK - FIRE &amp; RESCUE LIEUTENANT DIRECT: 262.948.8982 EMAIL: tclark@pprairieuil.com</p>	<p><b>PUBLIC WORKS DEPARTMENT</b> JOHN STEINBRINK, JR. - SUPERINTENDENT ROGER PRANGE MUNICIPAL BUILDING 8600 GREEN BAY ROAD OFFICE: 262.935.6168 EMAIL: jsteinbrink@pprairieuil.com</p> <p>JESSE HOULE, P.E. - CONSTRUCTION MANAGER OFFICE: 262.948.8945 EMAIL: jhoule@pprairieuil.com</p> <p>STEVE ULAHOVICH - ENGINEERING TECHNICIAN OFFICE: salahovich@pprairieuil.com</p> <p><b>WI DEPARTMENT OF NATURAL RESOURCES</b> ELAINE JOHNSON - WATER RESOURCE SPECIALIST OFFICE: 262.884.2136 EMAIL: elaine.johnson@wisconsin.gov</p> <p>PETER WOOD - WATER RESOURCES ENGINEER OFFICE: 262.884.2360 EMAIL: peter.wood@wisconsin.gov</p>
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#### PUBLIC UTILITY CONTACTS

<p><b>AMERICAN TRANSMISSION COMPANY</b> BRIAN McGEE OFFICE: 262.506.6895 EMAIL: bmcgee@atac.com EMERGENCY NUMBER: 800.912.5341</p> <p><b>WISCONSIN DOT</b> SOUTHEAST REGION OFFICE: 414.266.161</p> <p><b>AT&amp;T</b> MIKE TOYEK OFFICE: 262.636.0549 EMAIL: mt134@att.com</p> <p><b>TDS TELECOM</b> SOUTHEAST WISCONSIN OFFICE: 811.483.1142</p> <p><b>TIME WARNER CABLE</b> STEVE CRAMER - UTILITY COORDINATOR OFFICE: 414.271.4045 EMAIL: steve.cramer@tucable.com EMERGENCY NUMBER: 800.671.2288</p> <p><b>WE-ENERGIES</b> LINDA SCHREIER KENOSHA SOUTH OFFICE: 262.552.3228 EMAIL: linda.schreier@we-energies.com</p> <p><b>NATURAL GAS EMERGENCY:</b> 800.261.5525 <b>ELECTRICAL EMERGENCY:</b> 800.667.4191</p>
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#### PROJECT DATA

**APPLICABLE CODES:**  
INTERNATIONAL BUILDING CODE - 2009 AS MODIFIED BY THE WISCONSIN ENROLLED COMMERCIAL BUILDING CODE IN CHAPTER SPS 362.

**BUILDING CLASSIFICATION:**  
FACTORY-INDUSTRIAL:  
F-1 (MODERATE HAZARD)  
STORAGE:  
S-1 (MODERATE HAZARD)

**CONSTRUCTION CLASSIFICATION:**  
TYPE 2B - UNPROTECTED W/ AUTOMATIC SPRINKLER SYSTEM

**BUILDING AREA:**  
413,84 SF.

**PROJECT DEVELOPMENT DATA:**

PROPOSED LAKEVIEW LOT 87:	
SITE ZONING:	M-2, GENERAL MANUFACTURING DISTRICT
SITE AREA:	26.21 ACRES (141,712 SF.)
BUILDING AREA:	413,84 SF.
BLDG. COVERAGE RATIO:	
BUILDING IMPERVIOUS AREA:	413,84 SF.
ALL OTHER IMPERVIOUS AREA:	38,172 SF.
TOTAL IMPERVIOUS AREA:	796,056 SF.
TOTAL IMPERVIOUS PERCENTAGE:	69.97%
GREENSPACE COVERAGE RATIO:	
TOTAL LANDSCAPED AREA:	342,716 SF.
TOTAL LANDSCAPED PERCENTAGE:	30.03%
PARKING:	
TOTAL CAR SPACES (INCLUDING HANDICAPPED):	218 SPACES
TOTAL TRUCK/DOCK SPACES:	42 DOCK LOCATIONS
TOTAL TRAILER (OFF-BUILDING) SPACES:	166 TRAILER SPACES

**NOTE:**  
PRIOR TO CONSTRUCTION, A PRECONSTRUCTION MEETING MUST BE HELD AT THE VILLAGE OFFICES. THE PRECONSTRUCTION CONFERENCE SHALL BE SCHEDULED AND MODERATED BY THE DESIGN ENGINEER OF RECORD.

**OWNER:**  
CENTERPOINT PROPERTIES  
5140 SOUTH 3RD STREET, SUITE 200  
MILWAUKEE, WISCONSIN 53201  
PHONE: 414.482.9630  
FAX: 414.482.5302  
ATTN: PAUL SCHMITTER



**ARCHITECT:**  
PARTNERS IN DESIGN ARCHITECTS  
2610 LAKE COOK ROAD, SUITE 280  
RIVERWOODS, ILLINOIS 60015  
PHONE: 847.940.0300  
ATTN: WERNER BRISSEKE, AIA  
OR  
JEREMY HALL, AIA



**CIVIL ENGINEER:**  
PINNACLE ENGINEERING GROUP  
5850 W. BLUEMOUND ROAD, SUITE 314  
BROOKFIELD, WISCONSIN 53005  
PHONE: 414.588.5851  
ATTN: ADAM ARTZ, P.E.



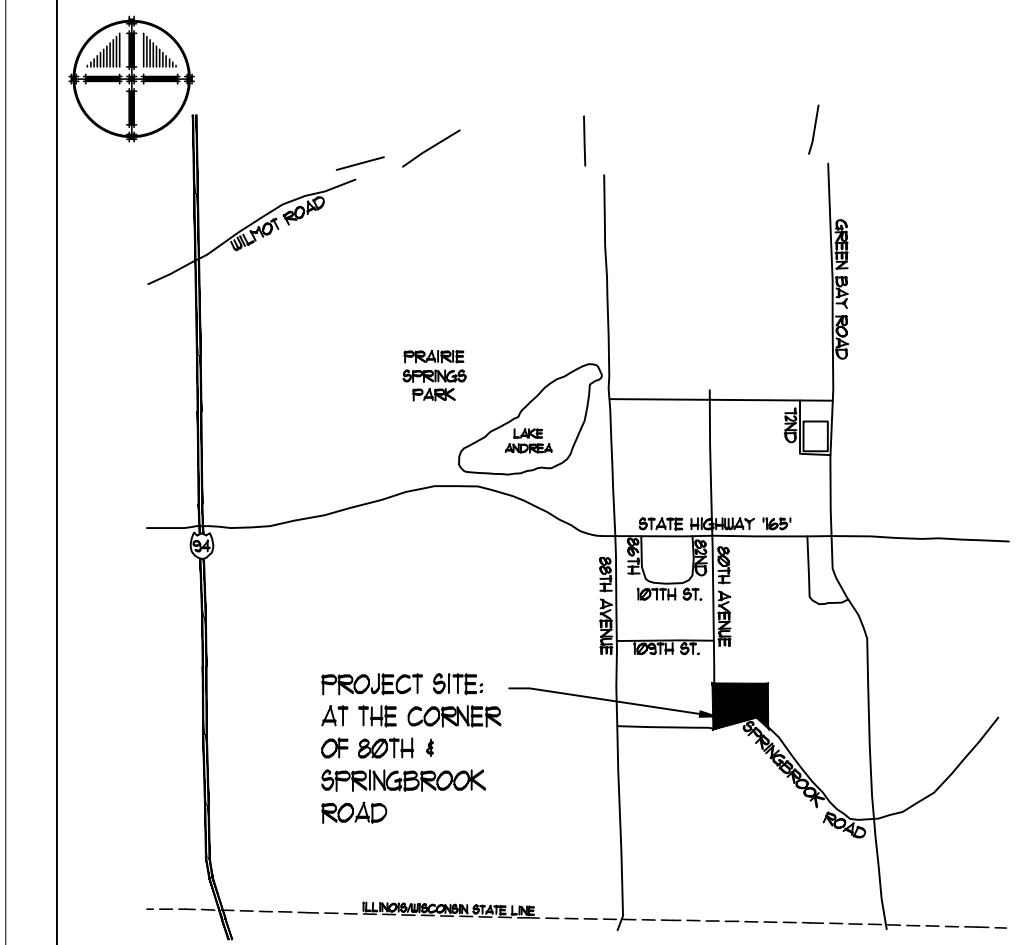
#### GENERAL NOTES

- DO NOT SCALE DRAWINGS.
- CONTRACTOR SHALL FIELD VERIFY AND BECOME THOROUGHLY FAMILIAR WITH ALL CONDITIONS & DIMENSIONS.
- EACH CONTRACTOR SHALL REVIEW COMPLETE PLANS FOR RELATED WORK.
- ALL WORK SHALL BE IN COMPLIANCE W/ STATE & LOCAL CODES FOR RESPECTIVE TRADES.

#### SHEET INDEX

TI	TITLE SHEET
<b>CIVIL</b>	
C-1	COVER SHEET
C-2	EXISTING CONDITIONS
C-3	SITE DIMENSIONAL AND PAVING PLAN
C-4	SITE DIMENSIONAL AND PAVING PLAN
C-5	SITE DIMENSIONAL AND PAVING PLAN
C-6	GRADING PLAN
C-7	GRADING PLAN
C-8	GRADING PLAN
C-9	UTILITY PLAN
C-10	UTILITY PLAN
C-11	UTILITY PLAN
C-12	SITE STABILIZATION PLAN
C-13	SITE STABILIZATION PLAN
C-14	SITE STABILIZATION PLAN
C-15	CONSTRUCTION DETAILS
C-16	CONSTRUCTION DETAILS
C-17	CONSTRUCTION DETAILS
DT-1	UTILITY DRAIN TILE PLAN
DT-2	UTILITY DRAIN TILE PLAN
DT-3	UTILITY DRAIN TILE PLAN
<b>LANDSCAPING PLAN</b>	
LI	LANDSCAPING PLAN
<b>SITE LIGHTING PLAN</b>	
SLI	SITE LIGHTING PLAN
<b>ARCHITECTURAL</b>	
A1	SITE PLAN & DETAILS
A3	BUILDING PLAN
A4	BUILDING ELEVATIONS
A42	BUILDING ELEVATIONS

#### LOCATION MAP



#### REVISIONS

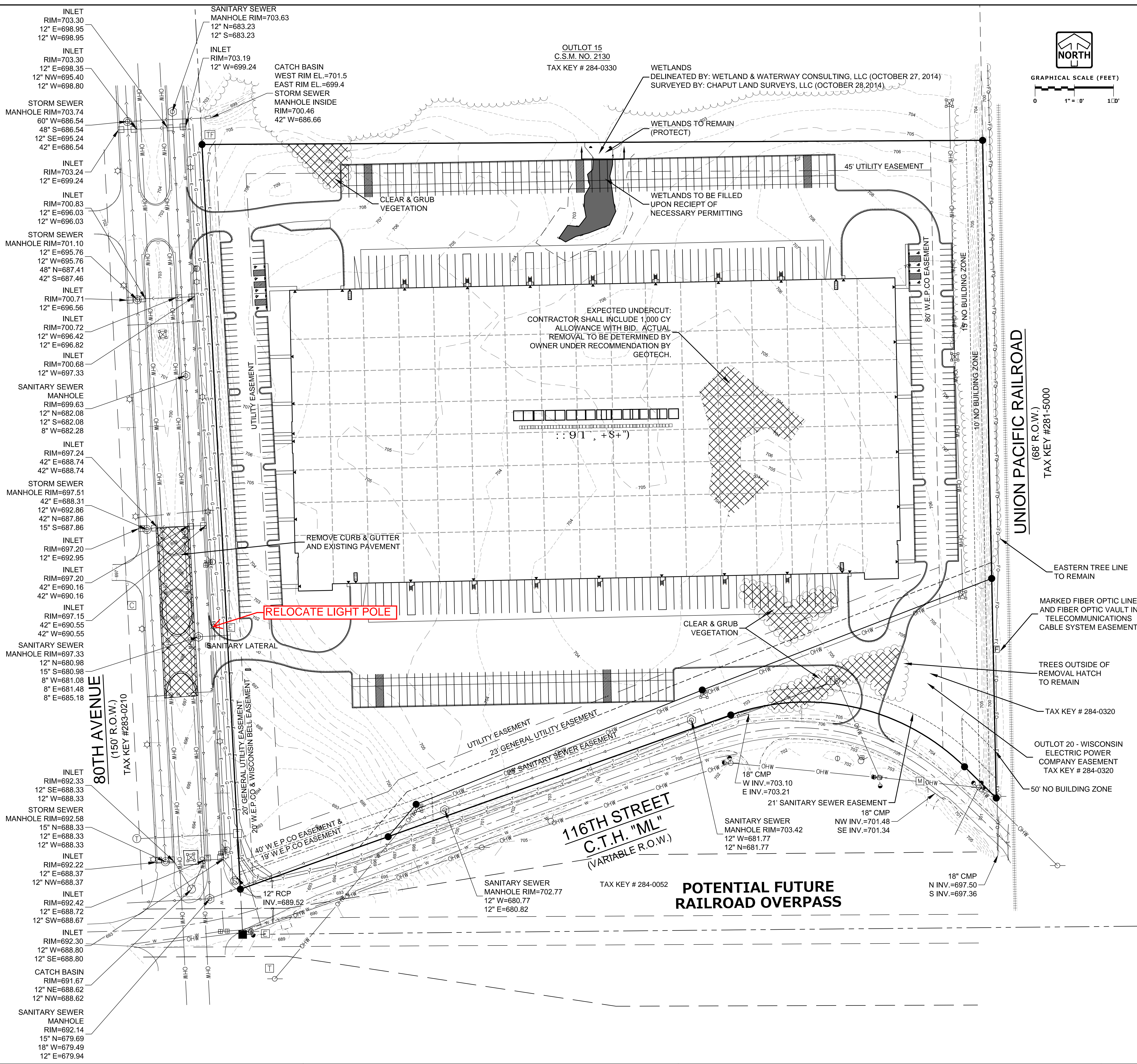


PROJECT NUMBER:  
437.15.128  
DATE: JANUARY 27, 2016

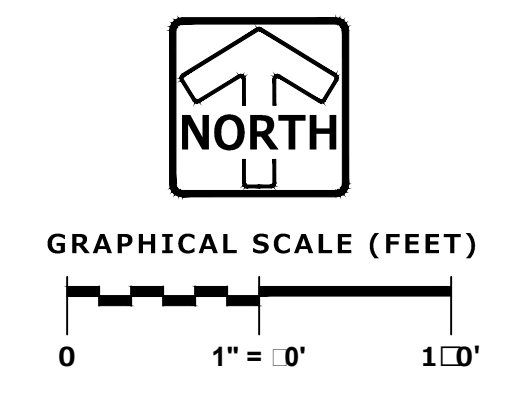
SITE AND OPERATIONAL PLANS

ALL EMAILS  
HAVE  
INCORRECT  
SPELLING

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF PINNACLE ENGINEERING GROUP, LLC



SANITARY MANHOLE	⊙	STORM SEWER	—
STORM MANHOLE	⊙	WATER MAIN	—
CATCH BASIN	⊙	LIGHTING	⊙
INLET	⊙	ELECTRICAL CABLE	—
PRECAST FLARED END SECTION	⊙	ELECTRICAL TRANSFORMER OR PEDESTAL	⊙
CONCRETE HEADWALL	⊙	POWER POLE	⊙
VALVE VAULT	⊙	POWER POLE WITH LIGHT	⊙
VALVE BOX	⊙	GUY WIRE	—
FIRE HYDRANT	⊙	STREET SIGN	⊙
BUFFALO BOX	⊙	GAS MAIN	—
CLEANOUT	⊙	TELEPHONE LINE	—
SANITARY SEWER	—	CONTOUR	—
FORCE MAIN	—	TREE WITH TRUNK SIZE	⊙
CONCRETE SIDEWALK	—	EASEMENT LINE	—



- CONTRACTOR WILL BE RESPONSIBLE FOR ENSURING THAT THE APPROPRIATE GOVERNMENT ENTITIES ARE NOTIFIED OF THE WORK AND NECESSARY PERMITS ARE OBTAINED.
- CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ITEMS/DEBRIS, CLASSIFICATION, AND PROPER DISPOSAL (E.G., ARRANGE FOR ADEQUATE COLLECTION AND TRANSPORTATION TO DELIVER THE RECOVERED MATERIALS TO THE APPROVED RECYCLING CENTER OR PROCESSING FACILITY). CONTRACTOR SHALL MAINTAIN RECORDS ACCESSIBLE TO THE OWNER AND GOVERNMENT ENTITIES.
- CONDUCT DEMOLITION OPERATIONS AND REMOVE DEBRIS IN MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES.
- CONDUCT DEMOLITION OPERATIONS TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND FACILITIES DESIGNATED TO REMAIN.
- PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION AS REQUIRED FOR SAFETY AND SECURITY.
- PROVIDE BARRIERS AND APPROPRIATE SIGNS WHERE NECESSARY TO RESTRICT PEDESTRIANS FROM WANDERING INTO CONSTRUCTION AREAS. PROVIDE ACCEPTABLE TEMPORARY SECURITY BARRIERS WHERE PHYSICAL SECURITY OF BUILDINGS OR FENCES IS COMPROMISED DUE TO DEMOLITION WORK.
- PROVIDE TEMPORARY WEATHER PROTECTION DURING INTERVAL BETWEEN DEMOLITION AND REMOVAL OF EXISTING CONSTRUCTION ON EXTERIOR SURFACES AND INSTALLATION OF NEW CONSTRUCTION TO ENSURE NO WATER LEAKAGE OR DAMAGE OCCURS TO STRUCTURE OR INTERIOR AREAS OF EXISTING BUILDING.
- ERECT TEMPORARY ENCLOSURES AS NECESSARY TO LIMIT DUST. USE WATER AS NECESSARY TO LAY DUST WHEN CHIPPING, CORING, OR SAWING CONCRETE, MASONRY OR SIMILAR MATERIALS. WATER MUST BE CONTROLLED INSIDE BUILDINGS BY DAMMING, OR OTHER CONTAINMENT METHOD.
- PROVIDE AND MAINTAIN INTERIOR AND EXTERIOR SHORING, BRACING OR STRUCTURAL SUPPORT TO PRESERVE STABILITY AND PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF STRUCTURES AND ADJACENT FACILITIES THAT ARE NOT PART OF DEMOLITION.
- PERFORM WORK IN SAFE AND SYSTEMATIC MANNER.
- WEAR PROPER PERSONAL PROTECTIVE EQUIPMENT AT ALL TIMES.
- COMPLETELY BACKFILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM UTILITY REMOVAL AND OTHER DEMOLITION WORK WITH CLOSE-GRADED AGGREGATE OR COHESIVE STRUCTURAL FILL.
- REPAIR DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED.

EXISTING CONDITIONS SURVEY PROVIDED BY PINNACLE ENGINEERING GROUP, ALTHOUGH PEG HAS NO REASON TO BELIEVE THE SURVEY IS INACCURATE. PEG MAKES NO WARRANTIES THAT EXISTING INFORMATION CONTAINED WITHIN THESE PLANS IS ALL INCLUSIVE OR ACCURATE. CONTRACTOR SHALL UNDERTAKE NECESSARY EFFORTS TO VERIFY THE EXISTING CONDITIONS PRIOR TO THE START OF MATERIAL PROCUREMENT AND CONSTRUCTION EFFORTS/ACTIVITIES.

THE INFORMATION SHOWN ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATIONS AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. IF ADDITIONAL UTILITIES ARE KNOWN TO EXIST IN THE PROPERTY, THE OWNER WILL PROVIDE EXISTING PLANS OF OTHER UTILITIES SERVING THE SITE AND THE BUILDING THAT OTHERWISE CANNOT BE LOCATED BY A VISUAL OBSERVATION OF THE PROPERTY OR OF WHICH THE SURVEYOR WOULD HAVE NO KNOWLEDGE.

CONTRACTOR IS RESPONSIBLE TO INSTALL NECESSARY EROSION & SEDIMENT CONTROL MEASURES PRIOR TO LAND DISTURBANCES CREATED BY DEMOLITION ACTIVITIES. SEE SITE STABILIZATION PLAN.

PLAN | DESIGN | DELIVER  
www.pinnacle-engr.com

**PINNACLE ENGINEERING GROUP**  
ENGINEERING | NATURAL RESOURCES | SURVEYING

WISCONSIN OFFICE:  
18800 W. BELMONT ROAD  
BROOKFIELD, WI 53005  
(262) 754-8888

CHICAGO | MILWAUKEE | NATIONWIDE

TAX KEY # 284-0320

TAX KEY # 284-0052

TAX KEY # 281-5000

TAX KEY # 284-0320

TAX KEY # 284-0320

TAX KEY # 284-0320

PROJECT NO. \_\_\_\_\_

DATE \_\_\_\_\_

SCALE \_\_\_\_\_

START DATE: 04/11/2014

DATE: 04/11/2014

SCALE: 1" = 10'

DATE: 04/11/2014

SCALE: 1" = 10'

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102 LF OF 30" CURB & GUTTER  
(MATCH EXISTING)

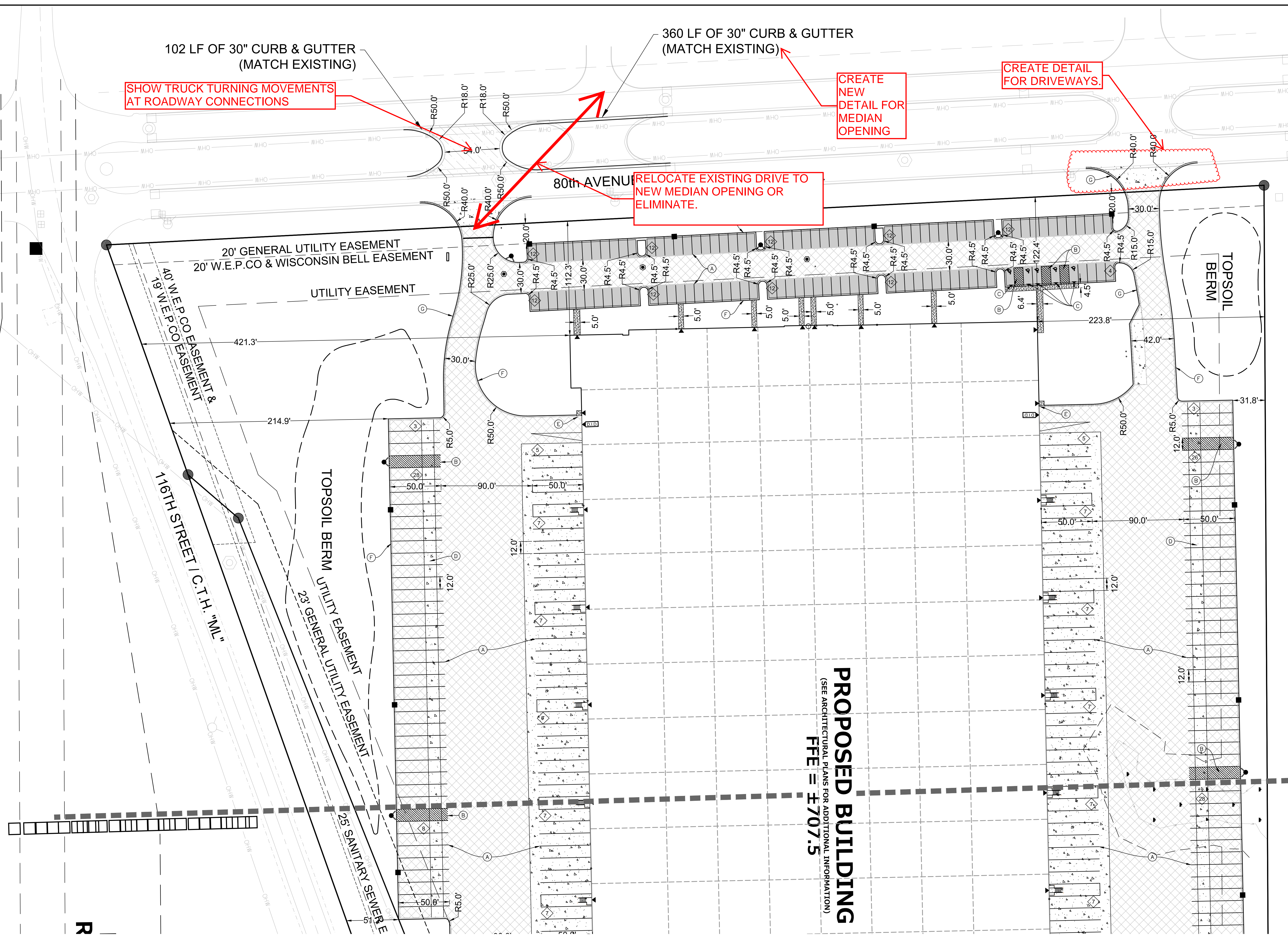
360 LF OF 30" CURB & GUTTER  
(MATCH EXISTING)

SHOW TRUCK TURNING MOVEMENTS  
AT ROADWAY CONNECTIONS

CREATE  
NEW  
DETAIL FOR  
MEDIAN  
OPENING

CREATE DETAIL  
FOR DRIVEWAYS.

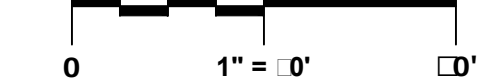
RELOCATE EXISTING DRIVE TO  
NEW MEDIAN OPENING OR  
ELIMINATE.



**PROPOSED BUILDING**  
(SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION)  
FFE = #707.5



GRAPHICAL SCALE (FEET)



	4" CRUSHED AGGREGATE BASE COURSE (1.125" DENSE GRADED LIMESTONE) 4" ASPHALTIC CONC. (2 LFPS) LOWER LAYER (0.3 MIX, 2.25" THICK, 19.0 mm NOMINAL SIZE) UPPER LAYER (0.3 MIX, 1.75" THICK, 9.5 mm NOMINAL SIZE)
	6" CRUSHED AGGREGATE BASE COURSE (1.125" DENSE GRADED LIMESTONE) 6" ASPHALTIC CONC. (2 LFPS) LOWER LAYER (0.3 MIX, 2.25" THICK, 19.0 mm NOMINAL SIZE) UPPER LAYER (0.3 MIX, 1.75" THICK, 9.5 mm NOMINAL SIZE)
	8" CRUSHED AGGREGATE BASE COURSE (1.125" DENSE GRADED LIMESTONE) 8" PC (6000 PSI AIR ENTRAINED CONCRETE WITH 6 x 6 x 6 GAUGE STEEL MESH) 2" ASPHALTIC CONC.
	12" CRUSHED AGGREGATE BASE COURSE (1.125" DENSE GRADED LIMESTONE) 12" PC (6000 PSI AIR ENTRAINED CONCRETE WITH 6 x 6 x 6 GAUGE STEEL MESH) 2" ASPHALTIC CONC.
	18" CRUSHED AGGREGATE BASE COURSE (1.125" DENSE GRADED LIMESTONE) 18" PC (6000 PSI AIR ENTRAINED CONCRETE WITH 6 x 6 x 6 GAUGE STEEL MESH) 2" ASPHALTIC CONC.
	24" CRUSHED AGGREGATE BASE COURSE (1.125" DENSE GRADED LIMESTONE) 24" PC (6000 PSI AIR ENTRAINED CONCRETE WITH 6 x 6 x 6 GAUGE STEEL MESH) 2" ASPHALTIC CONC.
	30" CRUSHED AGGREGATE BASE COURSE (1.125" DENSE GRADED LIMESTONE) 30" PC (6000 PSI AIR ENTRAINED CONCRETE WITH 6 x 6 x 6 GAUGE STEEL MESH) 2" ASPHALTIC CONC.
	36" CRUSHED AGGREGATE BASE COURSE (1.125" DENSE GRADED LIMESTONE) 36" PC (6000 PSI AIR ENTRAINED CONCRETE WITH 6 x 6 x 6 GAUGE STEEL MESH) 2" ASPHALTIC CONC.
	42" CRUSHED AGGREGATE BASE COURSE (1.125" DENSE GRADED LIMESTONE) 42" PC (6000 PSI AIR ENTRAINED CONCRETE WITH 6 x 6 x 6 GAUGE STEEL MESH) 2" ASPHALTIC CONC.
	48" CRUSHED AGGREGATE BASE COURSE (1.125" DENSE GRADED LIMESTONE) 48" PC (6000 PSI AIR ENTRAINED CONCRETE WITH 6 x 6 x 6 GAUGE STEEL MESH) 2" ASPHALTIC CONC.
	54" CRUSHED AGGREGATE BASE COURSE (1.125" DENSE GRADED LIMESTONE) 54" PC (6000 PSI AIR ENTRAINED CONCRETE WITH 6 x 6 x 6 GAUGE STEEL MESH) 2" ASPHALTIC CONC.
	60" CRUSHED AGGREGATE BASE COURSE (1.125" DENSE GRADED LIMESTONE) 60" PC (6000 PSI AIR ENTRAINED CONCRETE WITH 6 x 6 x 6 GAUGE STEEL MESH) 2" ASPHALTIC CONC.
	66" CRUSHED AGGREGATE BASE COURSE (1.125" DENSE GRADED LIMESTONE) 66" PC (6000 PSI AIR ENTRAINED CONCRETE WITH 6 x 6 x 6 GAUGE STEEL MESH) 2" ASPHALTIC CONC.
	72" CRUSHED AGGREGATE BASE COURSE (1.125" DENSE GRADED LIMESTONE) 72" PC (6000 PSI AIR ENTRAINED CONCRETE WITH 6 x 6 x 6 GAUGE STEEL MESH) 2" ASPHALTIC CONC.
	78" CRUSHED AGGREGATE BASE COURSE (1.125" DENSE GRADED LIMESTONE) 78" PC (6000 PSI AIR ENTRAINED CONCRETE WITH 6 x 6 x 6 GAUGE STEEL MESH) 2" ASPHALTIC CONC.
	84" CRUSHED AGGREGATE BASE COURSE (1.125" DENSE GRADED LIMESTONE) 84" PC (6000 PSI AIR ENTRAINED CONCRETE WITH 6 x 6 x 6 GAUGE STEEL MESH) 2" ASPHALTIC CONC.
	90" CRUSHED AGGREGATE BASE COURSE (1.125" DENSE GRADED LIMESTONE) 90" PC (6000 PSI AIR ENTRAINED CONCRETE WITH 6 x 6 x 6 GAUGE STEEL MESH) 2" ASPHALTIC CONC.
	96" CRUSHED AGGREGATE BASE COURSE (1.125" DENSE GRADED LIMESTONE) 96" PC (6000 PSI AIR ENTRAINED CONCRETE WITH 6 x 6 x 6 GAUGE STEEL MESH) 2" ASPHALTIC CONC.
	102" CRUSHED AGGREGATE BASE COURSE (1.125" DENSE GRADED LIMESTONE) 102" PC (6000 PSI AIR ENTRAINED CONCRETE WITH 6 x 6 x 6 GAUGE STEEL MESH) 2" ASPHALTIC CONC.
	108" CRUSHED AGGREGATE BASE COURSE (1.125" DENSE GRADED LIMESTONE) 108" PC (6000 PSI AIR ENTRAINED CONCRETE WITH 6 x 6 x 6 GAUGE STEEL MESH) 2" ASPHALTIC CONC.
	114" CRUSHED AGGREGATE BASE COURSE (1.125" DENSE GRADED LIMESTONE) 114" PC (6000 PSI AIR ENTRAINED CONCRETE WITH 6 x 6 x 6 GAUGE STEEL MESH) 2" ASPHALTIC CONC.
	120" CRUSHED AGGREGATE BASE COURSE (1.125" DENSE GRADED LIMESTONE) 120" PC (6000 PSI AIR ENTRAINED CONCRETE WITH 6 x 6 x 6 GAUGE STEEL MESH) 2" ASPHALTIC CONC.
	126" CRUSHED AGGREGATE BASE COURSE (1.125" DENSE GRADED LIMESTONE) 126" PC (6000 PSI AIR ENTRAINED CONCRETE WITH 6 x 6 x 6 GAUGE STEEL MESH) 2" ASPHALTIC CONC.
	132" CRUSHED AGGREGATE BASE COURSE (1.125" DENSE GRADED LIMESTONE) 132" PC (6000 PSI AIR ENTRAINED CONCRETE WITH 6 x 6 x 6 GAUGE STEEL MESH) 2" ASPHALTIC CONC.
	138" CRUSHED AGGREGATE BASE COURSE (1.125" DENSE GRADED LIMESTONE) 138" PC (6000 PSI AIR ENTRAINED CONCRETE WITH 6 x 6 x 6 GAUGE STEEL MESH) 2" ASPHALTIC CONC.
	144" CRUSHED AGGREGATE BASE COURSE (1.125" DENSE GRADED LIMESTONE) 144" PC (6000 PSI AIR ENTRAINED CONCRETE WITH 6 x 6 x 6 GAUGE STEEL MESH) 2" ASPHALTIC CONC.
	150" CRUSHED AGGREGATE BASE COURSE (1.125" DENSE GRADED LIMESTONE) 150" PC (6000 PSI AIR ENTRAINED CONCRETE WITH 6 x 6 x 6 GAUGE STEEL MESH) 2" ASPHALTIC CONC.
	156" CRUSHED AGGREGATE BASE COURSE (1.125" DENSE GRADED LIMESTONE) 156" PC (6000 PSI AIR ENTRAINED CONCRETE WITH 6 x 6 x 6 GAUGE STEEL MESH) 2" ASPHALTIC CONC.
	162" CRUSHED AGGREGATE BASE COURSE (1.125" DENSE GRADED LIMESTONE) 162" PC (6000 PSI AIR ENTRAINED CONCRETE WITH 6 x 6 x 6 GAUGE STEEL MESH) 2" ASPHALTIC CONC.
	168" CRUSHED AGGREGATE BASE COURSE (1.125" DENSE GRADED LIMESTONE) 168" PC (6000 PSI AIR ENTRAINED CONCRETE WITH 6 x 6 x 6 GAUGE STEEL MESH) 2" ASPHALTIC CONC.
	174" CRUSHED AGGREGATE BASE COURSE (1.125" DENSE GRADED LIMESTONE) 174" PC (6000 PSI AIR ENTRAINED CONCRETE WITH 6 x 6 x 6 GAUGE STEEL MESH) 2" ASPHALTIC CONC.
	180" CRUSHED AGGREGATE BASE COURSE (1.125" DENSE GRADED LIMESTONE) 180" PC (6000 PSI AIR ENTRAINED CONCRETE WITH 6 x 6 x 6 GAUGE STEEL MESH) 2" ASPHALTIC CONC.
	186" CRUSHED AGGREGATE BASE COURSE (1.125" DENSE GRADED LIMESTONE) 186" PC (6000 PSI AIR ENTRAINED CONCRETE WITH 6 x 6 x 6 GAUGE STEEL MESH) 2" ASPHALTIC CONC.
	192" CRUSHED AGGREGATE BASE COURSE (1.125" DENSE GRADED LIMESTONE) 192" PC (6000 PSI AIR ENTRAINED CONCRETE WITH 6 x 6 x 6 GAUGE STEEL MESH) 2" ASPHALTIC CONC.
	198" CRUSHED AGGREGATE BASE COURSE (1.125" DENSE GRADED LIMESTONE) 198" PC (6000 PSI AIR ENTRAINED CONCRETE WITH 6 x 6 x 6 GAUGE STEEL MESH) 2" ASPHALTIC CONC.
	204" CRUSHED AGGREGATE BASE COURSE (1.125" DENSE GRADED LIMESTONE) 204" PC (6000 PSI AIR ENTRAINED CONCRETE WITH 6 x 6 x 6 GAUGE STEEL MESH) 2" ASPHALTIC CONC.
	210" CRUSHED AGGREGATE BASE COURSE (1.125" DENSE GRADED LIMESTONE) 210" PC (6000 PSI AIR ENTRAINED CONCRETE WITH 6 x 6 x 6 GAUGE STEEL MESH) 2" ASPHALTIC CONC.
	216" CRUSHED AGGREGATE BASE COURSE (1.125" DENSE GRADED LIMESTONE) 216" PC (6000 PSI AIR ENTRAINED CONCRETE WITH 6 x 6 x 6 GAUGE STEEL MESH) 2" ASPHALTIC CONC.
	222" CRUSHED AGGREGATE BASE COURSE (1.125" DENSE GRADED LIMESTONE) 222" PC (6000 PSI AIR ENTRAINED CONCRETE WITH 6 x 6 x 6 GAUGE STEEL MESH) 2" ASPHALTIC CONC.
	228" CRUSHED AGGREGATE BASE COURSE (1.125" DENSE GRADED LIMESTONE) 228" PC (6000 PSI AIR ENTRAINED CONCRETE WITH 6 x 6 x 6 GAUGE STEEL MESH) 2" ASPHALTIC CONC.
	234" CRUSHED AGGREGATE BASE COURSE (1.125" DENSE GRADED LIMESTONE) 234" PC (6000 PSI AIR ENTRAINED CONCRETE WITH 6 x 6 x 6 GAUGE STEEL MESH) 2" ASPHALTIC CONC.
	240" CRUSHED AGGREGATE BASE COURSE (1.125" DENSE GRADED LIMESTONE) 240" PC (6000 PSI AIR ENTRAINED CONCRETE WITH 6 x 6 x 6 GAUGE STEEL MESH) 2" ASPHALTIC CONC.
	246" CRUSHED AGGREGATE BASE COURSE (1.125" DENSE GRADED LIMESTONE) 246" PC (6000 PSI AIR ENTRAINED CONCRETE WITH 6 x 6 x 6 GAUGE STEEL MESH) 2" ASPHALTIC CONC.
	252" CRUSHED AGGREGATE BASE COURSE (1.125" DENSE GRADED LIMESTONE) 252" PC (6000 PSI AIR ENTRAINED CONCRETE WITH 6 x 6 x 6 GAUGE STEEL MESH) 2" ASPHALTIC CONC.
	258" CRUSHED AGGREGATE BASE COURSE (1.125" DENSE GRADED LIMESTONE) 258" PC (6000 PSI AIR ENTRAINED CONCRETE WITH 6 x 6 x 6 GAUGE STEEL MESH) 2" ASPHALTIC CONC.
	264" CRUSHED AGGREGATE BASE COURSE (1.125" DENSE GRADED LIMESTONE) 264" PC (6000 PSI AIR ENTRAINED CONCRETE WITH 6 x 6 x 6 GAUGE STEEL MESH) 2" ASPHALTIC CONC.
	270" CRUSHED AGGREGATE BASE COURSE (1.125" DENSE GRADED LIMESTONE) 270" PC (6000 PSI AIR ENTRAINED CONCRETE WITH 6 x 6 x 6 GAUGE STEEL MESH) 2" ASPHALTIC CONC.
	276" CRUSHED AGGREGATE BASE COURSE (1.125" DENSE GRADED LIMESTONE) 276" PC (6000 PSI AIR ENTRAINED CONCRETE WITH 6 x 6 x 6 GAUGE STEEL MESH) 2" ASPHALTIC CONC.
	282" CRUSHED AGGREGATE BASE COURSE (1.125" DENSE GRADED LIMESTONE) 282" PC (6000 PSI AIR ENTRAINED CONCRETE WITH 6 x 6 x 6 GAUGE STEEL MESH) 2" ASPHALTIC CONC.
	288" CRUSHED AGGREGATE BASE COURSE (1.125" DENSE GRADED LIMESTONE) 288" PC (6000 PSI AIR ENTRAINED CONCRETE WITH 6 x 6 x 6 GAUGE STEEL MESH) 2" ASPHALTIC CONC.
	294" CRUSHED AGGREGATE BASE COURSE (1.125" DENSE GRADED LIMESTONE) 294" PC (6000 PSI AIR ENTRAINED CONCRETE WITH 6 x 6 x 6 GAUGE STEEL MESH) 2" ASPHALTIC CONC.
	300" CRUSHED AGGREGATE BASE COURSE (1.125" DENSE GRADED LIMESTONE) 300" PC (6000 PSI AIR ENTRAINED CONCRETE WITH 6 x 6 x 6 GAUGE STEEL MESH) 2" ASPHALTIC CONC.

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POTENTIAL FUTURE RAILROAD OVERPASS

CONCRETE APRON ACCEPTABLE TO THE COUNTY?

21' SANITARY SEWER EASEMENT

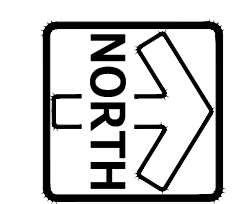
80' W.E.P.CO EASEMENT

15' NO BUILDING ZONE  
10' NO BUILDING ZONE

ACCESS OFF OF CTH ML SHALL BE ELIMINATED BY THE PROPERTY OWNER AT THE DIRECTION OF THE VILLAGE OR COUNTY WHEN 116TH ST IS IMPROVED IN THE FUTURE

PROPOSED BUILDING  
(SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION)  
FFE = ±707.5

MATCH LINE SEE SHEET C-4



GRAPHICAL SCALE (FEET)  
0 1" = 0' 0'

	4\"/>
	12\"/>
	6\"/>
	4\"/>
	8\"/>
	3\"/>
	1\"/>
	1/2\"/>
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40' W.E.P.CO EASEMENT &  
19' W.E.P.CO EASEMENT

20' GENERAL UTILITY EASEMENT  
20' W.E.P.CO & WISCONSIN EASEMENT

116TH STREET / C.T.H. "ML"

ADD INLET  
OR EXTEND  
TRENCH  
DRAIN INTO  
GUTTER

CHANGE TO  
STANDARD  
GUTTER

CHANGE TO  
REJECT  
GUTTER

80th AVENUE

CREATE  
DETAIL

CHANGE TO  
STANDARD  
CURB

ADDITIONAL GRADES  
NEEDED. REJECT  
GUTTER?

REJECT  
GUTTER

ADD  
SIDEWALK  
ELEVATIONS

UNDRAINED  
DEPRESSION IS  
INTENTIONAL?

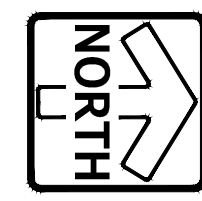
UNDRAINED  
DEPRESSION IS  
INTENTIONAL?

UNDRAINED  
DEPRESSION IS  
INTENTIONAL?

**PROPOSED BUILDING**  
(SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION)  
FFE = ±707.5

25' SANITARY SEWER EASEMENT

45' UTILITY EASEMENT



GRAPHICAL SCALE (FEET)  
0 1" = 10' 0'

	SANITARY MANHOLE
	STORM MANHOLE
	CATCH BASIN
	INLET
	BUFFALO BOX
	CLEANOUT
	CONTOUR
	TOPSOIL PLACEMENT
	SPOT ELEVATION
	DIRECTION OF SURFACE FLOW
	DITCH OR SWALE
	DIVERSION SWALE
	OVERFLOW RELIEF ROUTING
	CONCRETE SIDEWALK
	CURB AND GUTTER
	DEPRESSED CURB
	REVERSE PITCH CURB & GUTTER

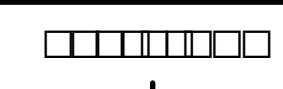
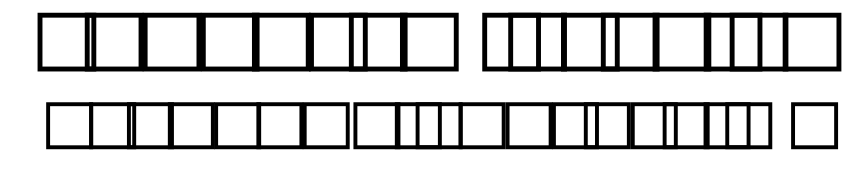
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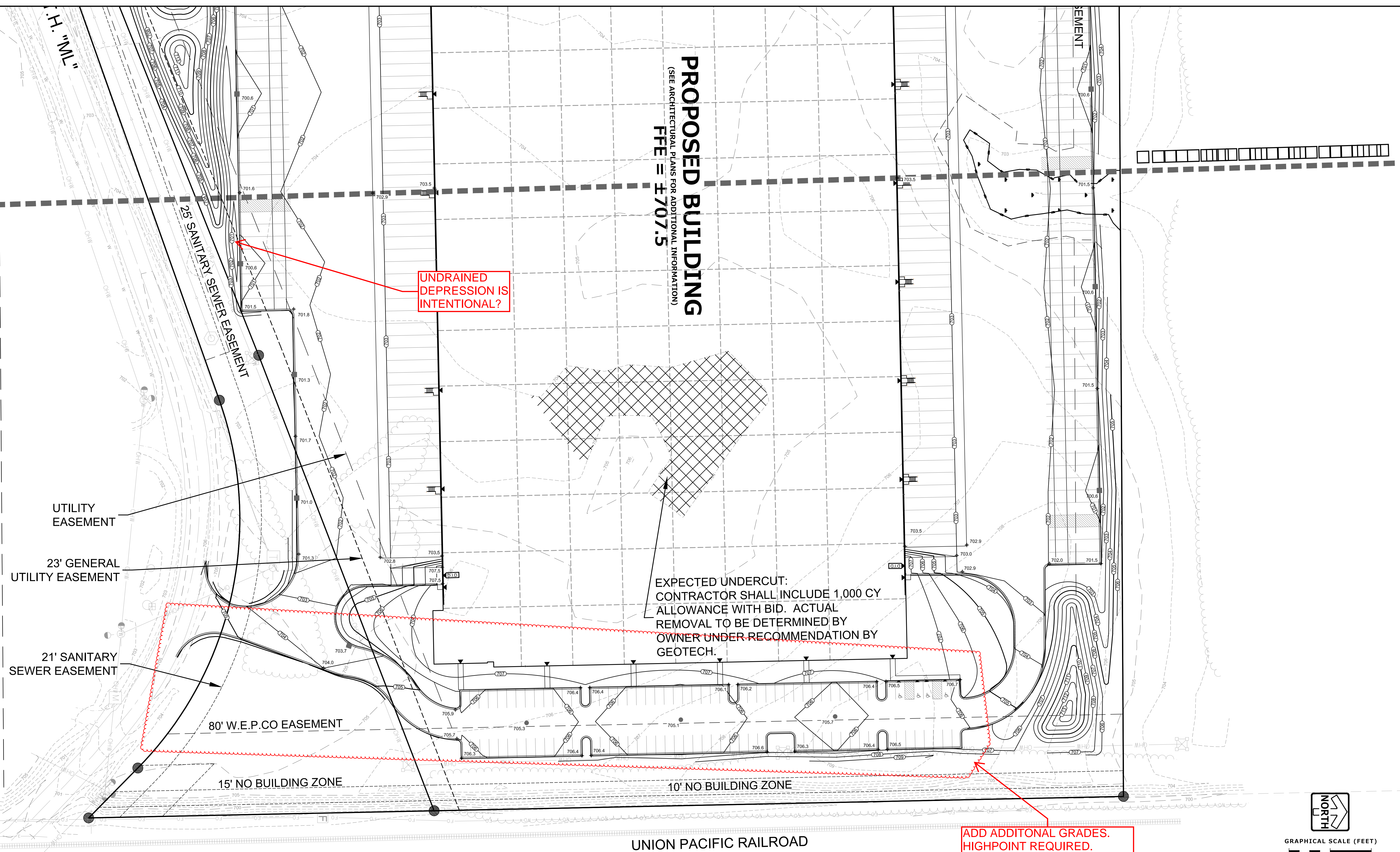
PROJECT No. \_\_\_\_\_  
DATE \_\_\_\_\_  
SCALE \_\_\_\_\_

DATE PLOTTED: 2/21/24

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POTENTIAL FUTURE RAILROAD OVERPASS



PROPOSED BUILDING  
(SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION)  
FFE = ±707.5

UNDRAINED DEPRESSION IS INTENTIONAL?

EXPECTED UNDERCUT:  
CONTRACTOR SHALL INCLUDE 1,000 CY ALLOWANCE WITH BID. ACTUAL REMOVAL TO BE DETERMINED BY OWNER UNDER RECOMMENDATION BY GEOTECH.

ADD ADDITIONAL GRADES. HIGHPOINT REQUIRED. LOOKS LIKE MOST GUTTER SHOULD BE REJECT.

UTILITY EASEMENT  
23' GENERAL UTILITY EASEMENT  
21' SANITARY SEWER EASEMENT  
80' W.E.P.CO EASEMENT  
15' NO BUILDING ZONE

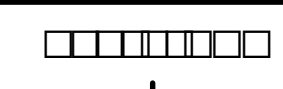
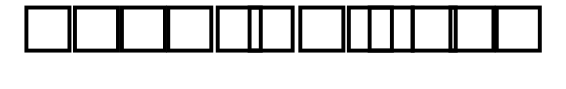
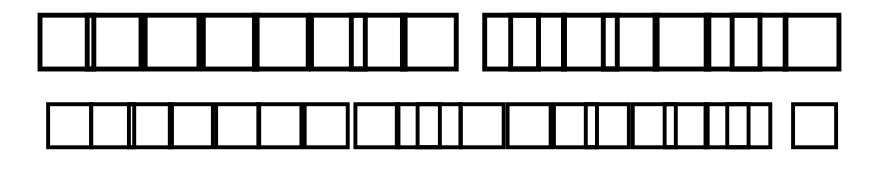
UNION PACIFIC RAILROAD



GRAPHICAL SCALE (FEET)  
0 1" = 10' 10'

	SANITARY MANHOLE
	STORM MANHOLE
	CATCH BASIN
	INLET
	BUFFALO BOX
	CLEANOUT
	CONTOUR
	TOPSOIL PLACEMENT
	SPOT ELEVATION
	DIRECTION OF SURFACE FLOW
	DITCH OR SWALE
	DIVERSION SWALE
	OVERFLOW RELIEF ROUTING
	CONCRETE SIDEWALK
	CURB AND GUTTER
	DEPRESSED CURB
	REVERSE PITCH CURB & GUTTER

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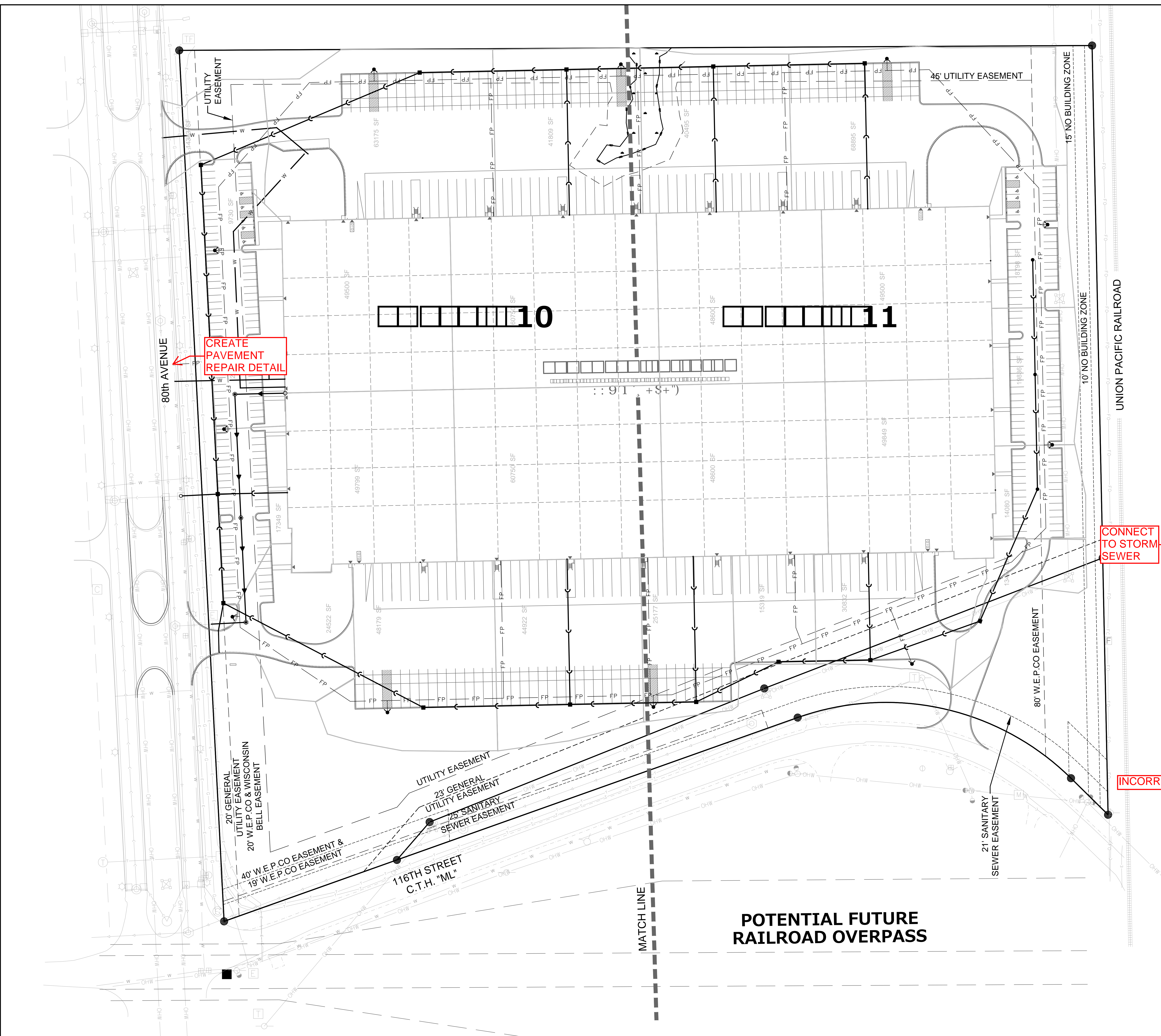
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PROJECT NO. \_\_\_\_\_  
DATE \_\_\_\_\_  
SCALE \_\_\_\_\_  
SHEET NO. \_\_\_\_\_ OF \_\_\_\_\_  
DATE \_\_\_\_\_

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**GRAPHICAL SCALE (FEET)**  
0 1" = 50' 100'

**LEGEND**

	SANITARY SEWER MANHOLE		UTILITY CROSSING
	STORM SEWER CATCH BASIN (ROUND CASTING)		ELECTRICAL CABLE
	STORM SEWER CATCH BASIN (RECTANGULAR CASTING)		GAS MAIN
	PRECAST CONCRETE FLARED END SECTION		TELEPHONE LINE
	CLEANOUT		OVERHEAD WIRES
	VALVE BOX		LIGHTING
	FIRE HYDRANT		ELECTRICAL TRANSFORMER OR PEDESTAL
	SANITARY SEWER		POWER POLE
	FORCE MAIN		POWER POLE WITH LIGHTS
	STORM SEWER		STREET SIGN
	DRAIN TILE		
	WATER MAIN		
	FIRE PROTECTION		

- NOTES**
- EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE TYPE, LOCATION, SIZE AND ELEVATION OF UNDERGROUND UTILITIES AS THEY EXIST. CONTRACTOR SHALL CALL "DIGGER'S HOTLINE" PRIOR TO ANY CONSTRUCTION.
  - ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (LATEST EDITION AND ADDENDUM) AND ALL STATE AND LOCAL CODES AND SPECIFICATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS AND CODES APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES.
  - UTILITY CONSTRUCTION AND SPECIFICATIONS SHALL COMPLY WITH THE VILLAGE OF PLEASANT PRAIRIE SPECIAL PROVISIONS AND WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES (DPS) 10.42.
  - LENGTHS OF PROPOSED UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY FROM PLAN. LENGTHS ARE SHOWN FOR CONTRACTOR CONVENIENCE ONLY. CONTRACTOR IS SOLELY RESPONSIBLE FOR VERIFICATION OF UTILITIES REQUIRED TO COMPLETE WORK. LENGTHS SHALL BE FIELD VERIFIED DURING CONSTRUCTION.
  - CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT EXISTING UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH FINISHED GRADES OF THE AREAS DISTURBED DURING CONSTRUCTION.
  - CONTRACTOR SHALL FIELD VERIFY LOCATIONS, ELEVATIONS, AND SIZES OF PROPOSED UTILITIES AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS PRIOR TO ATTEMPTING CONNECTIONS AND BEGINNING UTILITY CONSTRUCTION AND NOTIFY THE OWNER OF ANY DISCREPANCIES OR CONFLICTS.
  - ALL NEW ON-SITE SANITARY, STORM AND WATER UTILITIES SHALL BE PRIVATELY OWNED AND MAINTAINED BY THE PROPERTY OWNER.
  - THE CONTRACTOR SHALL CONTACT THE VILLAGE OF PLEASANT PRAIRIE PUBLIC WORKS DEPARTMENT 48-HOURS IN ADVANCE OF SANITARY, WATER AND STORM CONNECTIONS TO THE VILLAGE-OWNED SYSTEM TO SCHEDULE INSPECTIONS.
  - ROUTING OF GAS, ELECTRIC AND TELEPHONE SERVICES ARE SHOWN ON THE ARCHITECTURAL PLANS AND SUBJECT TO CHANGE BASED UPON FINAL REVIEW AND APPROVAL BY RESPECTIVE UTILITY COMPANIES AND OWNER. CONTRACTOR SHALL CONTACT EACH UTILITY COMPANY AND COORDINATE FINAL LOCATIONS FOR ALL UTILITY SERVICES PRIOR TO START OF CONSTRUCTION.
  - IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE PROPER AUTHORITIES FOR ANY REQUIRED PERMITS, AUTHORIZATIONS, TRAFFIC CONTROL AND ANY PERMIT FEES REQUIRED.
  - FIELD TILE CONNECTION - ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE INCLUDED IN THE UNIT PRICE(S) FOR STORM SEWER. TILE LINES CROSSED BY THE TRENCH SHALL BE REPLACED WITH THE SAME MATERIAL AS THE STORM SEWER.
  - THE CONTRACTOR IS RESPONSIBLE FOR THE SIZE, TYPE AND NUMBER OF WATER MAIN BENDS, HORIZONTAL AND VERTICAL, REQUIRED TO COMPLETE CONSTRUCTION. COST FOR BENDS, HORIZONTAL AND VERTICAL, SHALL BE INCIDENTAL AND INCLUDED IN THE OVERALL COST OF THE CONTRACT.
  - STORM SEWER SPECIFICATIONS -  
PIPE - REINFORCED CONCRETE PIPE (RCP) SHALL MEET THE REQUIREMENTS OF ASTM CLASS C-76 WITH RUBBER GASKET JOINTS CONFORMING TO ASTM C-493. STRENGTH CLASSIFICATIONS SHALL BE IN ACCORDANCE WITH THE FOLLOWING:  
HEIGHT OF COVER (FEET): 0-2 2-3 3-6 6-15 15-25 25+  
MINIMUM CONCRETE PIPE CLASSIFICATION: IV III II III IV ENGINEER TO SPECIFY  
HIGH DENSITY DUAL-WALL POLYETHYLENE N-12 CORRUGATED PIPE (HDPE) SHALL BE AS MANUFACTURED BY ADS OR EQUAL WITH WATER TIGHT JOINTS, AND SHALL MEET THE REQUIREMENTS OF ASHTO DESIGNATION M-294 TYPE "S", OR POLYVINYL CHLORIDE (PVC) - CLASS 646 MEETING ASHTO M278, AS NOTED. IF HDPE PIPE IS USED FOR POND OUTFALLS, A MINIMUM OF THREE (3) SECTIONS (2 STRAPS) SHALL BE STRAPPED TOGETHER.
  - INLETS/CATCH BASINS - INLETS/CATCH BASINS SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NO. 25 OF THE "STANDARD SPECIFICATIONS" WITH A 1'-4" x 2'-6" MAXIMUM OPENING. FRAME & GRATE SHALL BE NENAH R-1300 WITH TYPE G GRATE, OR EQUAL. CURB FRAME & GRATE SHALL BE NENAH R-3067, OR EQUAL. THE SUMP DEPTH (VERTICAL DISTANCE FROM THE BASE OF THE STRUCTURE TO OUTFALL INVERT OF THE PIPE) SHALL BE 18" MIN. STRUCTURE SHOP DRAWINGS SHALL BE SUBMITTED TO PINNACLE ENGINEERING GROUP FOR REVIEW AND APPROVAL PRIOR TO MANUFACTURING AND INSTALLATION.
  - BACKFILL AND BEDDING - STORM SEWER SHALL BE CONSTRUCTED WITH GRAVEL BACKFILL AND CLASS "B" BEDDING IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS". MANHOLE FRAMES AND COVERS - MANHOLE FRAMES AND COVERS SHALL BE NENAH R-1642 WITH TYPE "B" SELF SEALING LIDS, NON-ROCKING OR EQUAL.  
IF HDPE PIPE IS USED FOR POND OUTFALLS, A MINIMUM OF THREE (3) SECTIONS (2 STRAPS) SHALL BE STRAPPED TOGETHER.
  - WATER MAIN SPECIFICATIONS -  
PIPE - WATER MAIN SHALL BE POLYVINYL CHLORIDE (PVC) PIPE MEETING THE REQUIREMENTS OF AWWA STANDARD C-900, CLASS 150, DR-18, WITH CAST IRON D.I. AND INTEGRAL ELASTOMERIC BELL AND SPIGOT JOINTS. VALVES AND VALVE BOXES - GATE VALVES SHALL BE AWWA GATE VALVES MEETING THE REQUIREMENTS OF AWWA C-500 AND CHAPTER 8.27.0 OF THE "STANDARD SPECIFICATIONS". GATE VALVES AND VALVE BOXES SHALL CONFORM TO LOCAL PLUMBING ORDINANCES.  
HYDRANTS - HYDRANTS SHALL CONFORM TO THE SPECIFICATIONS OF THE AND IN ACCORDANCE WITH FILE NO. 38 OF THE "STANDARD SPECIFICATIONS". THE DISTANCE FROM THE GROUND LINE TO THE CENTERLINE OF THE LOWEST NOZZLE AND THE LOWEST CONNECTION OF THE FIRE DEPARTMENT SHALL BE NO LESS THAN 18-INCHES AND NO GREATER THAN 23-INCHES.  
BEDDING AND COVER MATERIAL - PIPE BEDDING AND COVER MATERIAL SHALL BE SAND, CRUSHED STONE CHIPS OR CRUSHED STONE SCREENINGS CONFORMING TO CHAPTER 8.43.2 OF THE "STANDARD SPECIFICATIONS".
  - SANITARY SEWER SPECIFICATIONS -  
PIPE - SANITARY SEWER PIPE MATERIAL SHALL BE POLYVINYL CHLORIDE (PVC) MEETING REQUIREMENTS OF ASTM D 3034, 150K-SI, WITH INTEGRAL BELL TYPE FLEXIBLE ELASTOMERIC JOINTS, MEETING THE REQUIREMENTS OF ASTM D 3212.  
BEDDING AND COVER MATERIAL - BEDDING AND COVER MATERIAL SHALL CONFORM TO THE APPROPRIATE SECTIONS OF THE "STANDARD SPECIFICATION" WITH THE FOLLOWING MODIFICATION: "COVER MATERIAL SHALL BE THE SAME AS USED FOR BEDDING AND SHALL CONFORM TO SECTION 8.43.2 (A). BEDDING AND COVER MATERIAL SHALL BE PLACED IN A MINIMUM OF THREE SEPARATE LIFTS, OR AS REQUIRED TO INSURE ADEQUATE CONTACTING OF THESE MATERIALS, WITH ONE LIFT OF BEDDING MATERIAL ENDING AT OR NEAR THE SPRINGLINE OF THE PIPE. THE CONTRACTOR SHALL TAKE CARE TO COMPLETELY WORK BEDDING MATERIAL UNDER THE HAUNCH OF THE PIPE TO PROVIDE ADEQUATE SIDE SUPPORT."  
BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE CHAPTER 8.6.0 OF THE "STANDARD SPECIFICATIONS". GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS".  
MANHOLES - MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NOS. 12, 13 AND 15 OF THE "STANDARD SPECIFICATIONS" AND ALL SPECIAL PROVISIONS OF THE VILLAGE OF PLEASANT PRAIRIE. STRUCTURE SHOP DRAWINGS SHALL BE SUBMITTED TO PINNACLE ENGINEERING GROUP FOR REVIEW AND APPROVAL PRIOR TO MANUFACTURING AND INSTALLATION.  
MANHOLE FRAMES AND COVERS - MANHOLE FRAMES AND COVERS SHALL BE NENAH R-1642 WITH TYPE "B" SELF SEALING LIDS, NON-ROCKING OR EQUAL.
  - WATER MAIN AND SANITARY SEWER SHALL BE INSULATED WHEREVER THE DEPTH OF COVER IS LESS THAN 6 FEET. INSULATION AND PLACING OF INSULATION SHALL CONFORM TO CHAPTER 4.17.0 "INSULATION" OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN 6TH EDITION UPDATED WITH ITS LATEST ADDENDUM (TYP.).
  - TRACER WIRE SHALL BE INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THESE CODE SECTIONS AS PER 162.0715(2) OF THE STATUTES. THE TRACER WIRE FOR THE SANITARY SEWER LATERAL SHALL BE CONTINUOUS AND SHALL BE EXTENDED ABOVE GRADE VIA A 4-INCH PVC PIPE WITH SCREW-ON CAP ADJACENT TO THE PROPOSED TERMINATION POINT OF THE LATERAL FOR THE PROPOSED BUILDING.
  - SEE UTILITY PLANS AND CONSTRUCTION DETAILS FOR ADDITIONAL INFORMATION.

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PROJECT NO. 18-0000  
SHEET NO. 10 OF 10  
DATE: 08/14/2018  
SCALE: AS SHOWN

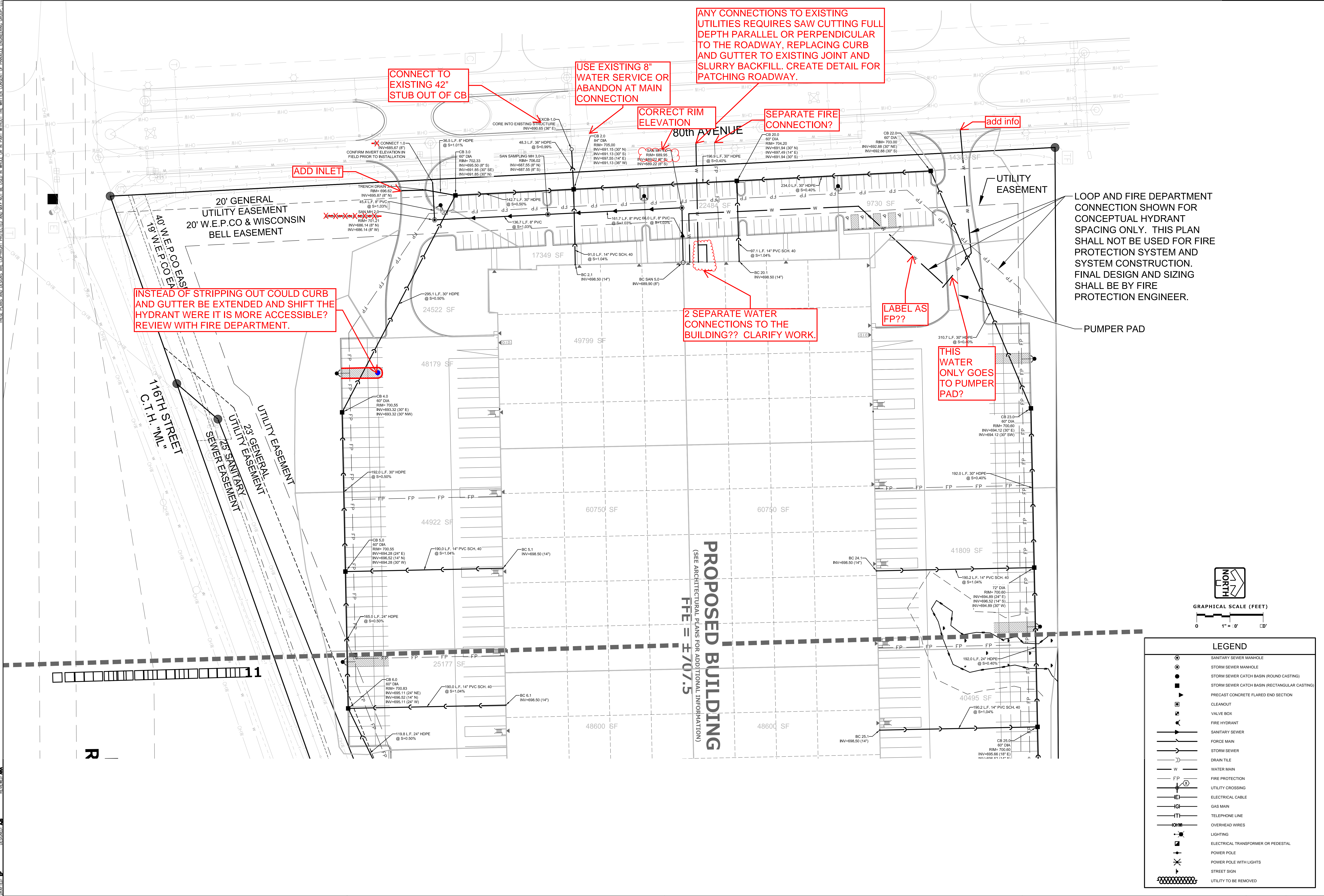
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DATE: [ ]

PROJECT NO. 18-0000  
SHEET NO. 10 OF 10  
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INSTEAD OF STRIPPING OUT CURB AND GUTTER BE EXTENDED AND SHIFT THE HYDRANT WERE IT IS MORE ACCESSIBLE? REVIEW WITH FIRE DEPARTMENT.

CONNECT TO EXISTING 42" STUB OUT OF CB

USE EXISTING 8" WATER SERVICE OR ABANDON AT MAIN CONNECTION

ANY CONNECTIONS TO EXISTING UTILITIES REQUIRES SAW CUTTING FULL DEPTH PARALLEL OR PERPENDICULAR TO THE ROADWAY, REPLACING CURB AND GUTTER TO EXISTING JOINT AND SLURRY BACKFILL. CREATE DETAIL FOR PATCHING ROADWAY.

CORRECT RIM ELEVATION

SEPARATE FIRE CONNECTION?

add info

LOOP AND FIRE DEPARTMENT CONNECTION SHOWN FOR CONCEPTUAL HYDRANT SPACING ONLY. THIS PLAN SHALL NOT BE USED FOR FIRE PROTECTION SYSTEM AND SYSTEM CONSTRUCTION. FINAL DESIGN AND SIZING SHALL BE BY FIRE PROTECTION ENGINEER.

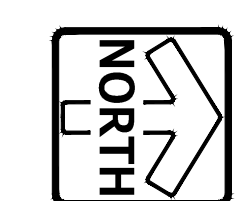
2 SEPARATE WATER CONNECTIONS TO THE BUILDING?? CLARIFY WORK.

LABEL AS FP??

THIS WATER ONLY GOES TO PUMPER PAD?

PUMPER PAD

PROPOSED BUILDING  
(SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION)  
FFE = #707.5



GRAPHICAL SCALE (FEET)  
0 1" = 0' 0"

LEGEND	
	SANITARY SEWER MANHOLE
	STORM SEWER MANHOLE
	STORM SEWER CATCH BASIN (ROUND CASTING)
	STORM SEWER CATCH BASIN (RECTANGULAR CASTING)
	PRECAST CONCRETE FLARED END SECTION
	CLEANOUT
	VALVE BOX
	FIRE HYDRANT
	SANITARY SEWER
	FORCE MAIN
	STORM SEWER
	DRAIN FILE
	WATER MAIN
	FIRE PROTECTION
	UTILITY CROSSING
	ELECTRICAL CABLE
	GAS MAIN
	TELEPHONE LINE
	OVERHEAD WIRES
	LIGHTING
	ELECTRICAL TRANSFORMER OR PEDESTAL
	POWER POLE
	POWER POLE WITH LIGHTS
	STREET SIGN
	UTILITY TO BE REMOVED

**1.0 POTENTIAL POLLUTANT SOURCES**

OTHER THAN THE PROPOSED ACTIVITY ON THE PROJECT SITE, THE PRIMARY POTENTIAL POLLUTANT SOURCE ASSOCIATED WITH THIS CONSTRUCTION PROJECT IS SOIL EROSION AND TRANSPORTATION; REFER TO SECTION 4 OF THIS PLAN. ADDITIONAL POTENTIAL SOURCES OF POLLUTION MAY INCLUDE FUEL TANKS, WASTE CONTAINERS, OIL OR OTHER PETROLEUM PRODUCTS, DETERGENTS, PAINTS, CONSTRUCTION DEBRIS, SANITARY STATIONS, FERTILIZERS, AND MUST REFER TO SECTION 4 OF THIS PLAN.

**2.0 EROSION AND SEDIMENT CONTROL IMPLEMENTATION**

THE FOLLOWING ARE DESCRIPTIONS OF THE EROSION AND SEDIMENT CONTROL PRACTICES THAT SHALL BE IMPLEMENTED DURING CONSTRUCTION OF THIS PROJECT. IN ADDITION TO THESE MEASURES, CONTRACTOR SHALL DESTABILIZE ONLY AREAS NECESSARY TO COMPLETE THE CONSTRUCTION PROJECT. ALL PRACTICES SHALL BE CONDUCTED IN ACCORDANCE WITH THE BEST MANAGEMENT PRACTICES (BMP).

**2.1 CONSTRUCTION AND EROSION CONTROL SEQUENCING**

CONSTRUCTION SEQUENCING WILL BE UTILIZED AS A MEANS OF CONTROLLING EROSION AND LIMITING SEDIMENT TRANSPORT. SEQUENCING AS LISTED BELOW IS GENERAL IN NATURE AND MAY VARY DEPENDING ON WEATHER CONDITIONS AND/OR PHASING OF CONSTRUCTION. THE CONTRACTOR SHALL SUBMIT A DETAILED SITE SEQUENCING PLAN TO OWNER FOR APPROVAL AT LEAST 5 BUSINESS DAYS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM # 6 IS NEEDED TO COMPLETE CONSTRUCTION ONLY IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL REQUIREMENTS.

- INSTALL TEMPORARY CONSTRUCTION ENTRANCES, INLET PROTECTION ON EXISTING STORM SEWER AND CULVERT INLET LOCATIONS, AND PERIMETER SILT FENCING.
- INSTALL SILT FENCING ALONG THE PERIMETER OF PROPOSED TOPSOIL STOCKPILE LOCATIONS. THE FIRST TOPSOIL DEPOSITED WITHIN THE STOCKPILE LIMITS SHALL BE PLACED TO CREATE TEMPORARY BERMING ALONG THE SILT FENCE TO PREVENT DIRECT STORMWATER RUNOFF AGAINST SILT FENCING. CONTRACTOR SHALL LIMIT LAND DISTURBING ACTIVITIES ASSOCIATED WITH TEMPORARY BERMING TO A MINIMUM.
- STRIP TOPSOIL WITHIN THE LIMITS OF THE SEDIMENT TRAPS THAT WILL BE USED FOR TEMPORARY SEDIMENT CONTROL. STRIPPED TOPSOIL SHALL BE PLACED TO CONSTRUCT DIVERSION BERMING OR PLACED WITHIN THE STOCKPILE LIMITS.
- STRIP TOPSOIL ALONG THE REMAINDER OF DIVERSION BERMING AND IMMEDIATELY PLACE TOPSOIL TO CREATE THE BERMING. MASS TOPSOIL STRIPPING SHALL NOT OCCUR UNTIL ALL DOWNSTREAM SEDIMENT CONTROLS ARE IN PLACE.
- CONDUCT ROUGH GRADING OPERATIONS AND UTILITY PIPING INSTALLATION. DRAIN TILE SHALL NOT BE INSTALLED UNTIL UPLAND AREAS CONTRIBUTING STORMWATER RUNOFF ARE STABILIZED. DITCH CHECKS SHALL BE INSTALLED WITHIN DRAINAGE DITCHES IMMEDIATELY FOLLOWING CREATION OF DITCHES AND INLET PROTECTION SHALL BE INSTALLED TO PROTECT ANY STORM SEWER OR CULVERTS THAT WILL FUNCTION DURING CONSTRUCTION.
- FINE GRADE SUB-GRADE SOILS WITH PAVEMENT AND BUILDING LIMITS. PLACE STONE BASE MATERIAL AS SOON AS POSSIBLE FOLLOWING COMPLETION OF FINE GRADING EFFORTS.
- FINE GRADE REMAINING DISTURBED AREAS, PLACE SALVAGED TOPSOIL, EROSION BLANKETS/MATTING, AND SEED/MULCH AS SOON AS POSSIBLE FOLLOWING COMPLETION OF FINE GRADING EFFORTS.
- EROSION CONTROLS SHALL NOT BE REMOVED UNTIL SITE IS FULLY STABILIZED OR 70% VEGETATIVE COVER IS ESTABLISHED. CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF SILT FENCE, TEMPORARY FENCING/PROTECTION, DITCH CHECKS, AND OTHER TEMPORARY CONTROLS, AND RESTORATION PRACTICES AS NECESSARY TO THE SATISFACTION OF THE OWNER.

**2.2 STABILIZATION PRACTICES**

THE DATES WHEN MAJOR GRADING ACTIVITIES OCCUR, WHEN CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE ON A PORTION OF THE SITE, AND WHEN STABILIZATION MEASURES ARE INITIATED, SHALL BE RECORDED ON THE STABILIZATION SCHEDULE FOR MAJOR GRADING ACTIVITIES. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. NO MORE THAN SEVEN (7) DAYS SHALL PASS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS PERMANENTLY CEASED UNLESS:

- THE INITIATION OF STABILIZATION MEASURES BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY OR PERMANENTLY CEASE IS PRECLUDED BY SNOW COVER. IN THAT EVENT, STABILIZATION MEASURE SHALL BE INITIATED AS SOON AS PRACTICABLE.
- CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN FOURTEEN (14) DAYS FROM WHEN ACTIVITIES CEASED. (I.E. THE TOTAL TIME PERIOD THAT THE CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN FOURTEEN (14) DAYS). IN THAT EVENT, STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED. SEE THE SOIL PROTECTION CHART PRESENTED IN THE CONSTRUCTION DOCUMENTS FOR RATES OF PERMANENT AND TEMPORARY VEGETATION.

STABILIZATION MEASURES SHALL BE DETERMINED BASED ON SITE CONDITIONS AT THE TIME CONSTRUCTION ACTIVITY HAS CEASED, INCLUDING BUT NOT LIMITED TO WEATHER CONDITIONS AND LENGTH OF TIME MEASURES WILL BE EFFECTIVE. THE FOLLOWING ARE ACCEPTABLE STABILIZATION MEASURES.

- PERMANENT SEEDING: IN ACCORDANCE WITH APPROVED LANDSCAPING PLAN. TEMPORARY SEEDING MAY CONSIST OF SPRING OATS (100LS/ACRE) AND/OR WHEAT OR CEREAL RYE (150LS/ACRE).
- HYDRO-MULCHING WITH A TACKIFIER.
- GEOTEXTILE EROSION MATTING.
- SEEDING.

**2.3 STRUCTURAL PRACTICES**

THE FOLLOWING ARE DESCRIPTIONS OF STRUCTURAL PRACTICES TO BE IMPLEMENTED TO DIVERT FLOWS FROM EXPOSED SOILS, STORE FLOWS, OR OTHERWISE LIMIT THE DISCHARGE OF POLLUTANTS FROM EXPOSED AREAS OF THE SITE INCLUDING THE PROPOSED AND EXISTING WETLAND AREAS.

SUCH PRACTICES COULD INCLUDE SILT FENCE, PROTECTION FENCE, CONSTRUCTION ENTRANCE, DITCH CHECK, EROSION CONTROL MATTING, DIVERSION BERM/SWALE, SEDIMENT TRAP, LEVEL SPREADER, INLET PROTECTION, OUTLET PROTECTION, AND TEMPORARY OR PERMANENT SEDIMENT BASIN. THE FOLLOWING STRUCTURAL PRACTICES ARE TO BE UTILIZED DURING THIS PROJECT.

**SILT FENCE** SHALL BE PLACED DOWN SLOPE OF DISTURBED AREAS OF THE CONSTRUCTION SITE AND AROUND THE PERIMETER OF THE TOPSOIL STOCKPILE. THIS INCLUDES PROTECTION OF EXISTING WETLAND AREAS TO BE MAINTAINED. SILT FENCE MAY ALSO BE USED AS A TEMPORARY CONTROL DEVICE WHERE SEDIMENTATION RUNOFF IS DISCOVERED.

**CONSTRUCTION ENTRANCE** SHALL BE INSTALLED TO REDUCE SOIL EROSION POLLUTANTS FROM LEAVING THE SITE DURING CONSTRUCTION ACTIVITIES IF THE CRUSHED STONE DOES NOT ADEQUATELY REDUCE MUD FROM VEHICLE TIRES. THEY SHALL BE HOSED OFF BEFORE ENTERING A PAVED ROADWAY. ANY SOIL DEPOSITED ON THE PUBLIC PAVED ROAD WAY SHALL BE REMOVED IMMEDIATELY.

**DITCH CHECK (STRAW BALES)** SHALL BE INSTALLED IN DRAINAGE CHANNELS AS NEEDED.

**EROSION CONTROL MATTING** SHALL BE PLACED ON AREAS OR EMBANKMENTS HAVING SLOPES GREATER THAN OR EQUAL TO 3H:1V, BEFORE VEGETATION IS ESTABLISHED.

**DIVERSION BERM/SWALE** SHALL BE CONSTRUCTED TO DIVERT RUNOFF AROUND THE SITE AND TO DIVERT RUNOFF FROM THE DISTURBED AREA TO A SEDIMENT TRAP OR OTHER CONTROL. BERMS/SWALES SHALL BE STABILIZED WITH EQUIPMENT TRACKING AND TEMPORARY SEEDING.

**SEDIMENT TRAP/BASIN** SHALL BE CONSTRUCTED TO COLLECT RUNOFF AND RUNOFF FROM SITE DIVERSION BERM/SWALES.

**INLET PROTECTION** SHALL BE INSTALLED AT STORMWATER DRAINAGE INLETS TO REDUCE SEDIMENT WITHIN STORM SEWER CONVEYANCE FEATURES.

**OUTLET SCOUR PROTECTION** SHALL BE INSTALLED AT STORMWATER DRAINAGE OUTLETS TO DIFFUSE FLOWS.

**3.0 ADDITIONAL PRACTICES**

ADDITIONAL POLLUTANT CONTROL MEASURES TO BE IMPLEMENTED DURING CONSTRUCTION ACTIVITIES SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:

**CONSTRUCTION WASTE** SHALL BE PROPERLY DISPOSED OF. THIS INCLUDES ALL CONSTRUCTION SITE WASTE MATERIAL, SANITARY WASTE, AND WASTE FROM VEHICLE TRACKING OF SEDIMENTS. THE CONTRACTOR SHALL ENSURE THAT NO MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, BURNED, OR DISCHARGED TO THE WATERS OF THE STATE. VEHICLES HAULING MATERIAL AWAY FROM THE SITE SHALL BE COVERED WITH A TARP/AULIN TO PREVENT BLOWING DEBRIS.

**DUST CONTROL** SHALL BE ACCOMPLISHED BY ONE OR MORE OF THE FOLLOWING METHODS:

- COVERING 30% OR MORE OF THE SOIL SURFACE WITH A NON-ERODIBLE MATERIAL.
- ROUGHENING (EQUIPMENT TRACKING) THE SOIL TO PRODUCE RIDGES PERPENDICULAR TO THE PREVAILING WIND. RIDGES SHALL BE AT LEAST SIX (6) INCHES IN HEIGHT.
- FREQUENT WATERING OF EXCAVATION AND FILL AREAS.
- PROVIDING GRAVEL OR PAVING AT ENTRANCE/EXIT DRIVES, PARKING AREAS AND TRANSIT PATHS.

**STREET SWEEPING** SHALL BE PERFORMED TO IMMEDIATELY REMOVE ANY SEDIMENT TRACKED ON PAVEMENTS.

**4.0 EROSION AND SEDIMENT STRUCTURAL PRACTICE MAINTENANCE**

THE FOLLOWING MAINTENANCE PRACTICES SHALL BE USED TO MAINTAIN, IN GOOD AND EFFECTIVE OPERATING CONDITIONS, VEGETATION, EROSION AND SEDIMENT CONTROL MEASURES, AND OTHER PROTECTIVE MEASURES IDENTIFIED IN THIS PLAN. UPON IDENTIFICATION, DEFICIENCIES IN STORMWATER CONTROLS SHALL BE ADDRESSED IMMEDIATELY. THE MAINTENANCE PROCEDURES FOR THIS DEVELOPMENT SHALL INCLUDE, BUT NOT BE LIMITED TO THE BELOW.

**SILT FENCE** - REPAIR OR REPLACE ANY DAMAGED FILTER FABRIC AND/OR STAKES. REMOVE ACCUMULATED SEDIMENT WHEN IT HAS REACHED ONE-HALF THE ABOVE-GROUND HEIGHT OF THE FENCE.

**CONSTRUCTION ENTRANCE** - AS NEEDED, ADD STONE TO MAINTAIN CONSTRUCTION ENTRANCE DIMENSIONS AND EFFECTIVENESS.

**DITCH CHECK (STRAW BALES)** - RE-SECURE STAKES, ADJUST OR REPOSITION BALES TO ADDRESS PROPER FLOW OF STORMWATER, AND REMOVE ACCUMULATED SEDIMENT WHEN IT HAS REACHED ONE-HALF THE HEIGHT OF THE BALE.

**EROSION CONTROL MATTING** - REPAIR MATTING IMMEDIATELY IF INSPECTION REVEALS BREACHES OR FAILED CONDITIONS. REPAIR AND RE-GRADE SOIL WHERE CHANNELIZATION HAS OCCURRED.

**DIVERSION BERM/SWALE** - REPLACE OR RE-COMPACT THE CONSTRUCTION MATERIALS AS NECESSARY.

**SEDIMENT TRAP** - REMOVE AND DISPOSE OF THE ACCUMULATED SEDIMENT WHEN IT HAS REACHED THE SEDIMENT STORAGE ELEVATION.

**INLET PROTECTION** - CLEAN, REPAIR OR REPLACE FILTER FABRIC AND/OR STONE WHEN CONTROL MEASURE IS CLOGGED. INLET FILTER BAGS SHALL BE REPLACED ONCE ONE-HALF FULL OF SEDIMENT.

**OUTLET PROTECTION** - CLEAN, REPAIR OR REPLACE FILTER FABRIC, TURF REINFORCEMENT MATTING AND/OR STONE WHEN CONTROL MEASURE IS ONE-HALF FULL OF SEDIMENT.

**SEDIMENT BASIN** - AT THE END OF CONSTRUCTION, CONTRACTOR SHALL REMOVE AND DISPOSE OF THE ACCUMULATED SEDIMENT AND RESTORE BASIN AREA TO INTENDED POST-CONSTRUCTION DESIGN GRADES.

**5.0 INSPECTION**

INSPECTIONS SHALL BE COMPLETED WITHIN TWENTY-FOUR (24) HOURS OF THE END OF A RAINFALL EVENT THAT IS ONE-HALF INCH OR GREATER OR EQUIVALENT SNOWFALL, OR AT A MINIMUM ONCE EVERY SEVEN (7) CALENDAR DAYS. INSPECTIONS SHALL BE UNDERTAKEN BY QUALIFIED PERSONNEL PROVIDED BY THE CONTRACTOR, AND SHALL INCLUDE DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED. STRUCTURAL CONTROL MEASURES, AND LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE. A STORMWATER POLLUTION PREVENTION PLAN INSPECTION REPORT SHALL BE COMPLETED AND ADDED TO THE SWPPP. RAINFALL SHALL BE RECORDED ON THE SWPPP RAINFALL LOG. CONTRACTOR SHALL IMMEDIATELY ARRANGE FOR REPAIR OR REPLACEMENT OF ANY DAMAGED OR DEFICIENT CONTROL MEASURES OBSERVED DURING THE INSPECTION.

QUALIFIED PERSONNEL MEANS A PERSON KNOWLEDGEABLE IN THE PRINCIPLES AND PRACTICES OF EROSION AND SEDIMENT CONTROL MEASURES, SUCH AS A LICENSED PROFESSIONAL ENGINEER, A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL, A CERTIFIED EROSION SEDIMENT OR STORMWATER INSPECTOR, OR OTHER TRAINED INDIVIDUAL.

**6.0 SPILL PREVENTION**

**6.1 GENERAL MATERIAL MANAGEMENT PRACTICES**

THE GOOD HOUSEKEEPING PRACTICES LISTED BELOW SHALL BE FOLLOWED THROUGHOUT THE CONSTRUCTION PROJECT.

- CONTRACTOR SHALL STORE ONLY ENOUGH PRODUCTS REQUIRED TO COMPLETE THIS PROJECT.
- ALL MATERIAL SHALL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR ORIGINAL CONTAINERS CONTAINING MANUFACTURER'S LABEL.
- MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL SHALL BE FOLLOWED.
- MATERIALS REQUIRED TO HAVE A MATERIAL SAFETY DATA SHEET (MSDS) SHALL HAVE A COPY STORED IN THE PROJECT'S MSDS DATABASE.

**6.2 SPILL CONTROL PRACTICES**

THE PRACTICES LISTED BELOW SHALL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP.

- MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP SHALL BE MAINTAINED ON-SITE.
- IMMEDIATELY UPON DISCOVERY, ALL SPILLS SHALL BE CLEANED UP ACCORDING TO THE MANUFACTURER'S RECOMMENDED METHODS.
- PERSONNEL CLEANING UP A SPILL SHALL USE PERSONAL PROTECTIVE EQUIPMENT.
- IMMEDIATELY UPON DISCOVERY, SPILLS OF TOXIC OR HAZARDOUS MATERIALS SHALL BE REPORTED TO THE OWNER AND GENERAL CONTRACTOR.
- NOTIFICATION AND REPORTING TO THE APPROPRIATE FEDERAL, STATE, AND LOCAL GOVERNMENT AGENCIES SHALL BE MADE AS REQUIRED.

**GENERAL INFORMATION:**

THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) HAS BEEN DEVELOPED TO FULFILL ONE OF THE REQUIREMENTS OF THE GENERAL ENVIRONMENTAL PROTECTION AGENCY (EPA) NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT NO. WI-508793-1-1 FOR THE DISCHARGE OF STORMWATER ASSOCIATED WITH CONSTRUCTION PROJECTS DISTURBING ONE ACRE OR MORE. THE OWNER AND CONTRACTORS SHALL COMPLY WITH ALL REQUIREMENTS OF THE NPDES FOR ALL SUCH CONSTRUCTION PROJECTS. THE STORMWATER DISCHARGES ASSOCIATED WITH THE CONSTRUCTION ACTIVITY FROM THIS SITE ARE SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE PERMITS.

THE EXECUTED OWNER CERTIFICATION AND THE CONTRACTOR CERTIFICATIONS SHALL BE KEPT ON-SITE WITH THE APPROVED PLANS.

**SWPPP AVAILABILITY:**

THE OWNER SHALL RETAIN A COPY OF THE SWPPP AT THE CONSTRUCTION SITE FROM THE DATE OF THE PROJECT INITIATION TO THE DATE OF FINAL STABILIZATION.

**KEEPING PLANS CURRENT:**

THE CONTRACTOR SHALL AMEND THE PLAN WHENEVER THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION, OR MAINTENANCE, WHICH HAS A SIGNIFICANT EFFECT ON THE POTENTIAL FOR THE DISCHARGE OF POLLUTANTS TO THE WATERS OF THE STATE AND WHICH HAS NOT OTHERWISE BEEN ADDRESSED IN THE PLAN OR IF THE PLAN PROVES TO BE INEFFECTIVE IN ELIMINATING OR SIGNIFICANTLY CONTROLLING POLLUTANTS IN STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION SITE ACTIVITY. THE PLAN SHALL BE AMENDED TO IDENTIFY ANY NEW CONTRACTOR AND/OR SUBCONTRACTOR THAT WILL IMPLEMENT A MEASURE OF THE PLAN. AMENDMENTS TO THE PLAN MAY BE REQUIRED BY THE MUNICIPALITY, OWNER, OR OTHER REVIEWING AGENCY. COPIES OF THE AMENDMENTS SHALL BE KEPT ON-SITE AS PART OF THE SWPPP.

**RETENTION OF RECORDS:**

THE OWNER SHALL RETAIN COPIES OF THIS AND ALL REPORTS AND NOTICES REQUIRED BY THIS PERMIT, AND RECORDS OF ALL DATA USED TO COMPLETE THE NOTICE OF INTENT TO BE COVERED BY THIS PERMIT, FOR A PERIOD OF AT LEAST THREE YEARS FROM THE DATE PERMIT COVERAGE EXPIRES OR IS TERMINATED. THIS PERIOD MAY BE EXTENDED BY THE REQUEST OF THE AGENCY AT ANY TIME. IN ADDITION, THE OWNER SHALL RETAIN A COPY OF THE PLAN REQUIRED BY THIS PERMIT AT THE CONSTRUCTION SITE FROM THE DATE OF PROJECT INITIATION TO THE DATE OF FINAL STABILIZATION.

A NOTICE OF INTENT (NOI) APPLICATION MUST BE COMPLETED AND INCORPORATED INTO THE SWPPP.

**WPDES NOTICE OF TERMINATION GUIDANCE:**

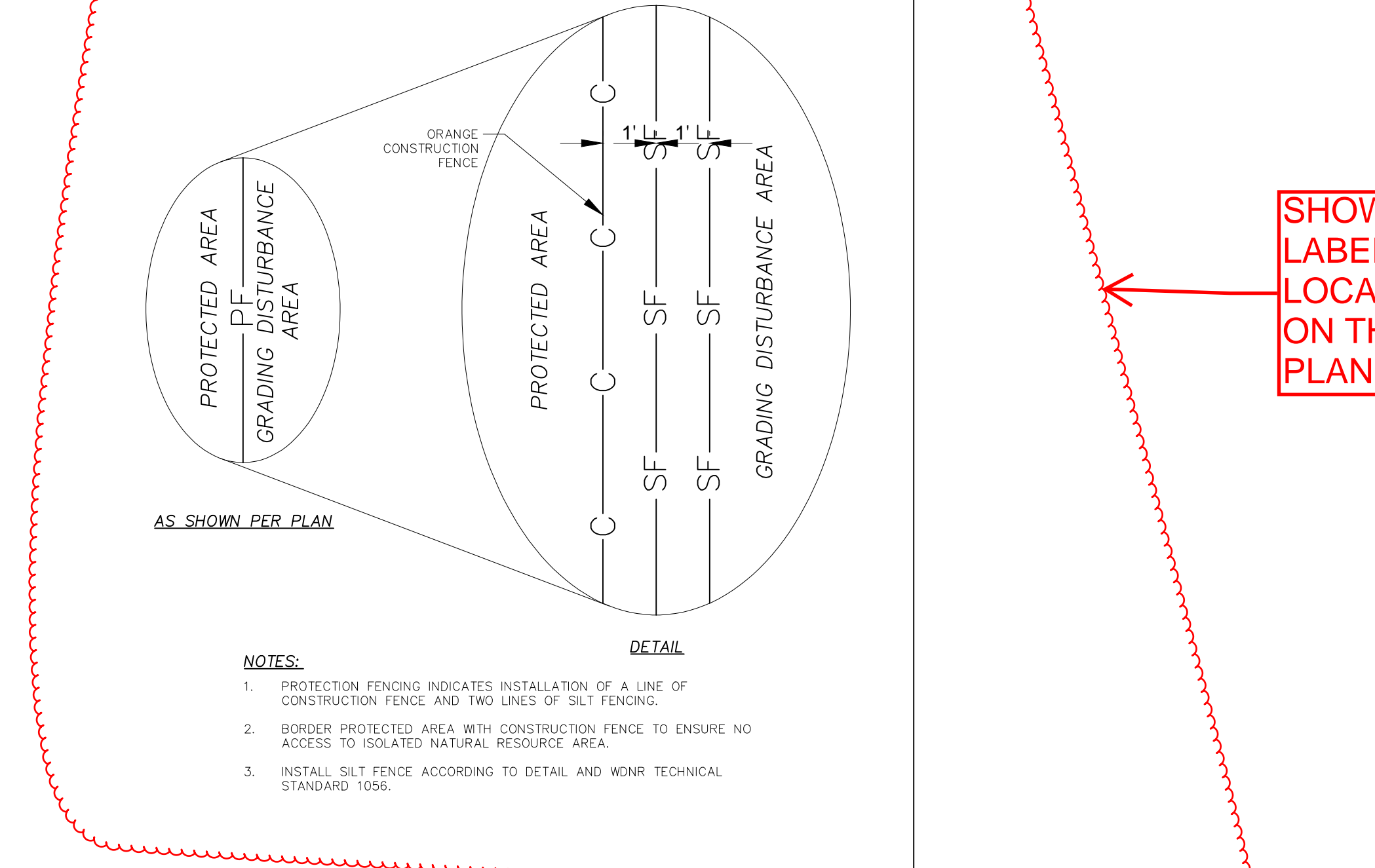
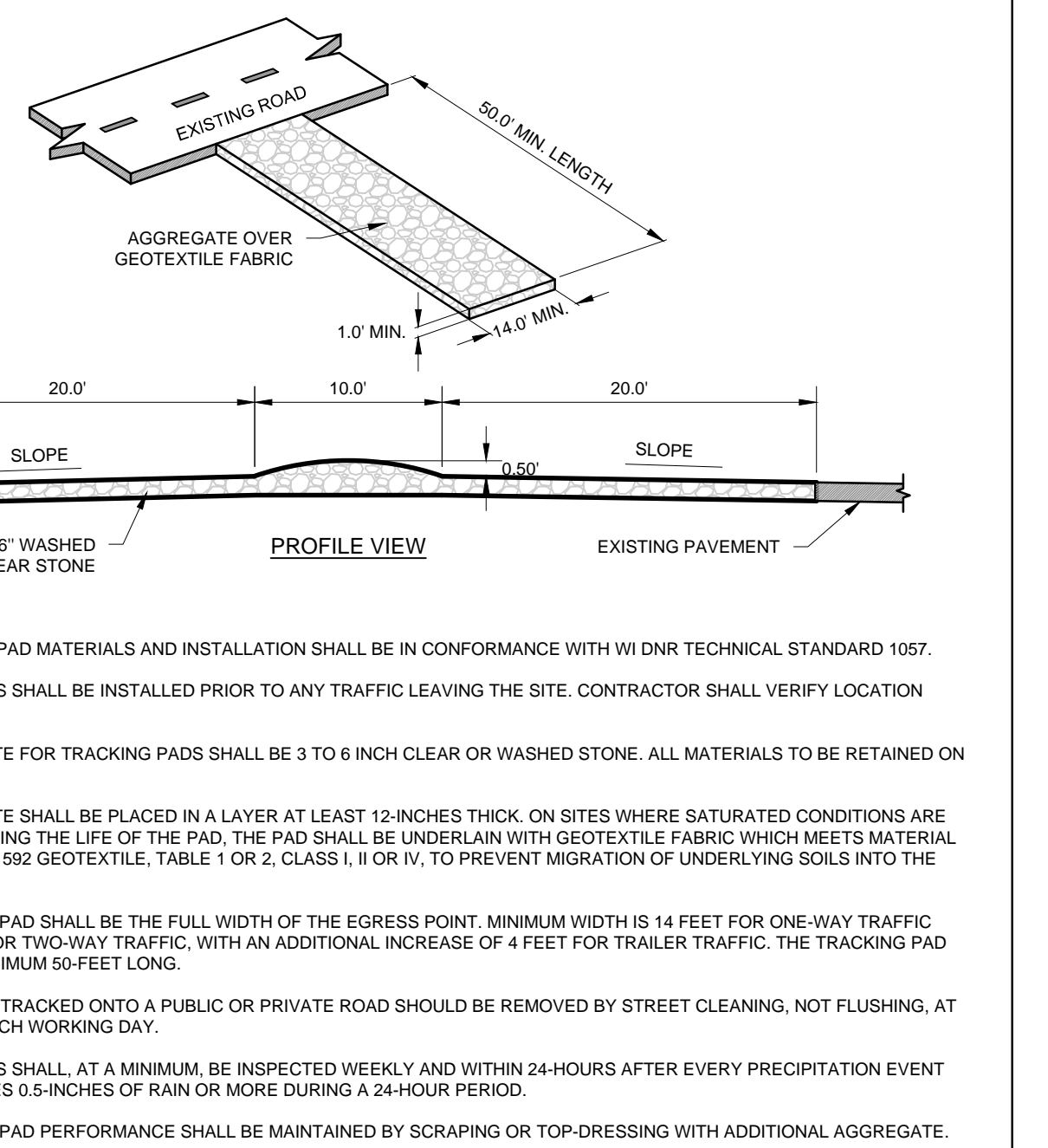
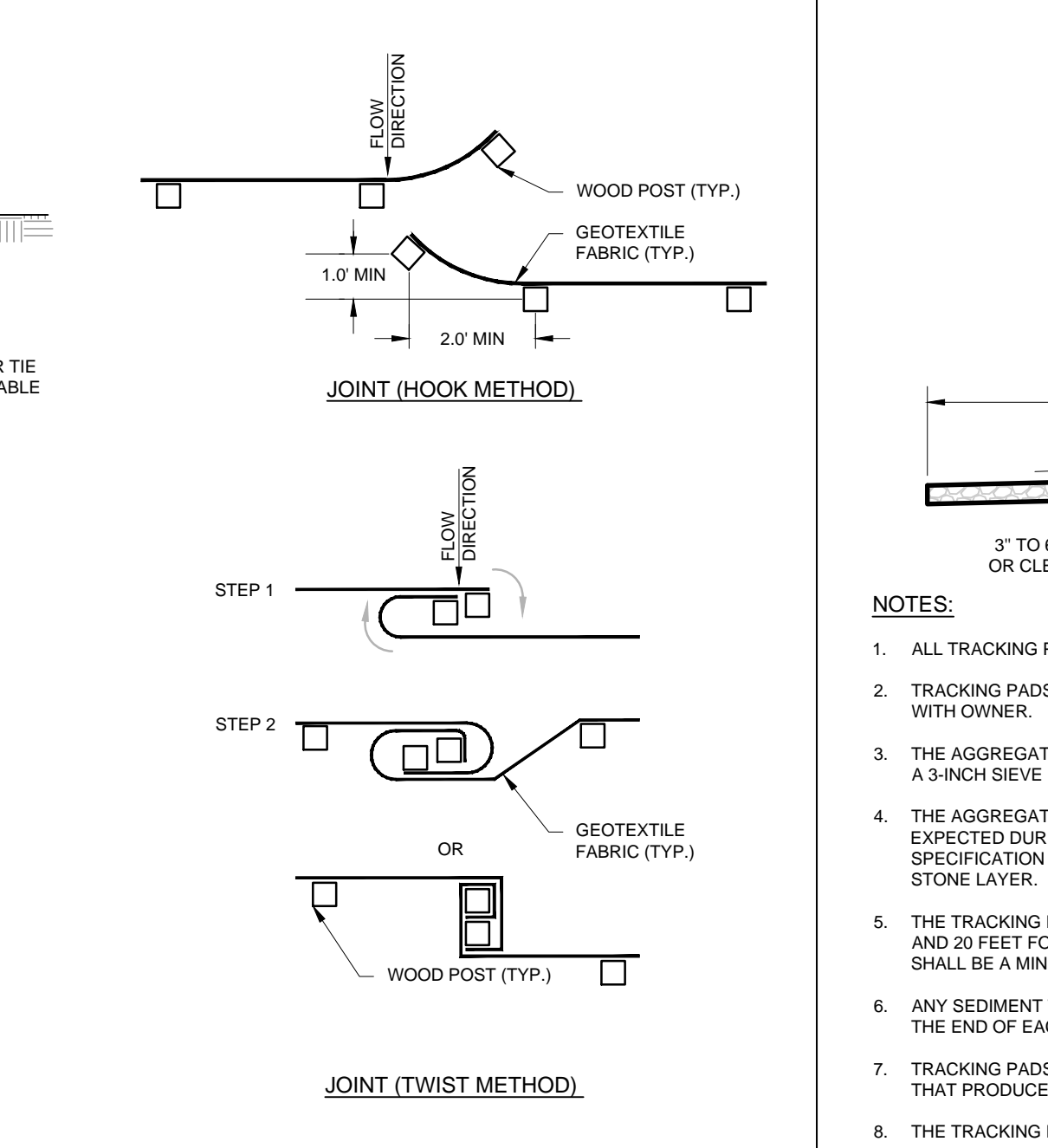
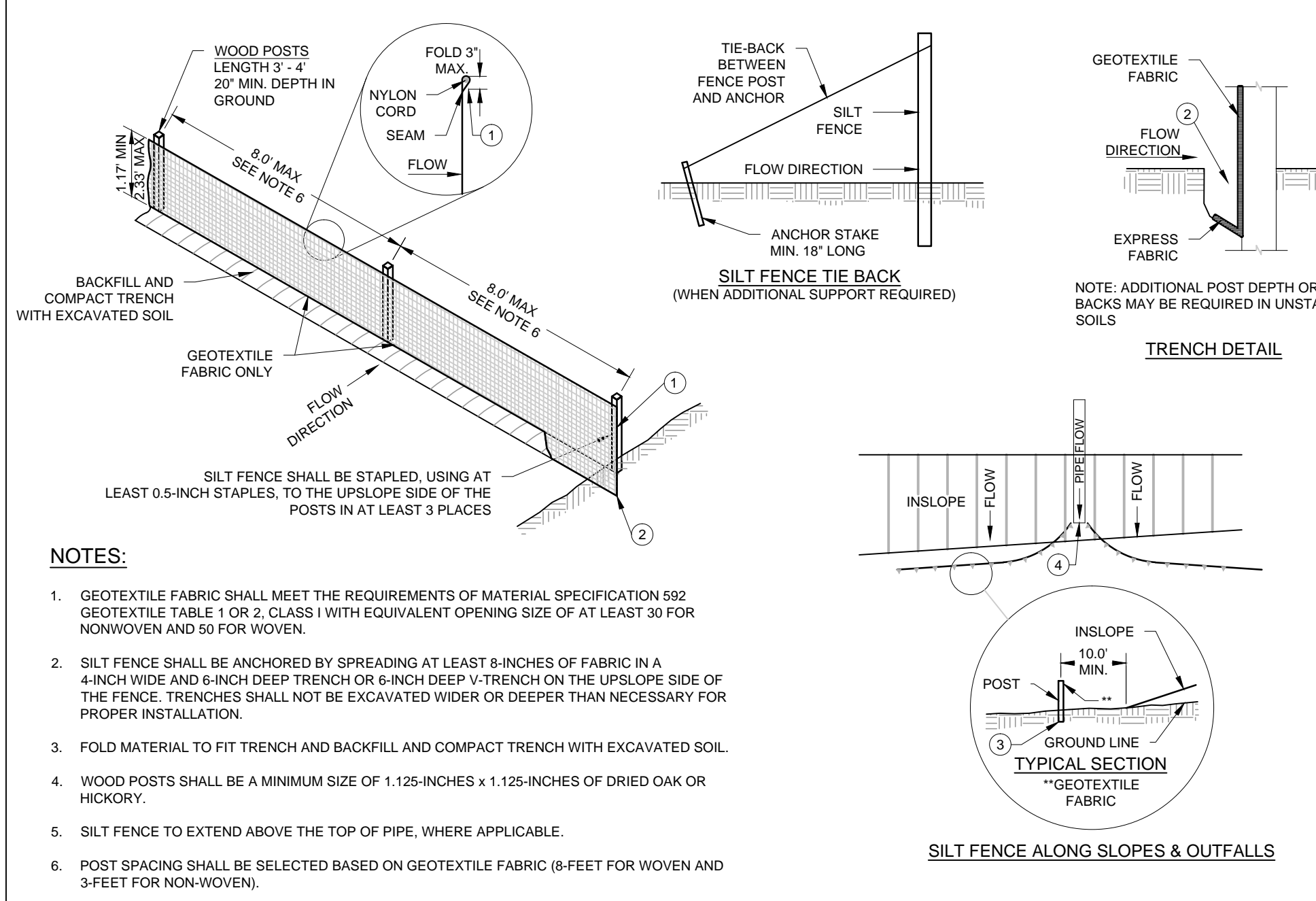
WHEN A SITE HAS BEEN FINALLY STABILIZED AND ALL STORMWATER DISCHARGES FROM CONSTRUCTION SITES THAT ARE AUTHORIZED BY THE PERMIT ARE ELIMINATED, THE OWNER OF THE FACILITY MUST SUBMIT A COMPLETED NOTICE OF TERMINATION THAT IS SIGNED IN ACCORDANCE WITH THE PERMIT. CONTRACTOR SHALL SUBMIT A COMPLETED NOTICE OF TERMINATION TO OWNER FOR EXECUTION PRIOR TO THEIR FINAL PAY APPLICATION REQUEST.

CONTROL MEASURE GROUP	CONTROL MEASURE	CONTROL MEASURE CHARACTERISTICS
VEGETATIVE SOIL COVER	TEMPORARY SEEDING	PROVIDES QUICK TEMPORARY COVER TO CONTROL EROSION WHEN PERMANENT SEEDING IS NOT DESIRED OR TIME OF YEAR IS APPROPRIATE.
NON-VEGETATIVE SOIL COVER	PERMANENT SEEDING	PROVIDES PERMANENT VEGETATIVE COVER TO CONTROL EROSION. FILTERS SEDIMENT FROM WATER. MAY BE PART OF FINAL LANDSCAPE PLAN.
NON-VEGETATIVE SOIL COVER	AGGREGATE COVER	PROVIDES TEMPORARY COVER ON ROADS AND PARKING LOTS AND AREAS WHERE VEGETATION CANNOT BE ESTABLISHED. PREVENTS MUD FROM BEING PICKED UP AND TRANSPORTED OFF-SITE.
NON-VEGETATIVE SOIL COVER	PAVING	PROVIDES PERMANENT COVER ON PARKING LOTS AND ROADS OR OTHER AREAS WHERE VEGETATION CANNOT BE ESTABLISHED.
DIVERSIONS	DIVERSION BERM / SWALE	DIVERTS RUNOFF TO A SEDIMENT TRAP OR OTHER CONTROL.
ENCLOSED DRAINAGE	STORM SEWER	CONVEYS SEDIMENT LADEN WATER TO A SEDIMENT BASIN.
OUTLETS	ARMOR ENDWALL OR RIPRAP	PROTECTS DOWNSTREAM CHANNEL FROM HIGH VELOCITY OF FLOW DISCHARGING FROM STRUCTURE.
SEDIMENT BASINS	TEMPORARY SEDIMENT TRAP	CONSTRUCTED TO REMOVE SEDIMENT FROM RUNOFF FROM SITE. DIVERSION BERM/SWALES AND IN OVERLAND FLOOD ROUTE. CAN BE CONVERTED TO PERMANENT SEDIMENT BASIN.
SEDIMENT FILTERS	SILT FENCE	PLACED DOWN SLOPE OF DISTURBED AREA TO KEEP RUNOFF CONTAINED ON-SITE.
SEDIMENT FILTERS	INLET PROTECTION	INSTALLED IN OPEN GRATE STRUCTURES TO COLLECT SEDIMENT.
SEDIMENT FILTERS	DITCH CHECK	PLACED IN DRAINAGE CHANNELS TO FILTER SEDIMENT FROM RUNOFF.
MUD AND DUST CONTROL	CONSTRUCTION ENTRANCE	REDUCES SOIL EROSION POLLUTANTS BEING TRANSPORTED OFF-SITE.
MUD AND DUST CONTROL	STREET SWEEPING	REDUCES POLLUTANTS TRACKED FROM CONSTRUCTION SITE.
MUD AND DUST CONTROL	DUST CONTROL	PREVENTS DUST FROM LEAVING CONSTRUCTION SITE.

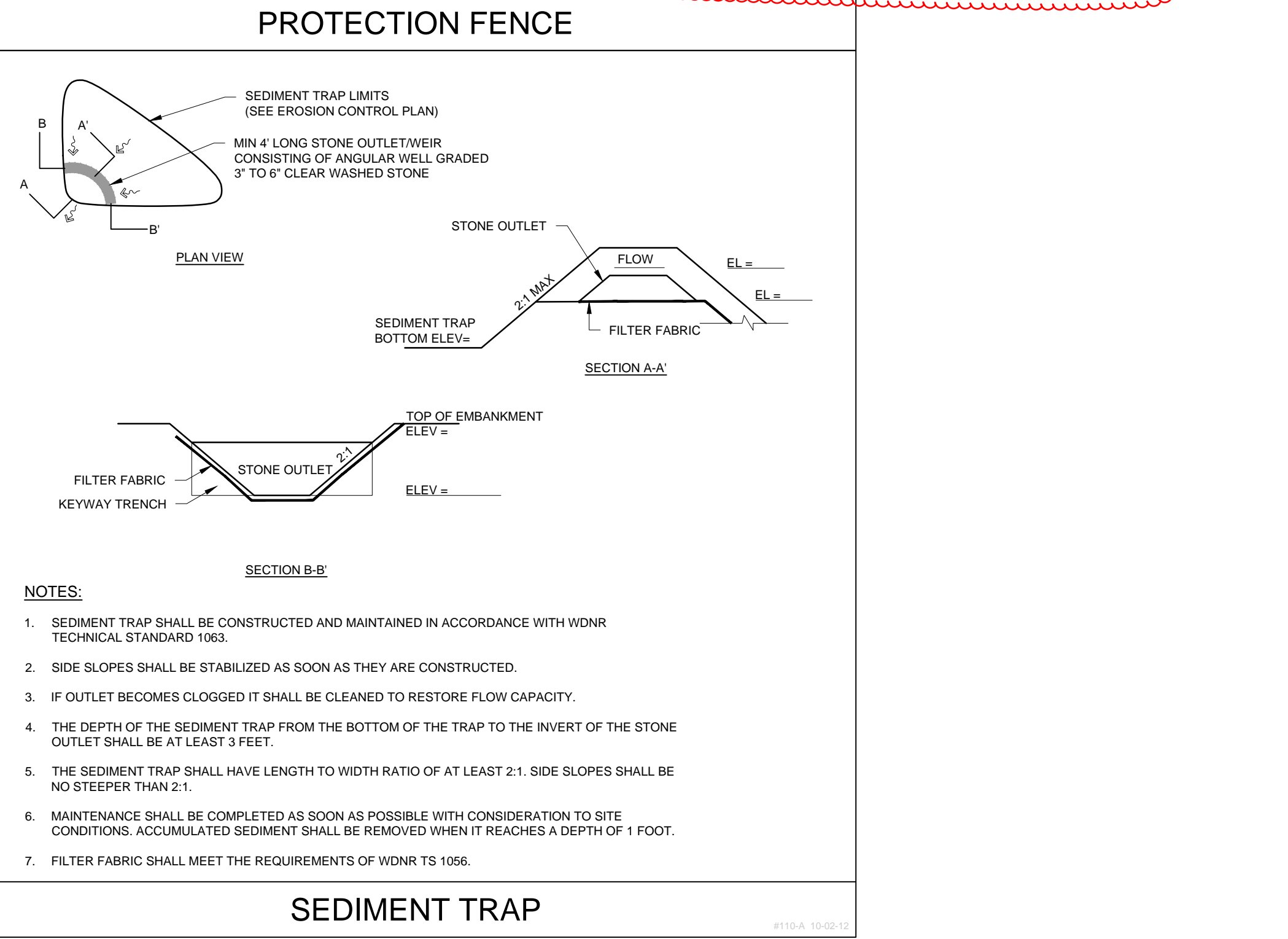
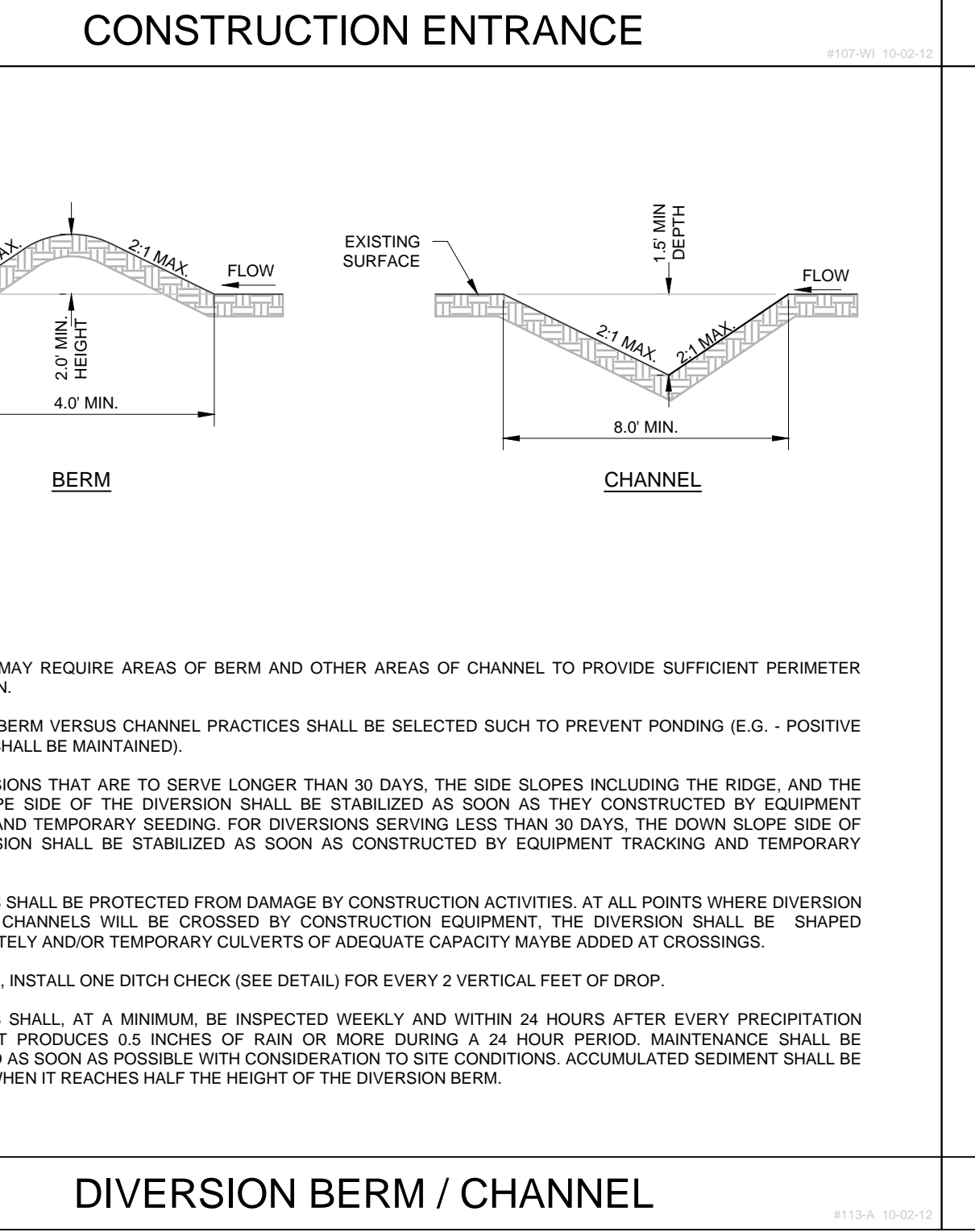
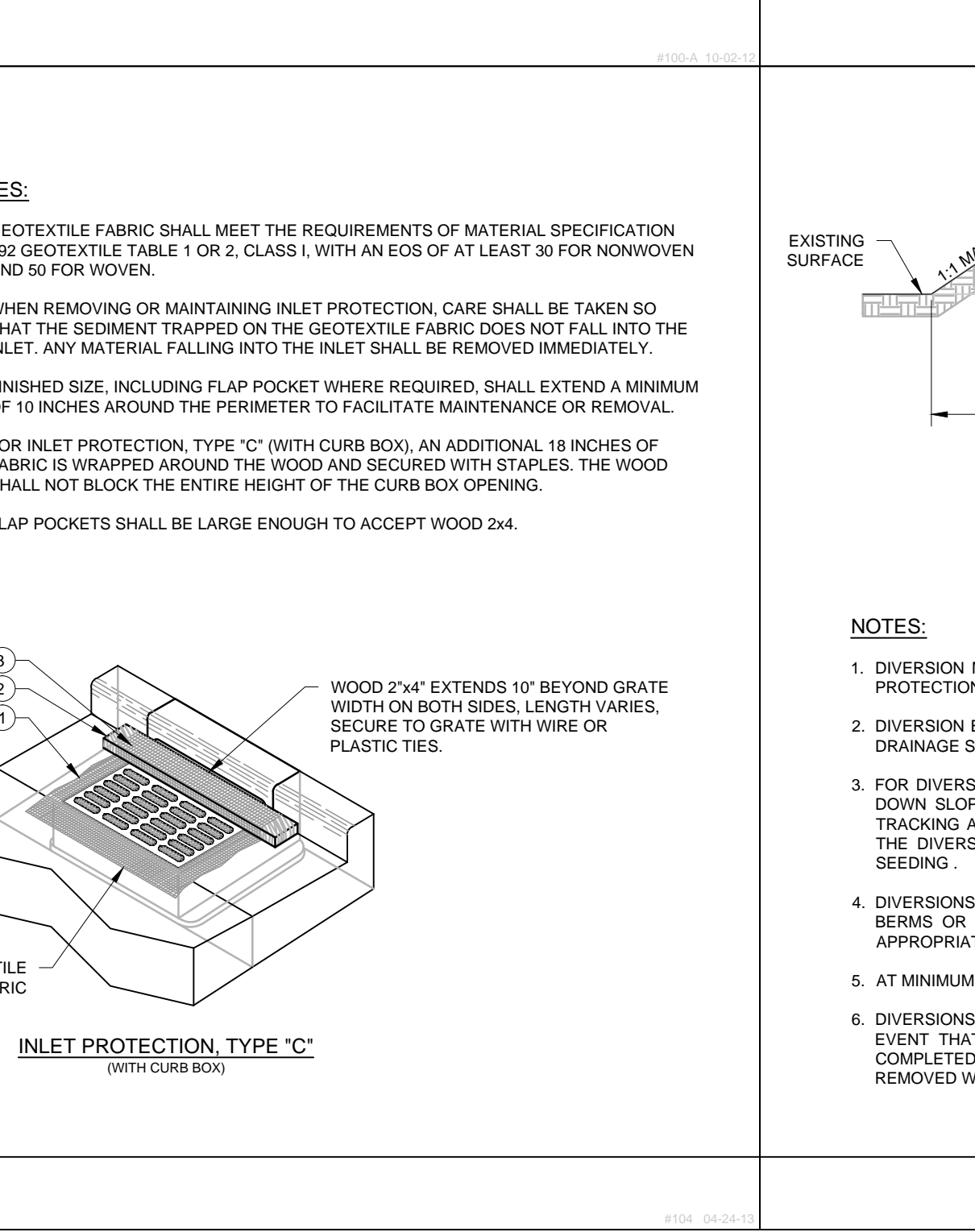
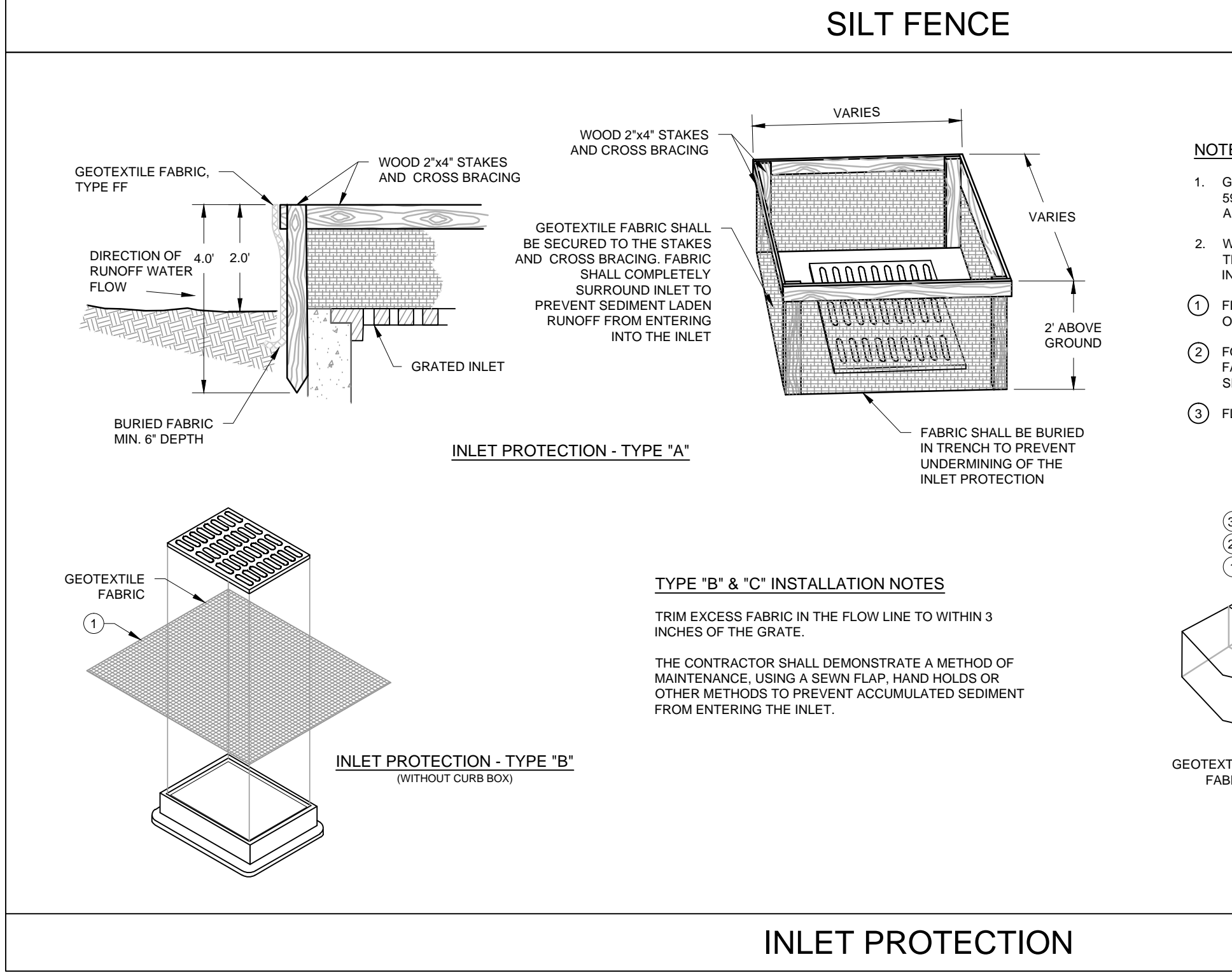
**STABILIZATION EFFECTIVENESS (TIME OF YEAR)**

STABILIZATION TYPE	STABILIZATION UTILIZATION PERIODS											
	JAN.	FEB.	MAR.	APR.	MAY	JUNE	JULY	AUG.	SEPT.	OCT.	NOV.	DEC.
PERMANENT SEEDING												
DORMANT SEEDING												
TEMPORARY SEEDING												
SOODING												

- A. KENTUCKY BLUEGRASS 90 LBS/ACRE MIXED WITH PERENNIAL RYEGRASS 30 LBS/ACRE.
- B. KENTUCKY BLUEGRASS 135 LBS/ACRE MIXED WITH PERENNIAL RYEGRASS 45 LBS/ACRE + 2 TONS STRAW MULCH/ACRE.
- C. SPRING OATS 100 LBS/ACRE.
- D. WHEAT OR CEREAL RYE 150 LBS/ACRE.
- E. SOO.
- F. STRAW MULCH 2 TONS/ACRE.
- \* IRRIGATION/WATERING REQUIRED TO SUPPORT ESTABLISHMENT AS NEEDED.

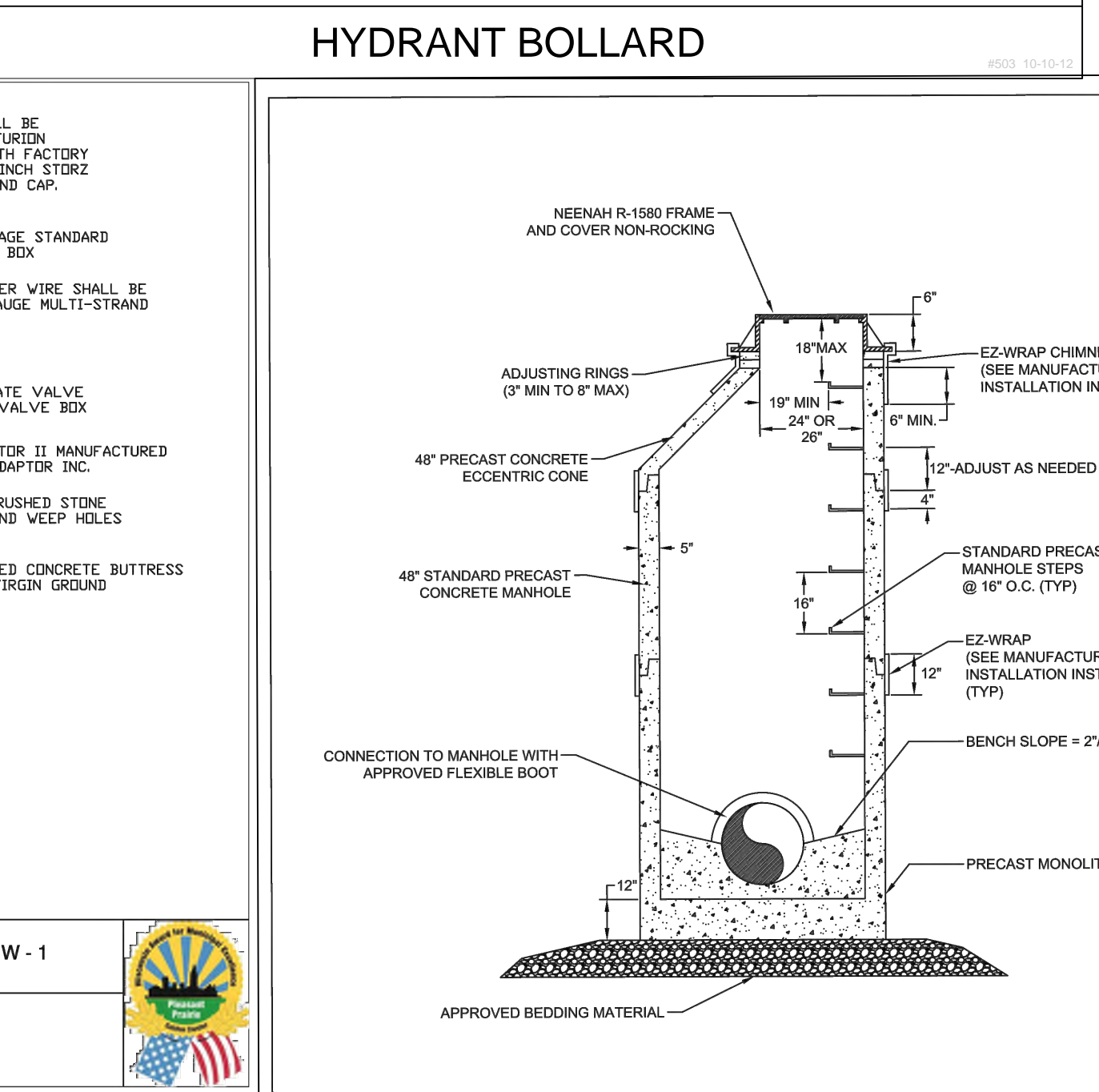
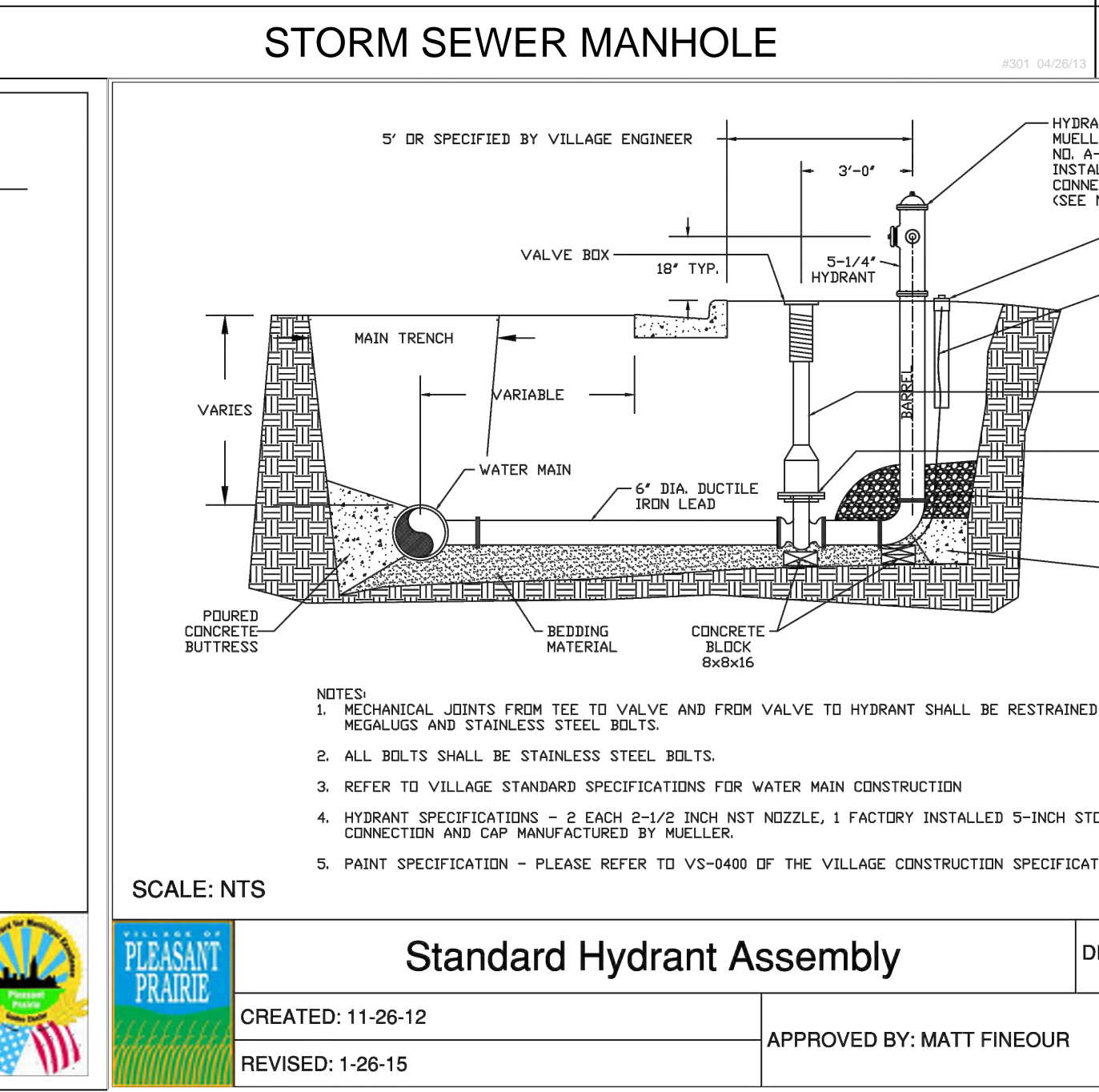
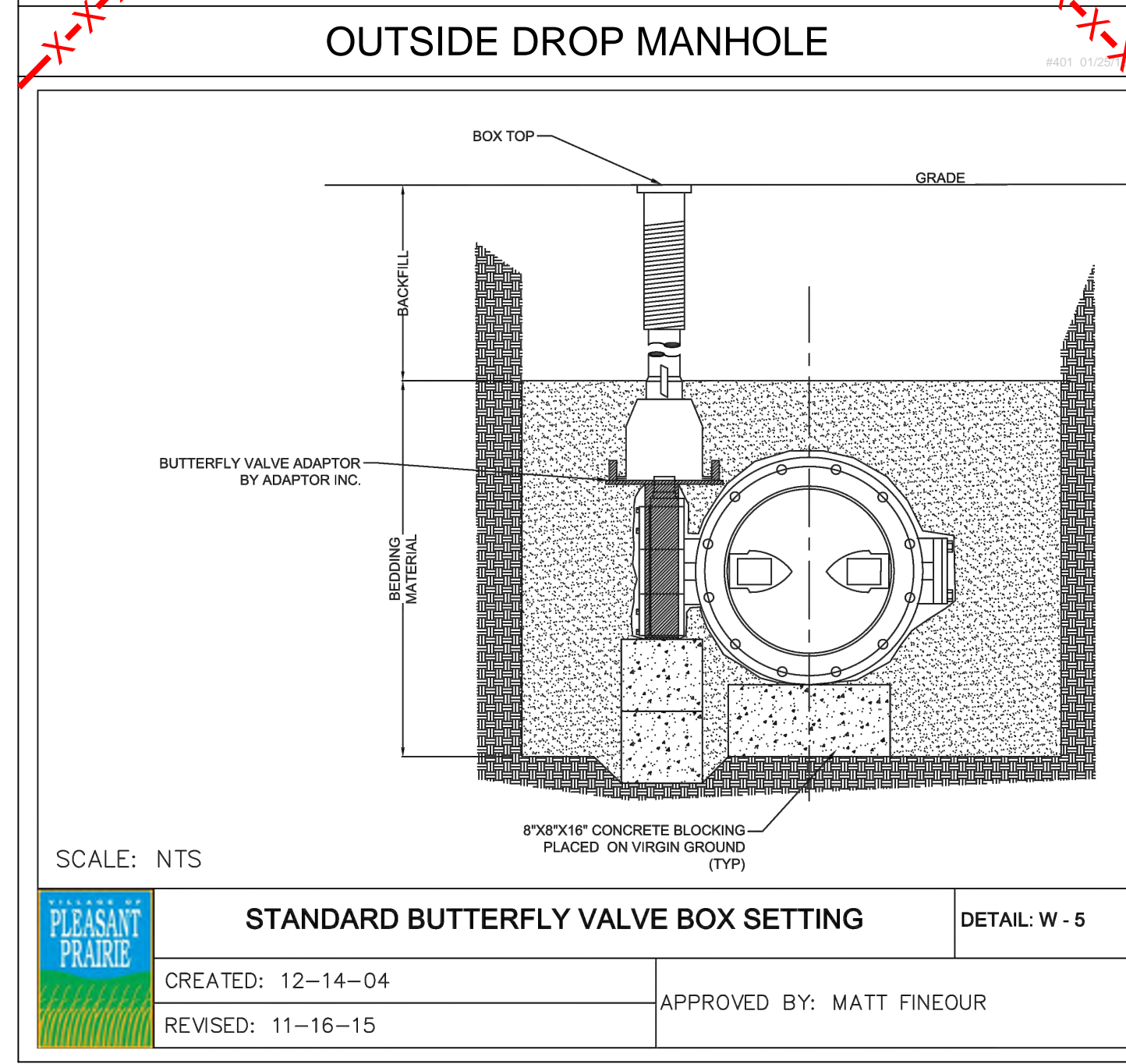
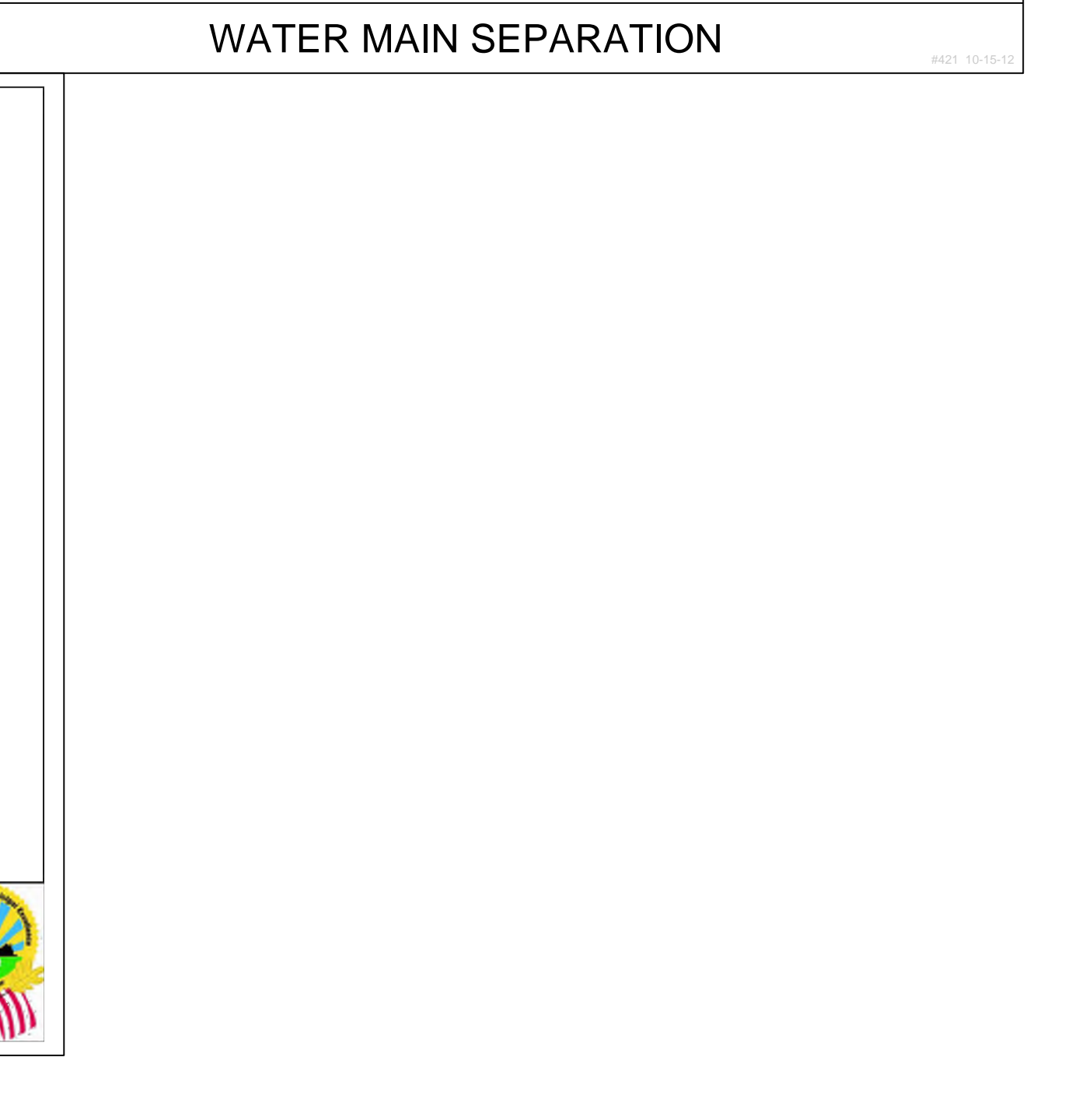
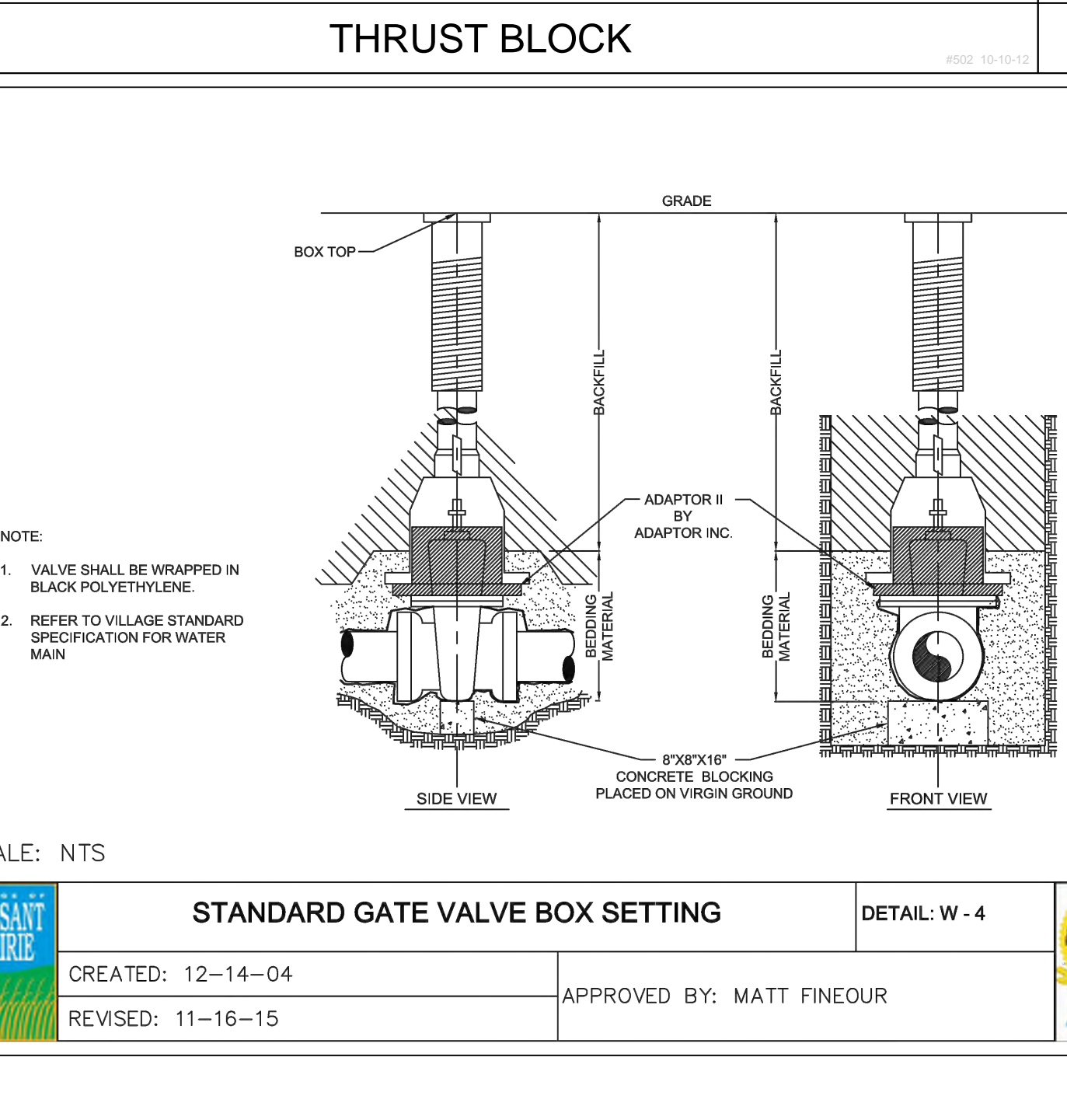
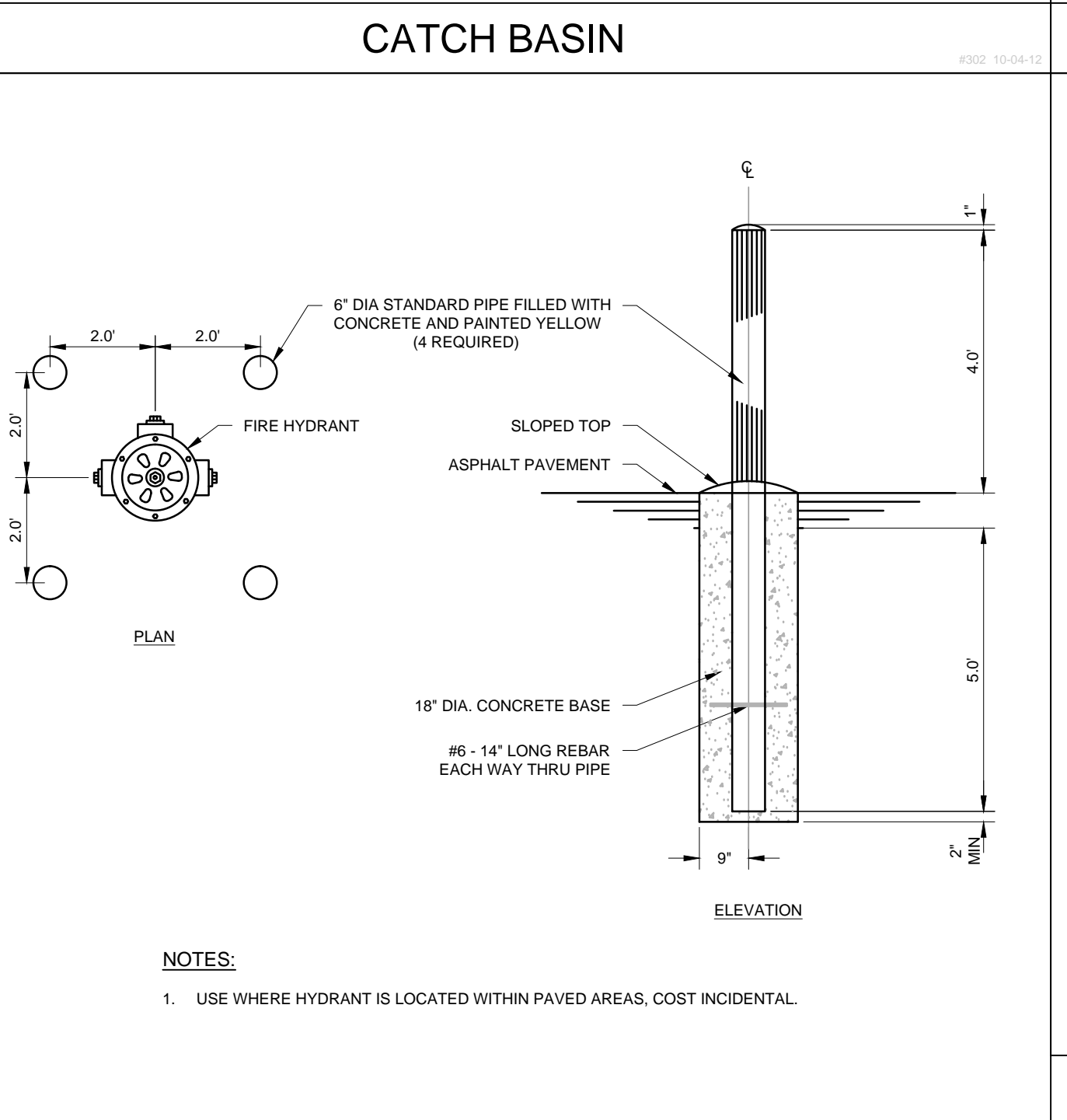
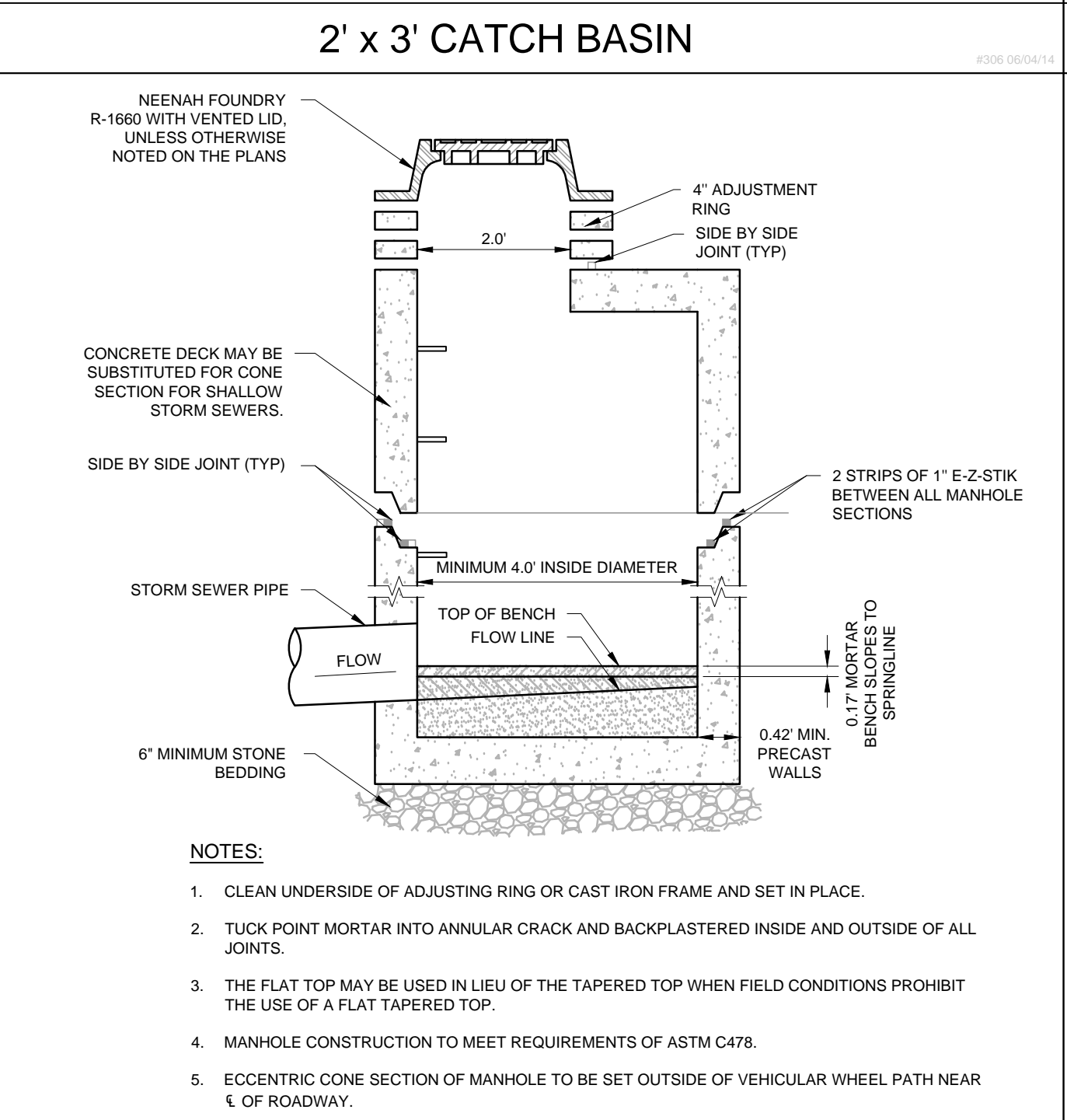
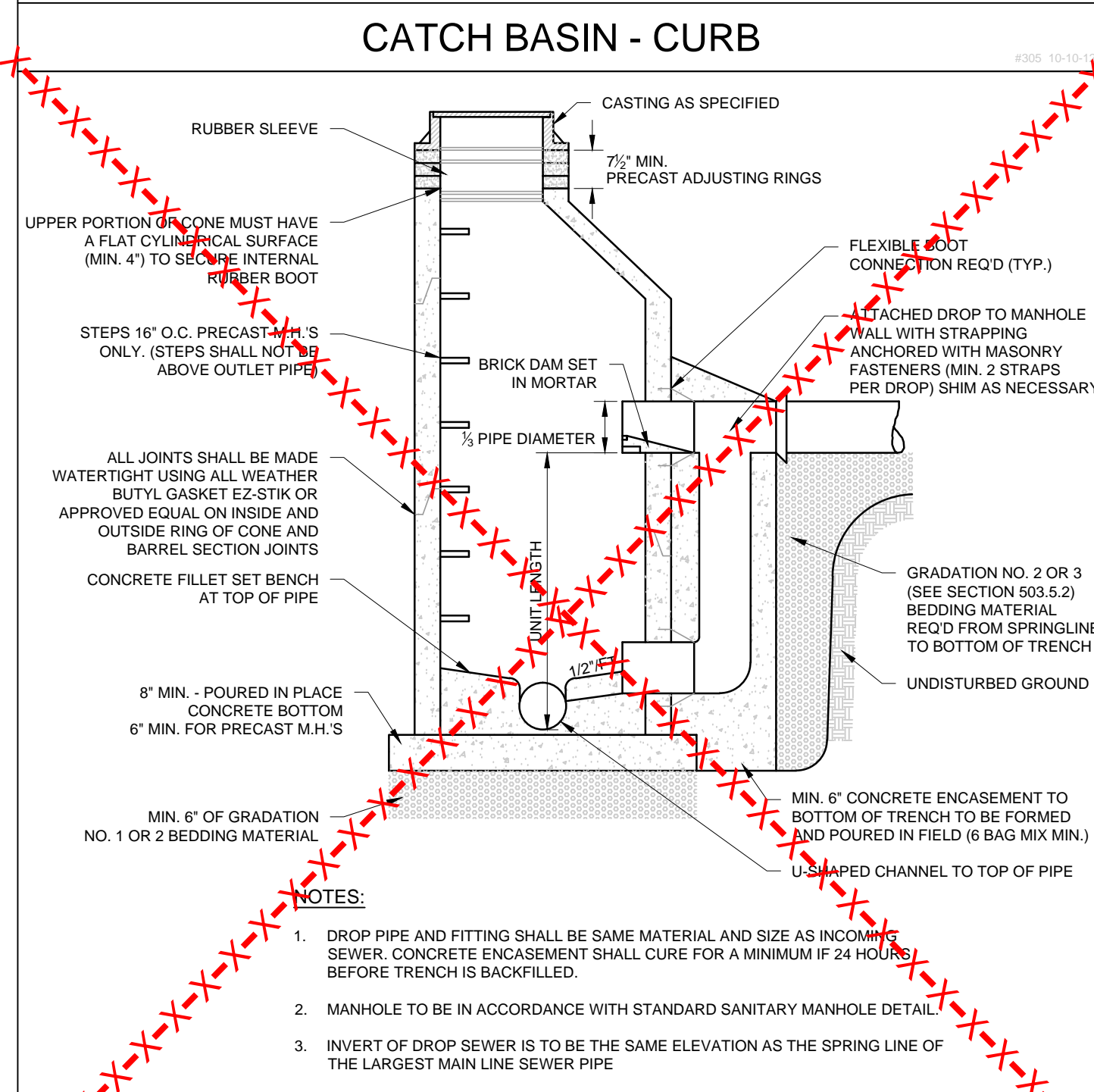
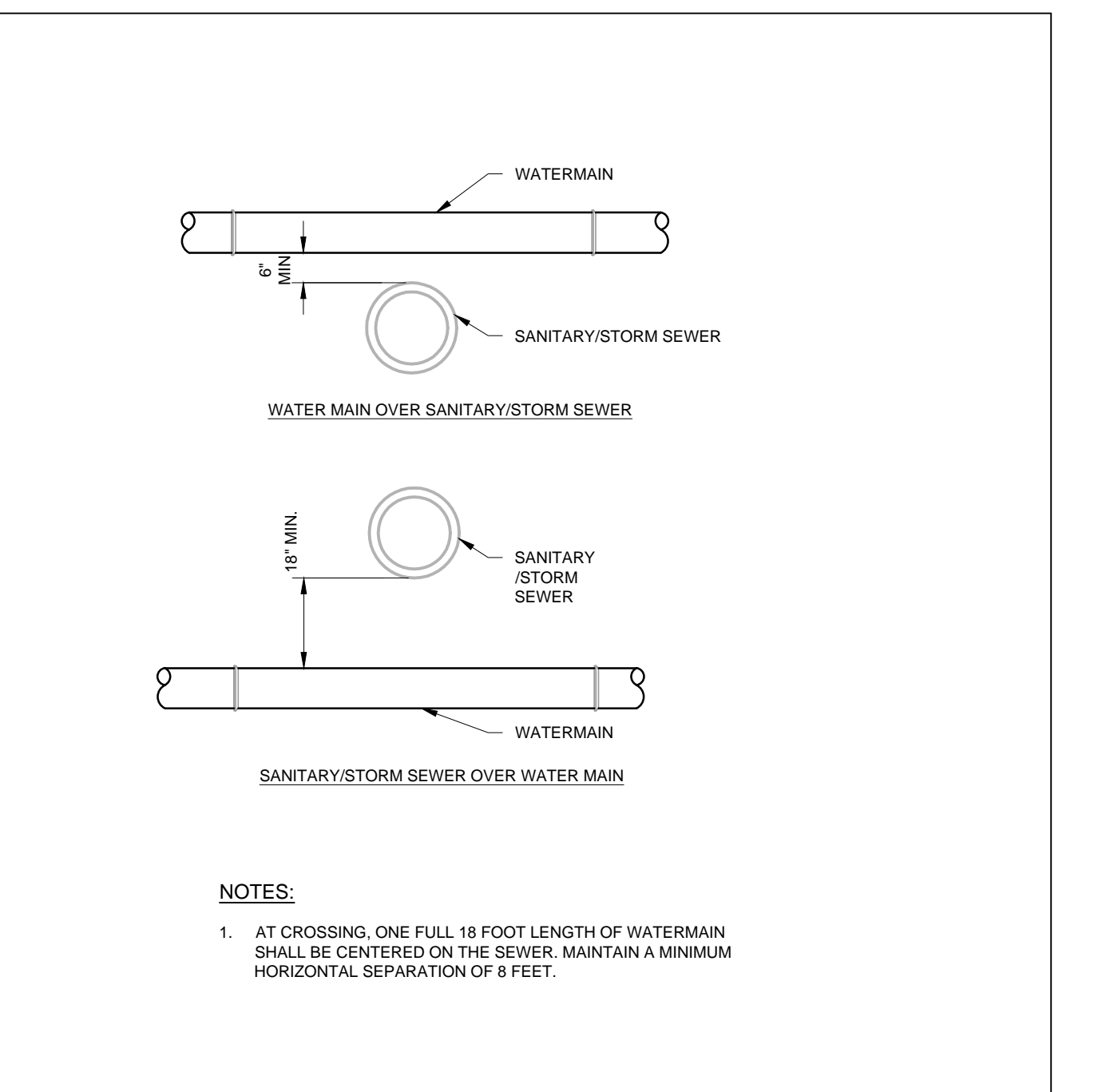
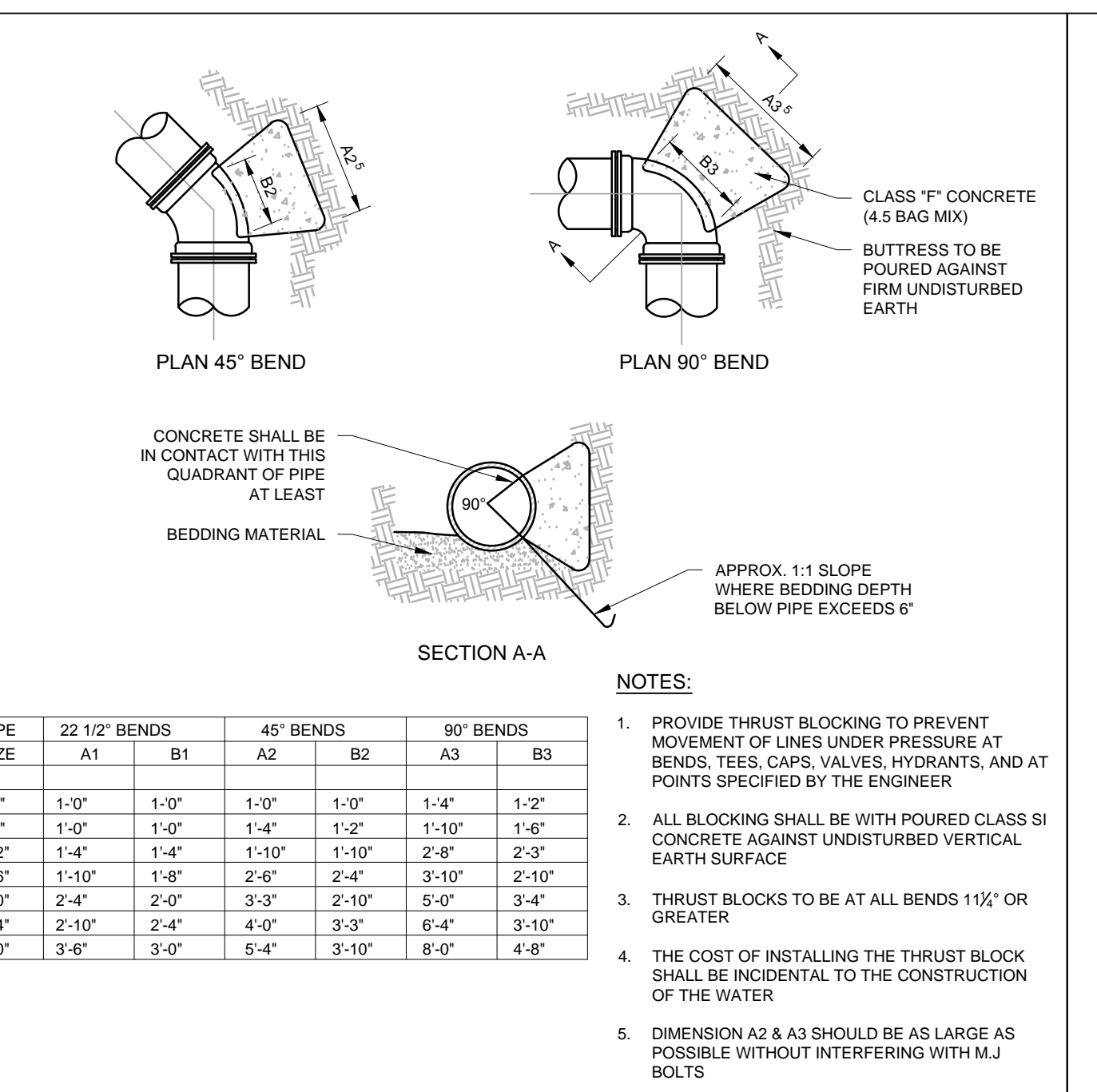
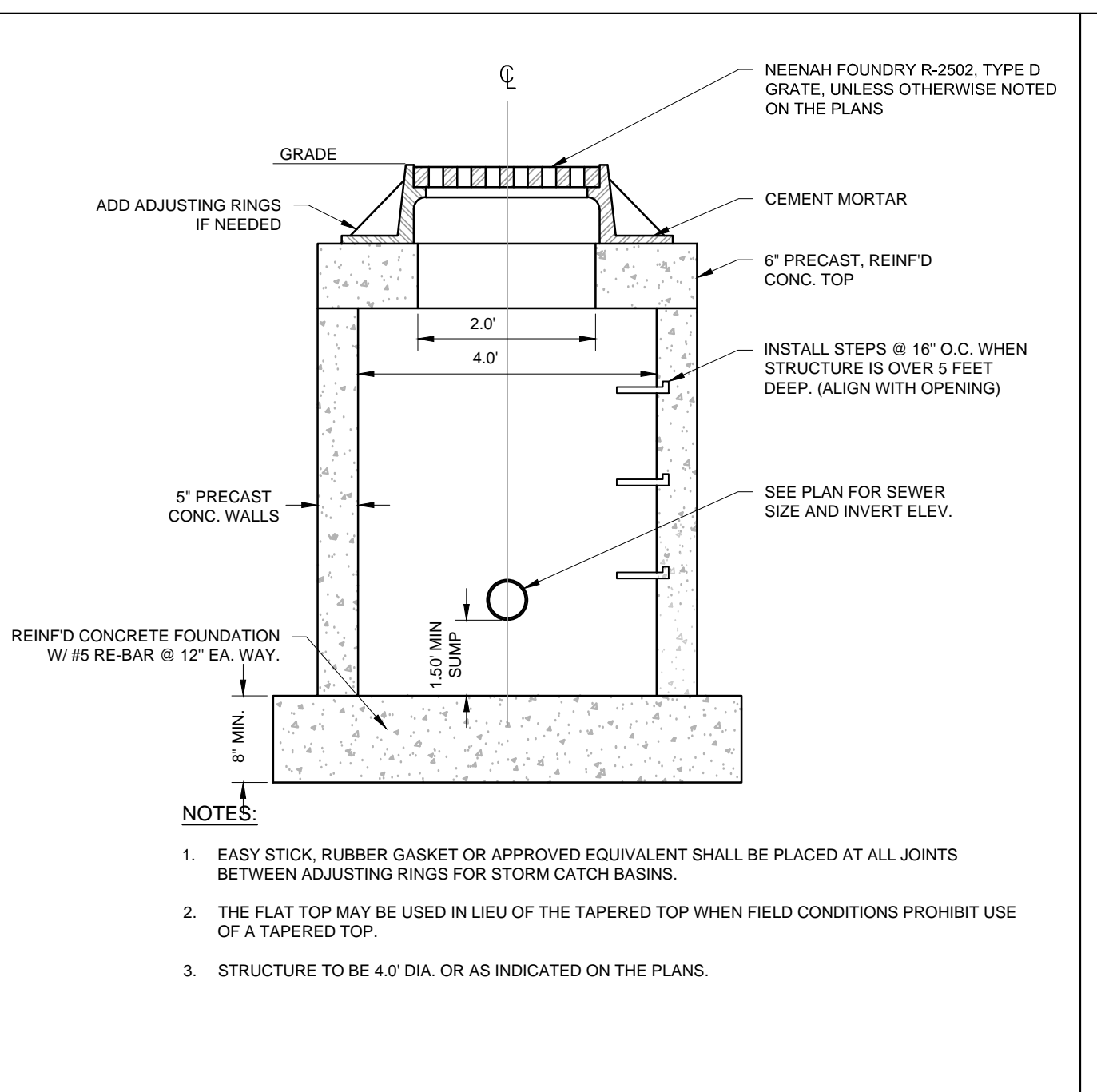
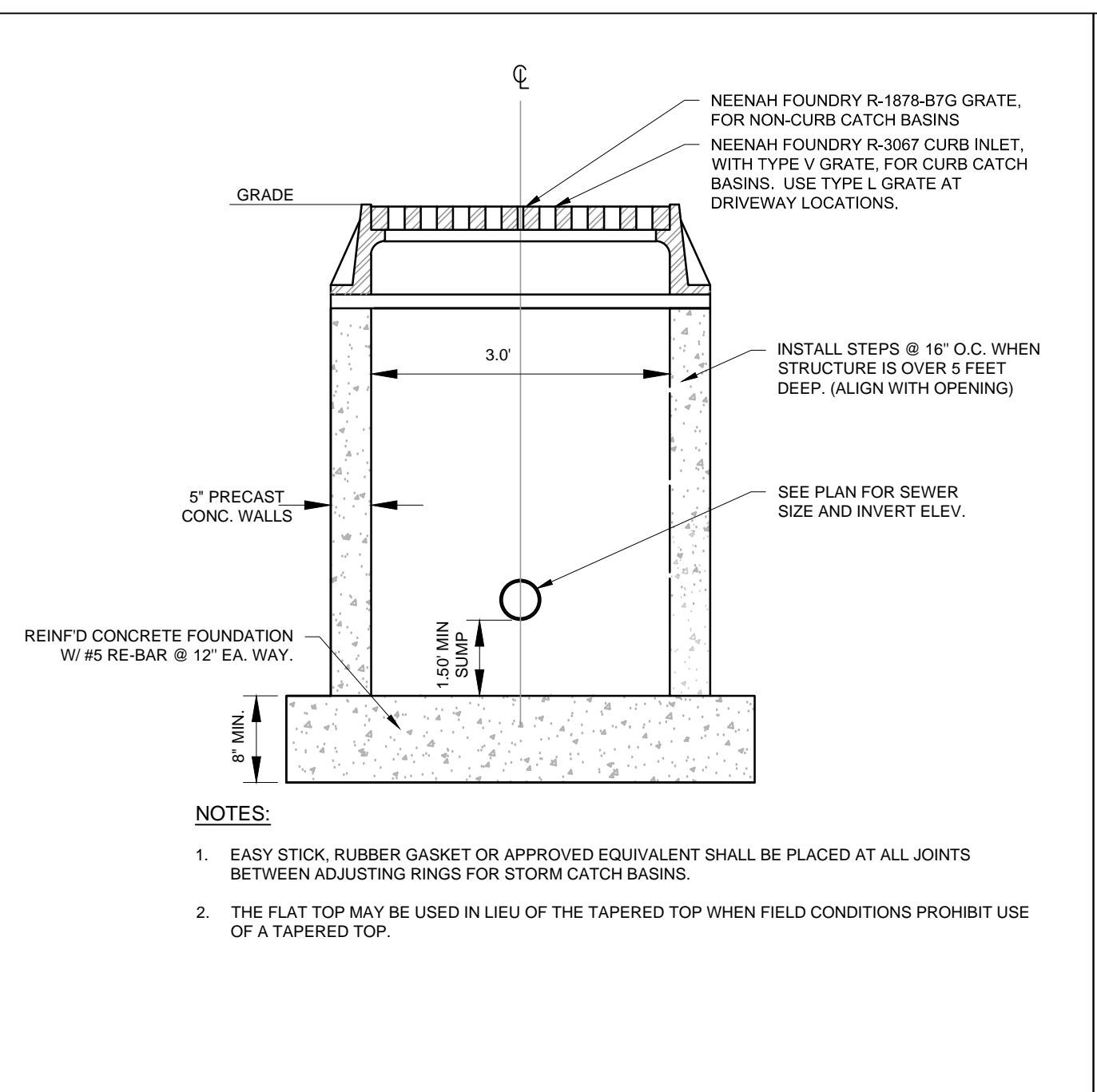
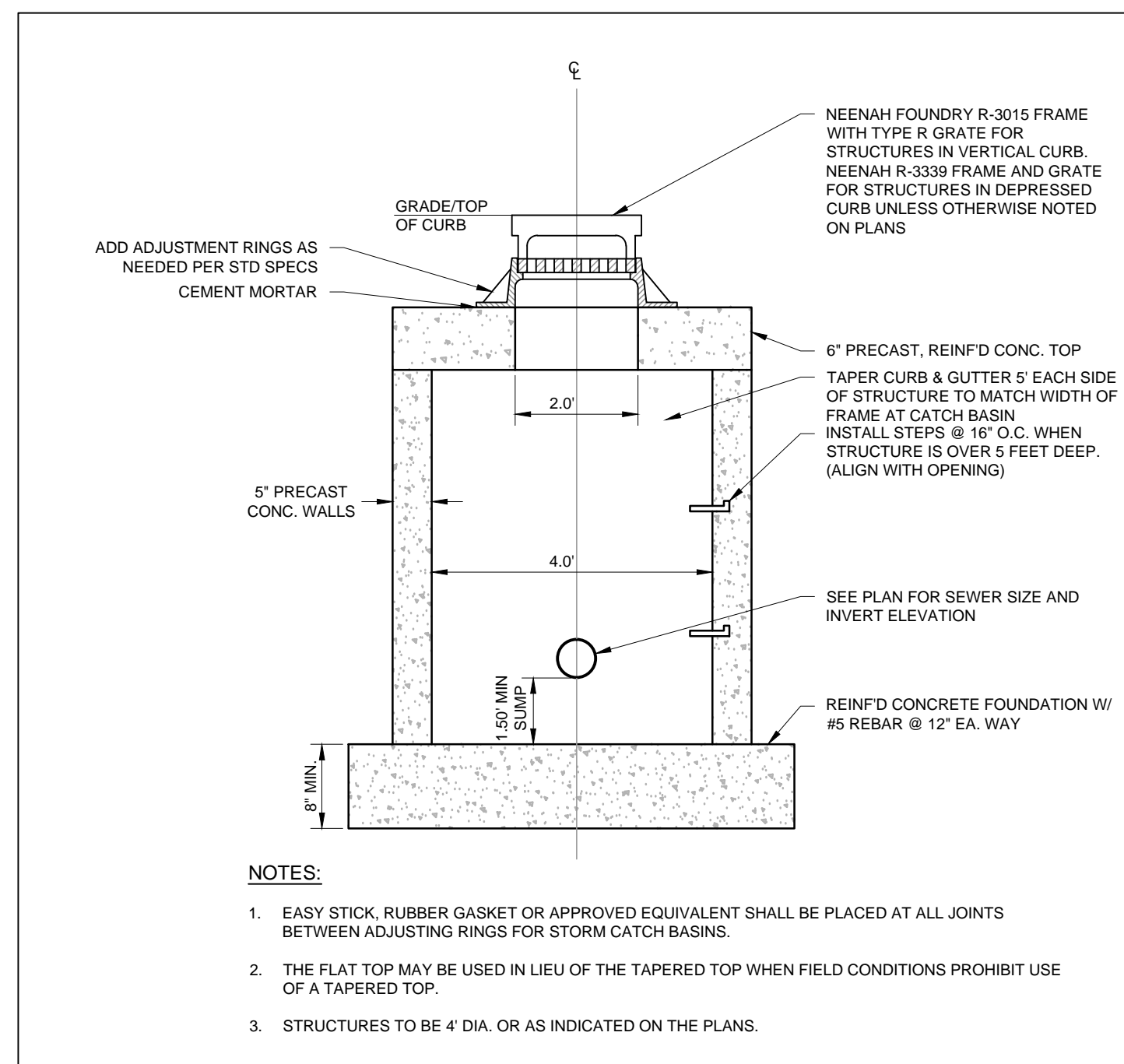


SHOW AND LABEL LOCATION ON THE PLANS



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DESIGNED BY: [REDACTED] CHECKED BY: [REDACTED] APPROVED BY: [REDACTED] DATE: 11-16-15



**STANDARD BUTTERFLY VALVE BOX SETTING** DETAIL: W-5  
 CREATED: 12-14-04  
 REVISED: 11-16-15  
 APPROVED BY: MATT FINEOUR

**Standard Hydrant Assembly** DETAIL: W-1  
 CREATED: 11-26-12  
 REVISED: 1-26-15  
 APPROVED BY: MATT FINEOUR

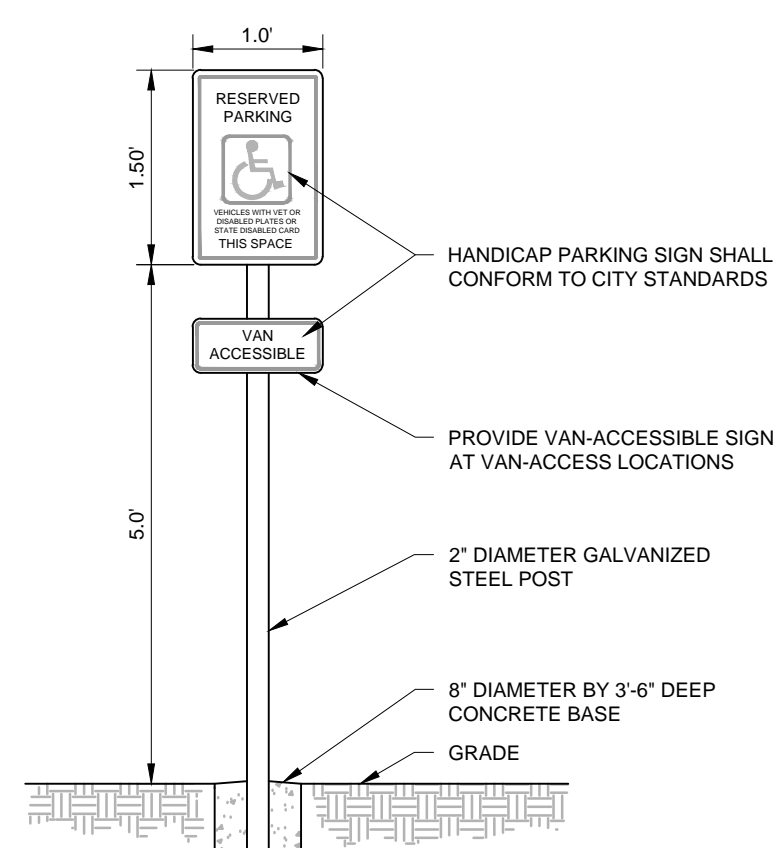
**STANDARD SANITARY MANHOLE** DETAIL: SAN-1  
 CREATED: 11-21-12  
 REVISED: 11-10-15  
 APPROVED BY: MATT FINEOUR

**STANDARD GATE VALVE BOX SETTING** DETAIL: W-4  
 CREATED: 12-14-04  
 REVISED: 11-16-15  
 APPROVED BY: MATT FINEOUR

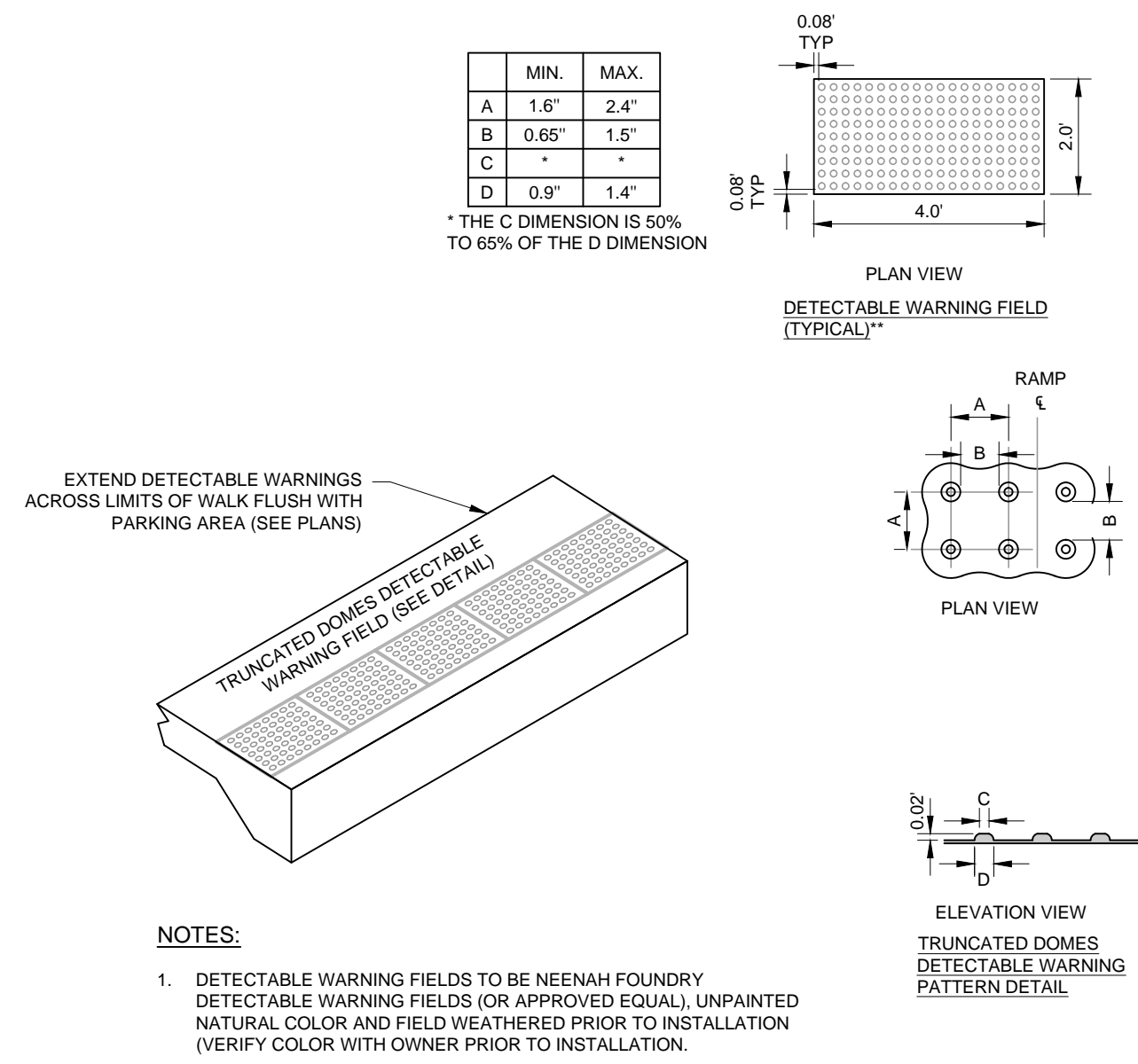
www.pinnacle-engr.com



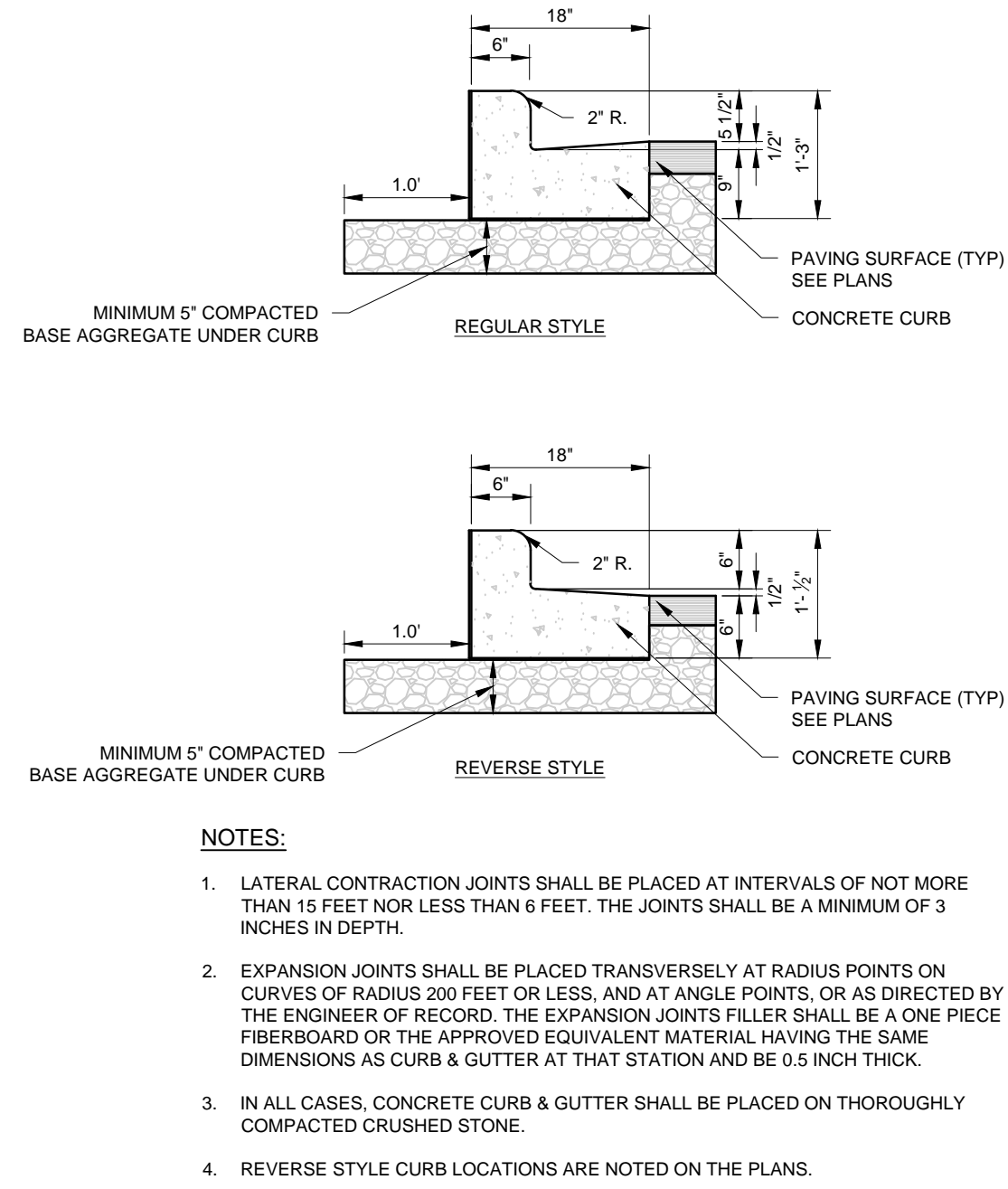
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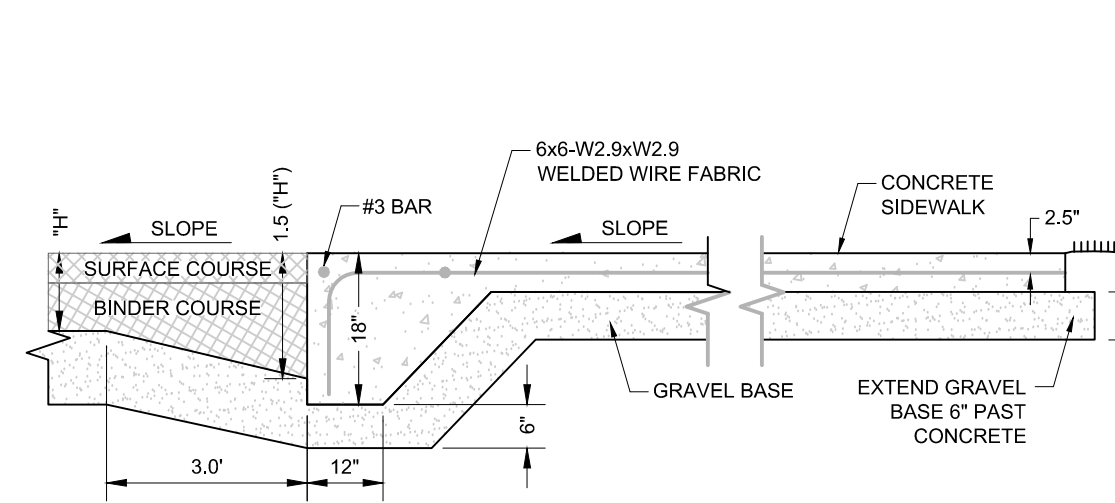
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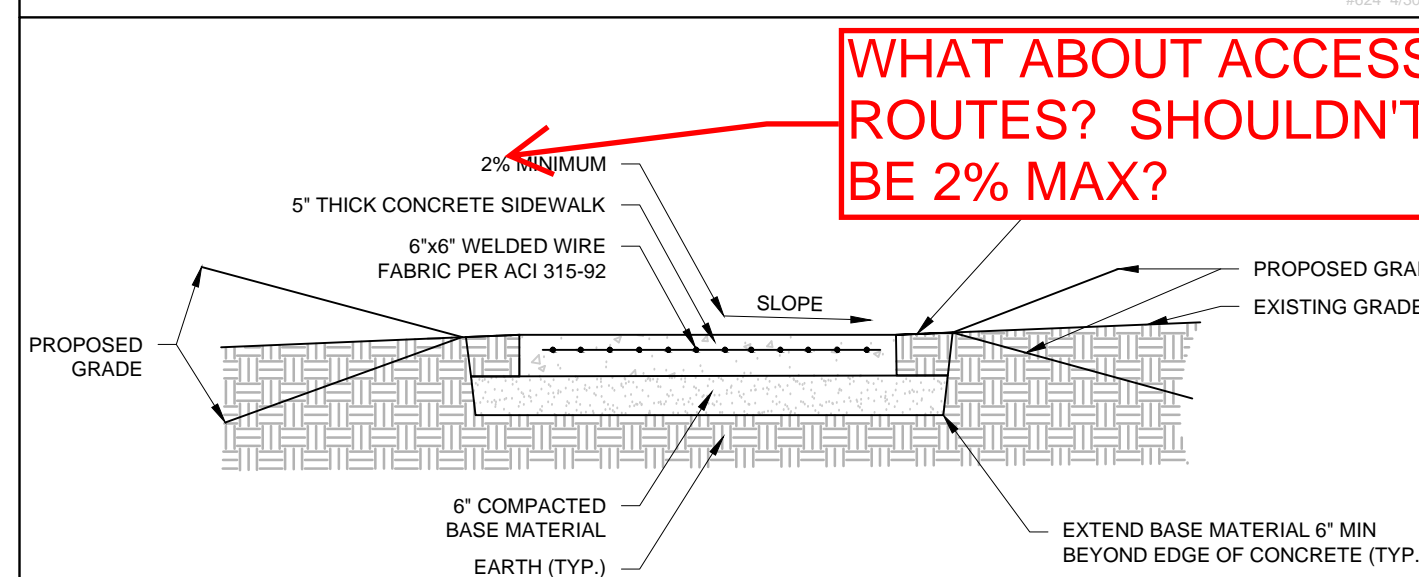
DETECTABLE WARNING TRUNCATED DOMES



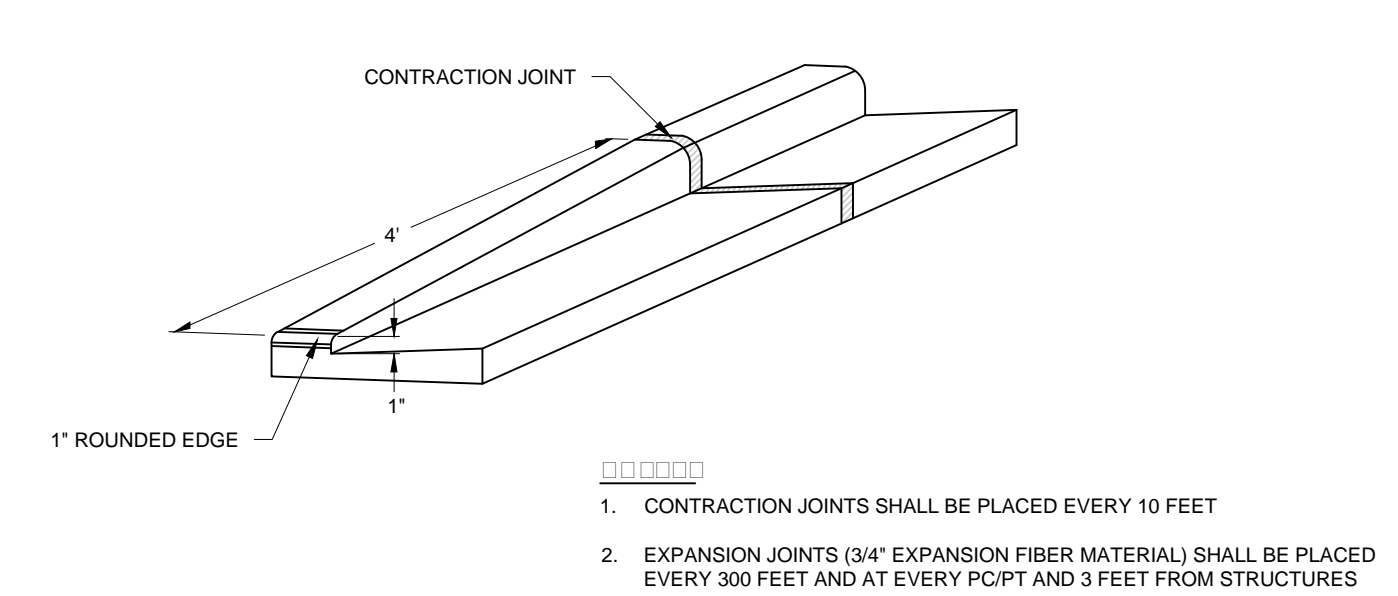
18" VERTICAL FACE CURB



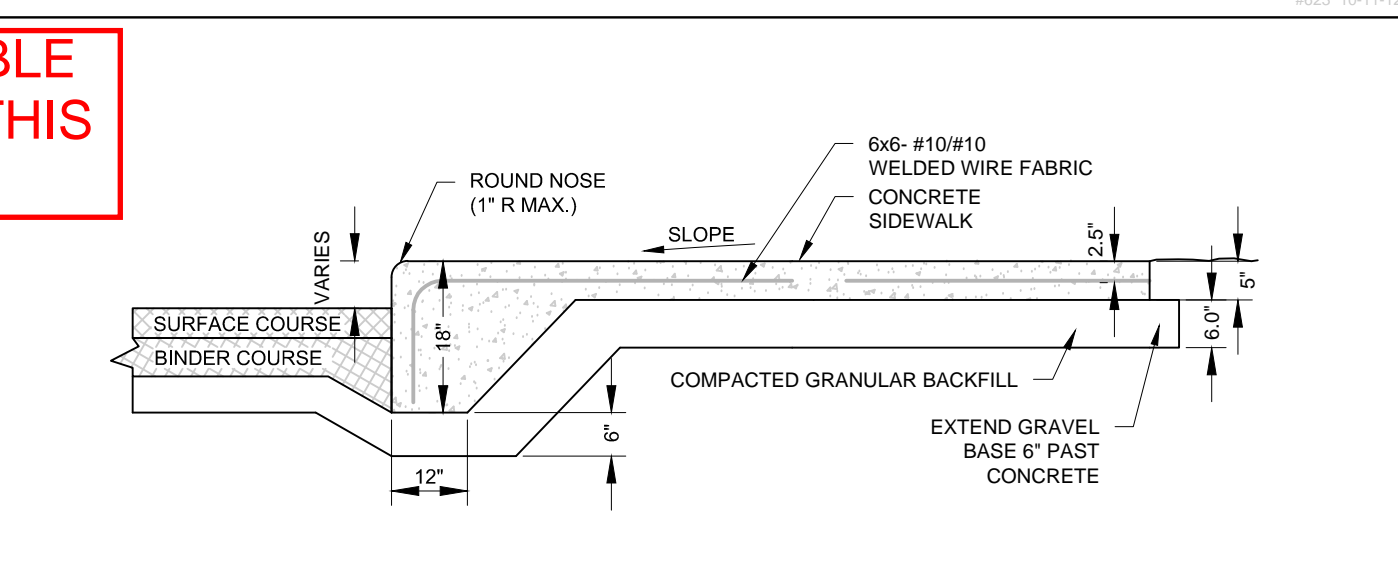
WALK FLUSH WITH PAVEMENT



CONCRETE SIDEWALK



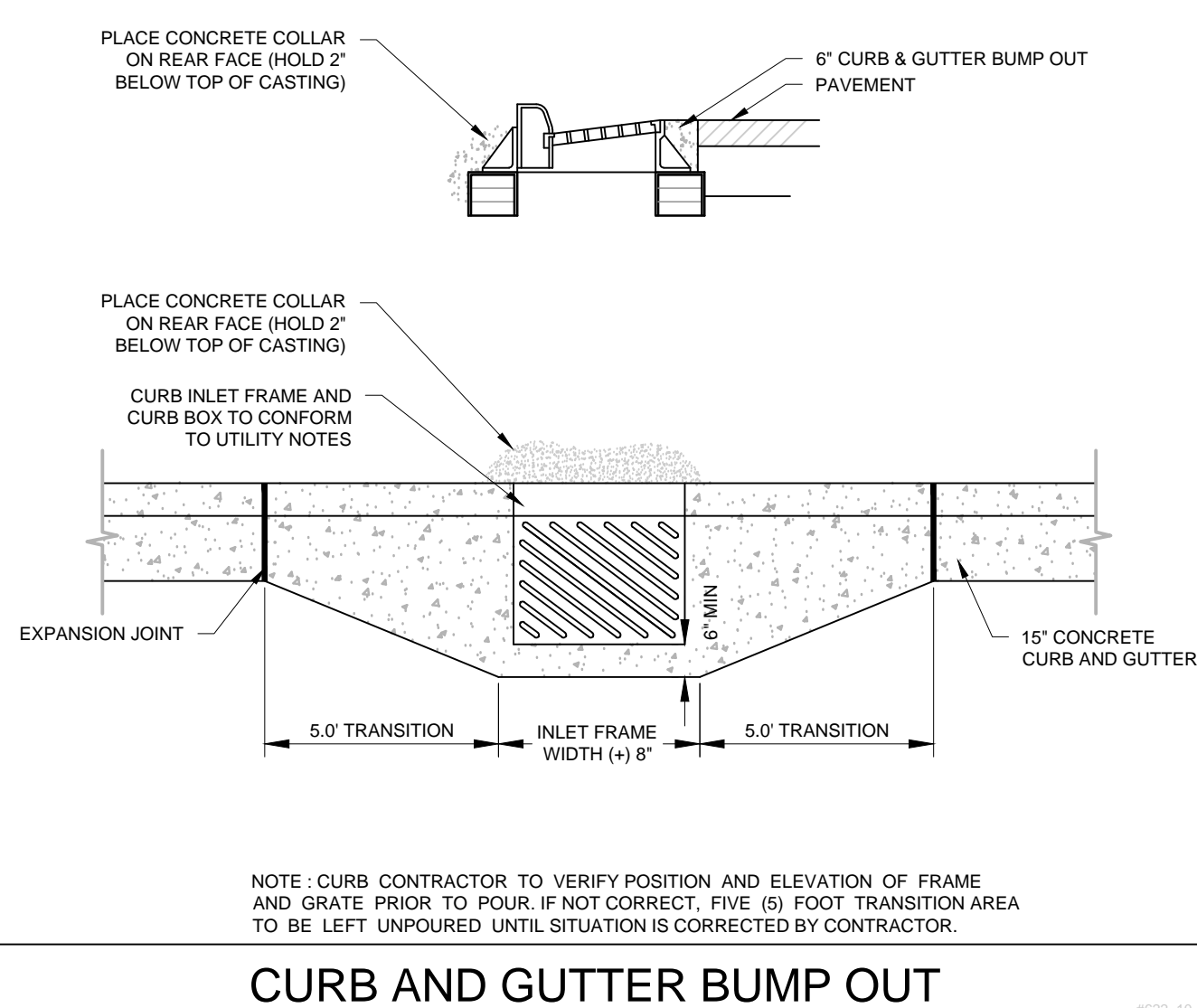
TAPER CURB HEAD



INTEGRAL CURB AND SIDEWALK

WHAT ABOUT ACCESSIBLE ROUTES? SHOULDN'T THIS BE 2% MAX?

NOTE LOCATIONS ON THE PLANS



CURB AND GUTTER BUMP OUT

Diagram and table for BUTTRESS FOR DEAD ENDS. Includes a table with columns DIA, A, B, C, D and rows for diameters 6", 8", 12", 18", 20", 24", 30". Includes notes on dimension requirements and a detail drawing of the buttress.

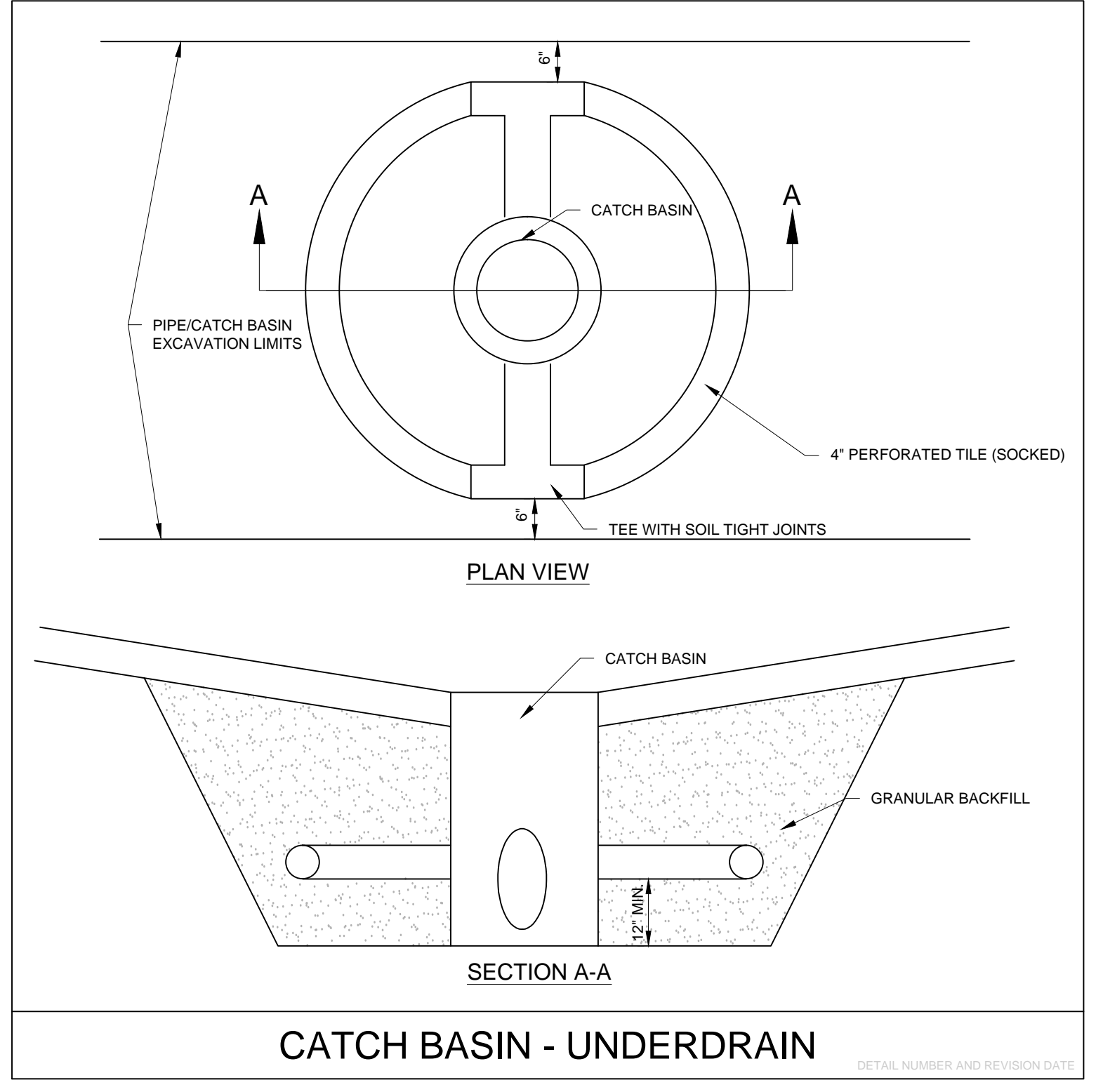
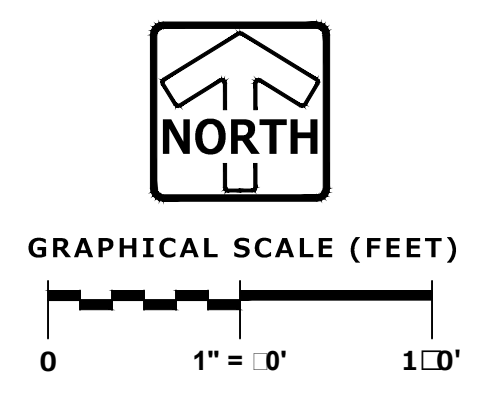
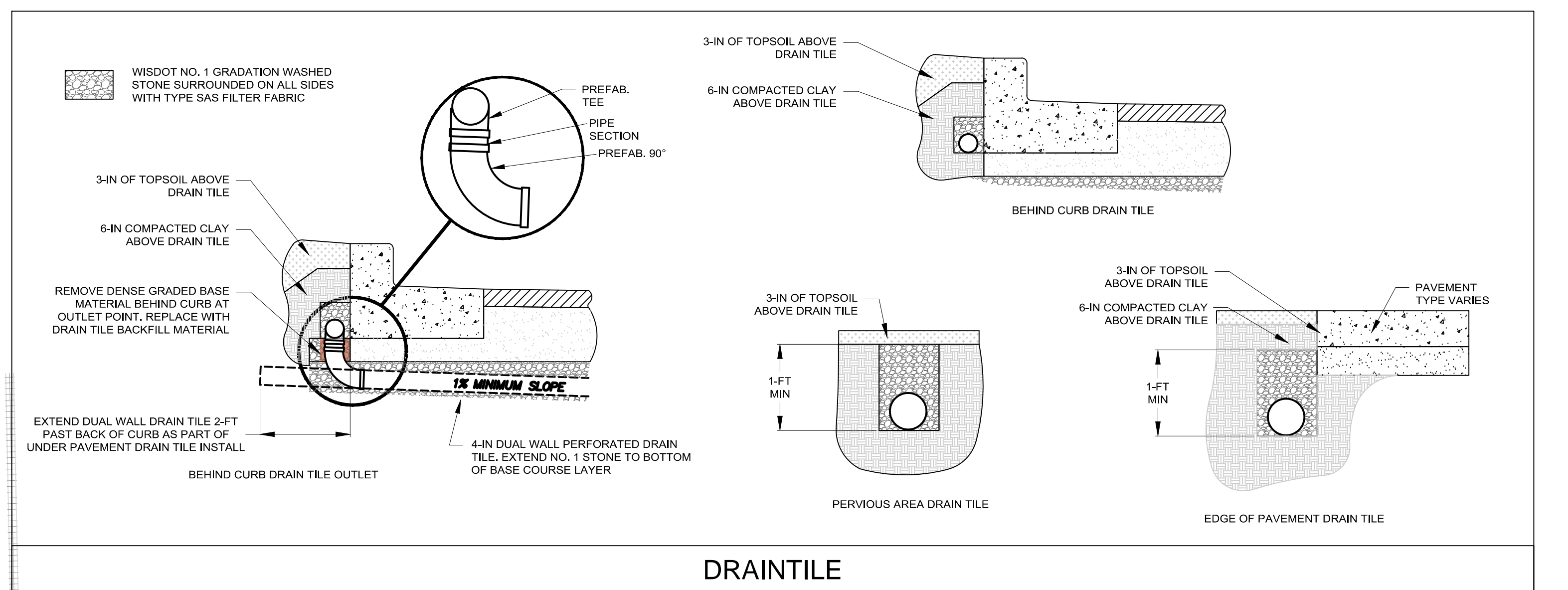
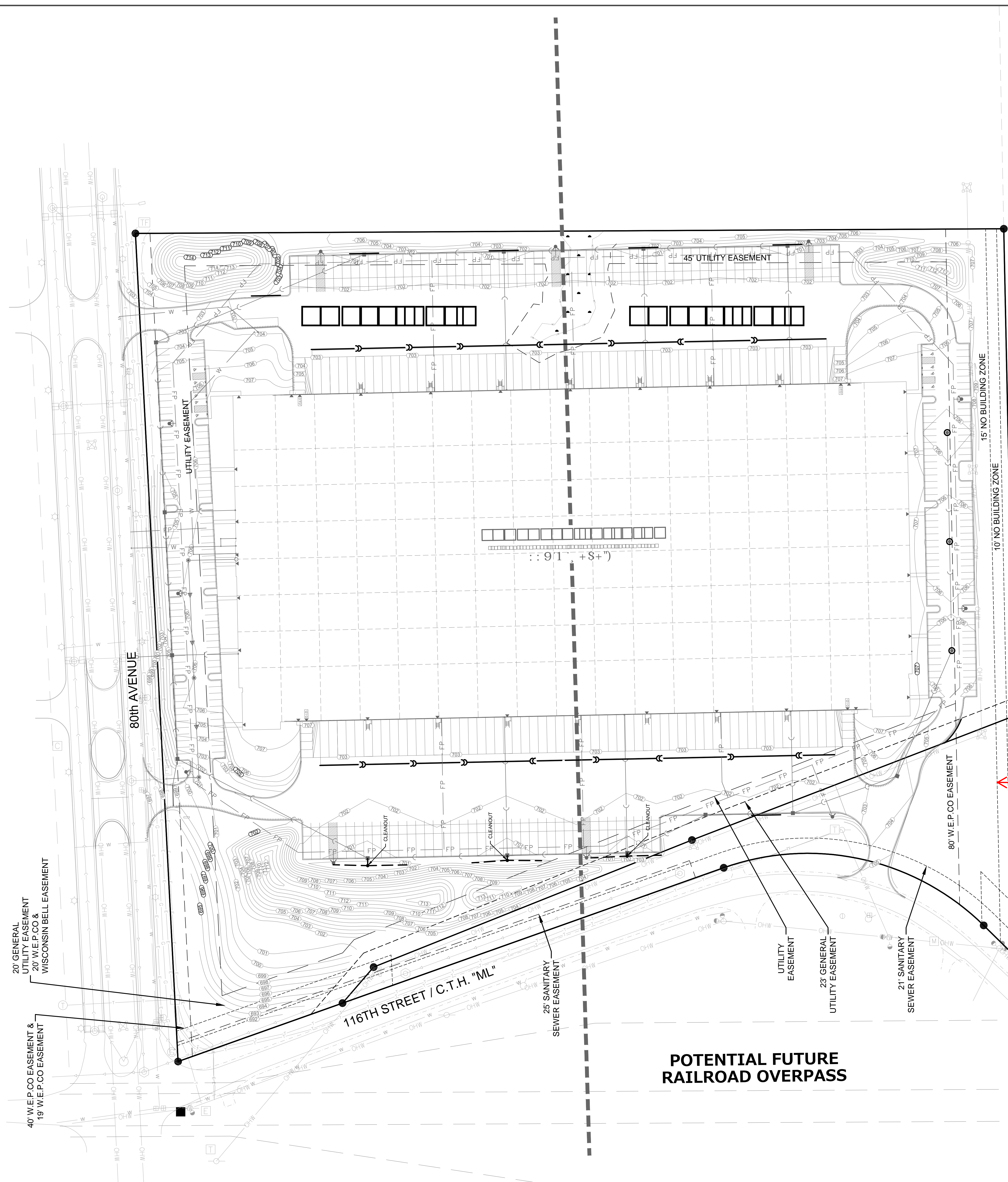
Diagram and table for BUTTRESS FOR TEES. Includes a table with columns DIA, A, B, C, D and rows for diameters 6", 8", 12", 18", 20", 24", 30". Includes notes on dimension requirements and a detail drawing of the buttress.

Diagram and table for PALMER-BOWLUS FLUME DETAIL (1 OF 2). Includes a table with columns PIPE SIZE, D, H, M, K, J, L and rows for pipe sizes 4" through 30". Includes notes on flume installation and a detail drawing of the flume.

Diagram and table for PALMER-BOWLUS FLUME DETAIL (2 OF 2). Includes a table with columns PIPE SIZE, D, H, M, K, J, L and rows for pipe sizes 4" through 30". Includes notes on flume installation and a detail drawing of the flume.

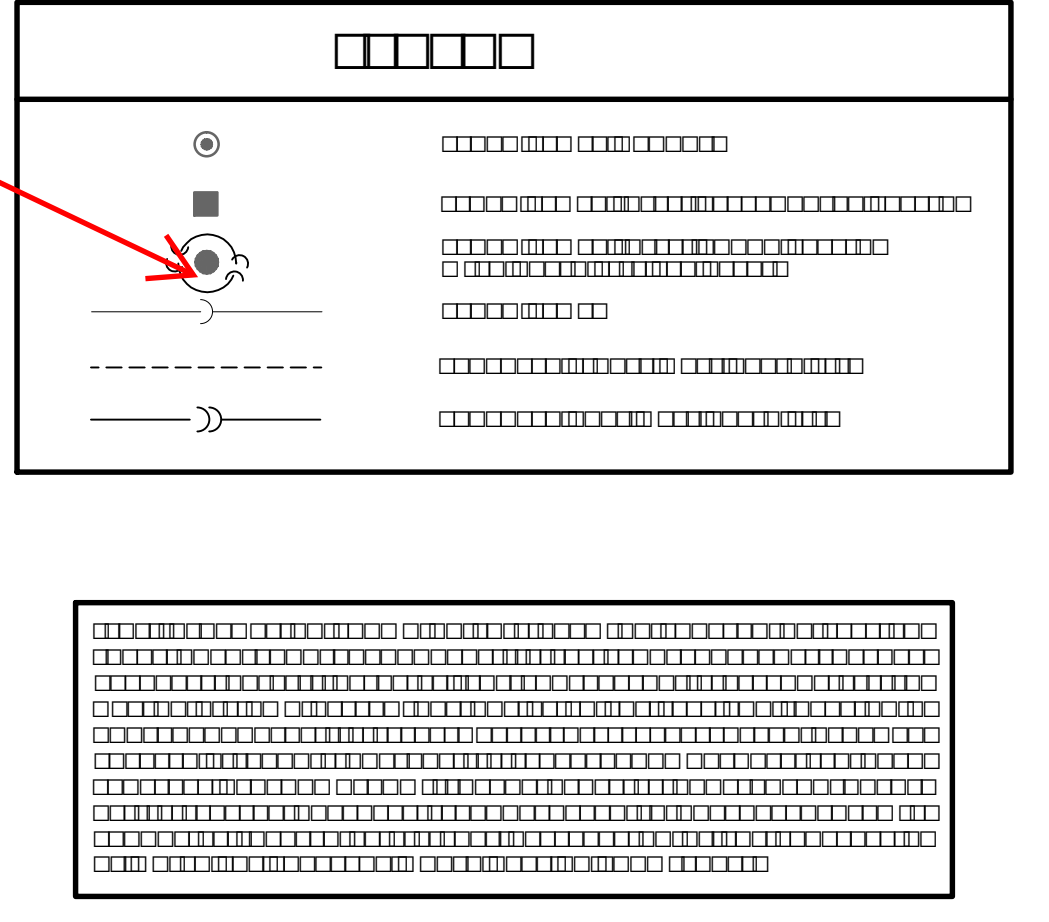
Diagram and table for STANDARD SAMPLING MANHOLE. Includes a table with columns PIPE SIZE, D, H, M, K, J, L and rows for pipe sizes 4" through 30". Includes notes on manhole installation and a detail drawing of the manhole.

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NO CURB INLETS HAVE THIS?

SINGLE WALL DRAIN TILE? REVIEW LINE STYLES



- THE DRAIN TILE CONDUIT AND FITTINGS SHALL MEET STRENGTH AND DURABILITY REQUIREMENTS FOR THE SITE. ALL CONDUITS AND FITTINGS SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS OF THE APPROPRIATE SPECIFICATIONS PUBLISHED BY THE AMERICAN SOCIETY FOR TESTING AND MATERIALS. CORRUGATED HIGH DENSITY POLYETHYLENE (HDPE) CONDUIT AND FITTINGS SHALL MEET THE REQUIREMENTS OF ASTM M252. CONDUIT TYPE (SINGLE WALL OR DUAL WALL) SHALL BE INSTALLED PER THE LOCATIONS SHOWN IN THE PLANS. CONTRACTOR MAY SUBSTITUTE DUAL WALL CONDUIT AT LOCATIONS SPECIFIED FOR SINGLE WALL CONDUIT AT THE SOLE EXPENSE OF THE CONTRACTOR.
  - SINGLE WALL CONDUIT SHALL BE TYPE CP WITH CLASS II PERFORATION PATTERN.
  - DUAL WALL CONDUIT SHALL BE TYPE SP WITH A SMOOTH INTERIOR THAT CARRIES A MAXIMUM MANNING'S 'N' VALUE OF 0.12 WITH CLASS II PERFORATION PATTERN.
- ALL DRAIN TILE CONSTRUCTION MUST BE PROVIDED WITH TRACER WIRE OR OTHER APPROVED METHODS IN ORDER TO BE LOCATED IN ACCORD WITH 182.07(152R) OF THE STATUTES. CONTRACTOR SHALL PROVIDE THE ENGINEER NOTICE OF LOCATION METHOD PRIOR TO THE START OF CONSTRUCTION.
- A MAXIMUM TRENCH WIDTH OF 2-FT SHALL BE MAINTAINED FOR ALL DRAIN TILE INSTALLATION WITH THE EXCEPTION OF CONNECTION POINTS TO THE EXISTING STORM SEWER SYSTEM IN WHICH CASE THE CONTRACTOR SHALL LIMIT DISTURBANCE AS POSSIBLE.
- THE MINIMUM DEPTH OF COVER (FINISH GRADE TO TOP PIPE) SHALL BE:
  - CONCRETE PAVED AREAS - 2.0-FT
  - ASPHALT PAVED AREAS - 2.5-FT
  - BEHIND CURB - 0.5-FT
  - OTHER LANDSCAPED/GRASS/PERVIOUS AREAS - 2.0-FT
- CONNECTION TO THE EXISTING STORM SEWER SYSTEM SHALL ACHIEVED BY CORING THE EXISTING REINFORCED CONCRETE STORM SEWER STRUCTURES OR PIPING TO THE DIAMETER NECESSARY TO ACCOMMODATE A PERMANENT CONNECTION. ALL CONNECTIONS TO THE EXISTING REINFORCED CONCRETE STORM SEWER SHALL BE ACHIEVED BY THE USE OF KOR-SEAL CONNECTORS, OR EQUAL.
  - FOR TRENCH INSTALLATIONS OF CORRUGATED PLASTIC CONDUIT (OTHER THAN BEHIND CURB LOCATIONS), THE FOLLOWING BEDDING METHODS ARE REQUIRED:
    - A STONE BEDDING LAYER, AT LEAST 3 IN. THICK, USING A CLEAR STONE SHALL BE INSTALLED TO PROVIDE CONDUIT SUPPORT.
    - COMPACT BEDDING MATERIAL BESIDE AND TO THE UPPER (TOP) LIMITS OF BASE COURSE IN PAVED AREAS OR TOP OF CLAY (BOTTOM OF TOPSOIL LAYER) ABOVE THE CONDUIT.
- ANY HARD OBJECTS LARGER THAN 1.5 IN. IN DIAMETER EXPOSED WITHIN THE TRENCH BOTTOM OR WALLS SHALL BE REMOVED TO PREVENT UNDESIRABLE STRESSES ON THE CONDUIT AND FITTINGS.
- PRE MANUFACTURED FITTINGS (SUCH AS: WYES, TEES, BENDS, CAPS, ETC) OF THE SAME MATERIAL AS THE CONDUIT SHALL BE USED AT ALL CONNECTIONS AND REFLECTIONS GREATER THAN 22.5 DEGREES.
- IF NOT CONNECTED TO A STRUCTURE, THE UPPER END OF EACH SUBSURFACE DRAIN TILE SHALL BE CAPPED WITH A TIGHT-FITTING EXTERNAL CAP OF THE SAME MATERIAL AS THE CONDUIT.
- AT ALL TIMES THE DRAIN TILE SYSTEM SHALL BE KEPT CLEAN AND PROTECTED AGAINST UNDERMINING OF THE CAPACITY OF THE CONDUIT AND DAMAGE DURING CONSTRUCTION. TYPICAL CAPACITY UNDERMINING INCLUDES ENTRY OF CONSTRUCTION MATERIALS, TRASH, AND RODENTS INTO THE CONDUIT.



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POTENTIAL FUTURE RAILROAD OVERPASS

25' SANITARY SEWER EASEMENT

UTILITY EASEMENT

23' GENERAL UTILITY EASEMENT

21' SANITARY SEWER EASEMENT

80' W.E.P.CO EASEMENT

PROPOSED BUILDING  
(SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION)  
FFE = ±707.5

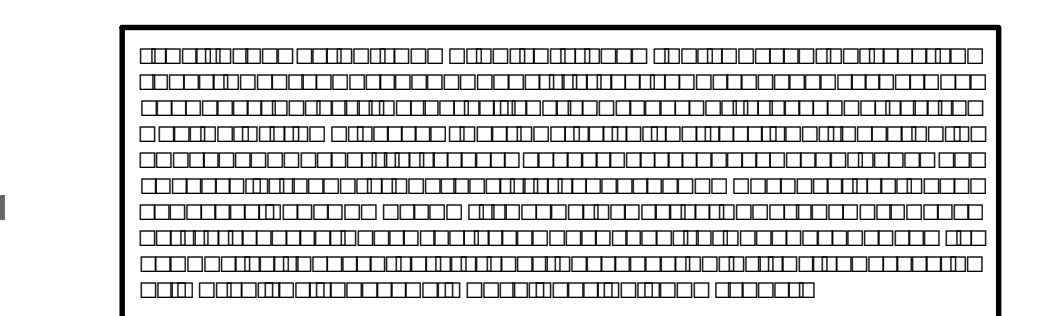
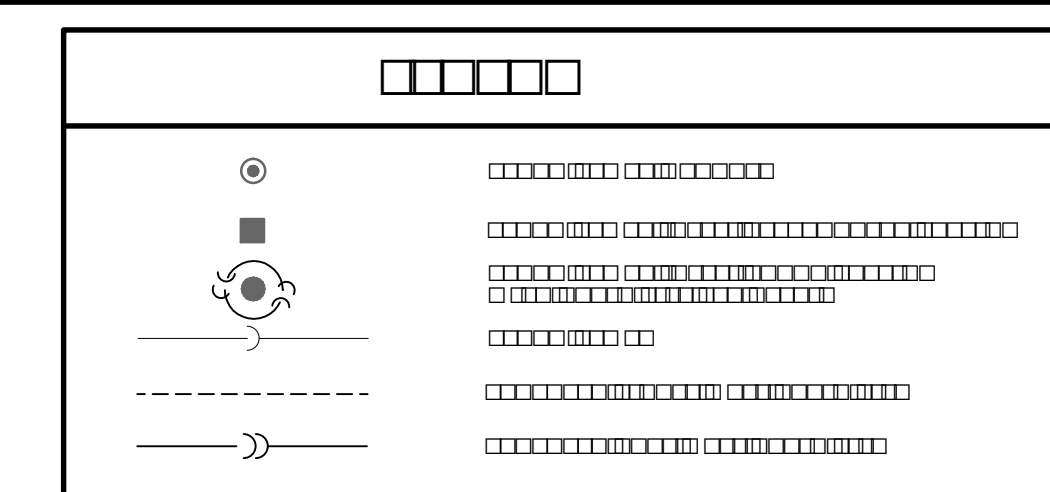
DRAIN TILE? LINE STYLE DOESN'T MATCH LEGEND

ONLY CATCH BASINS IN PAVEMENT BENEFIT FROM THE DRAIN TILE? NO BENEFIT TO CATCH BASINS IN CURB AND GUTTER?

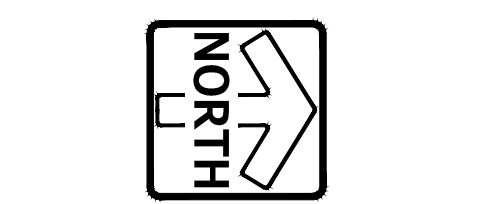
15' NO BUILDING ZONE

10' NO BUILDING ZONE

UNION PACIFIC RAILROAD



1. SEE OVERALL UTILITY DRAIN TILE PLAN SHEET FOR PLAN SPECIFICATIONS AND DETAILS.



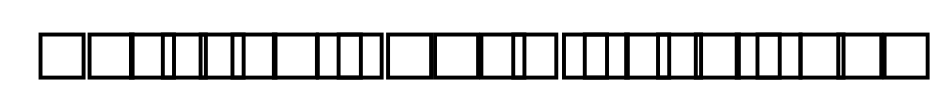
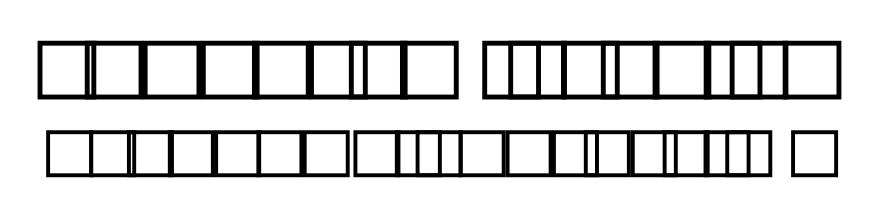
GRAPHICAL SCALE (FEET)  
0 1" = 0'

PLAN | DESIGN | DELIVER  
www.pinnacle-engr.com

**PINNACLE ENGINEERING GROUP**  
ENGINEERING | NATURAL RESOURCES | SURVEYING

WISCONSIN OFFICE:  
18850 W. BELMONT ROAD  
BROOKFIELD, WI 53005  
(262) 754-8888

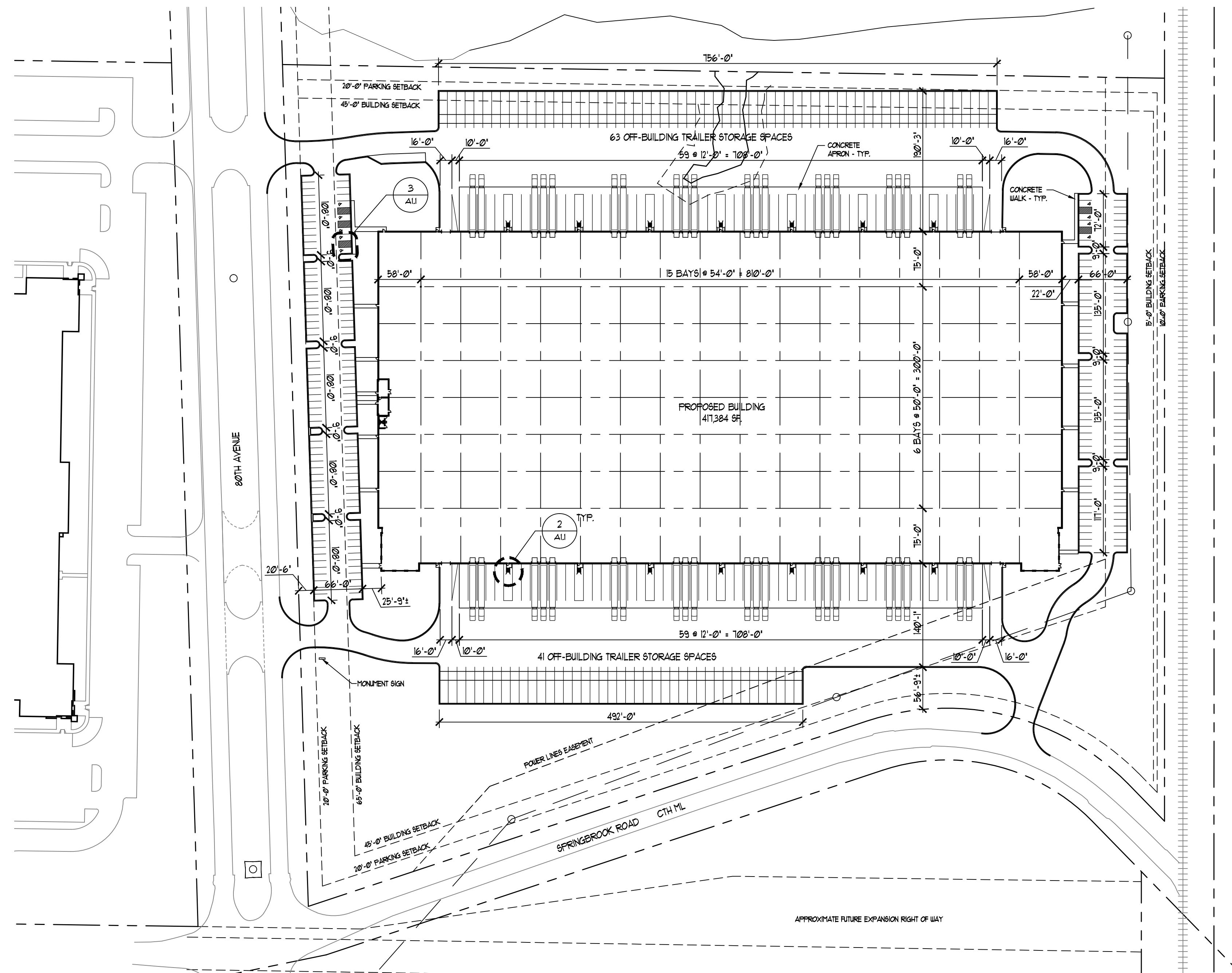
CHICAGO | MILWAUKEE | NATIONWIDE



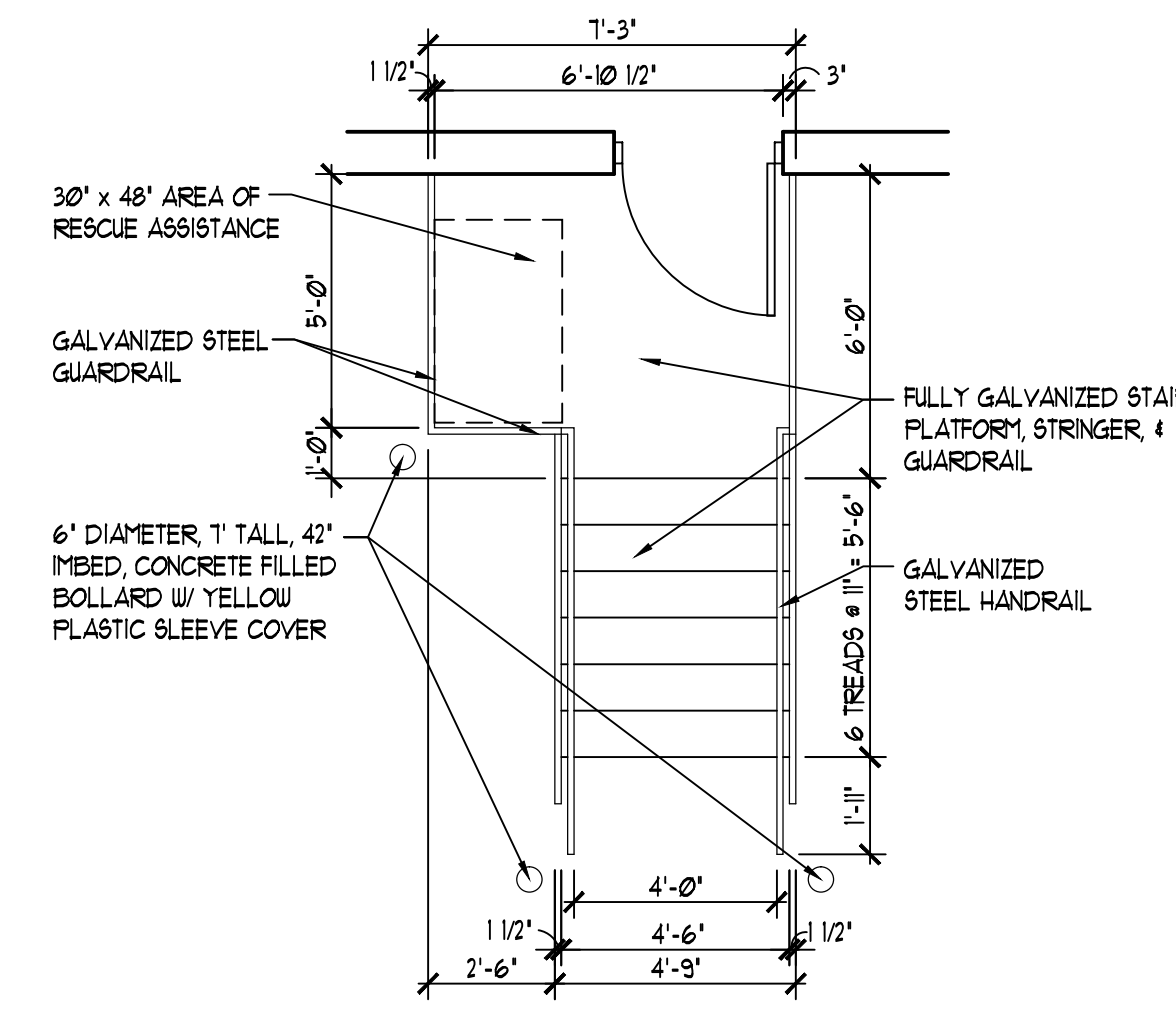
REG. JOB NO. \_\_\_\_\_  
DATE \_\_\_\_\_  
SCALE \_\_\_\_\_  
START DATE: 04/20/2024

www.pinnacle-engr.com

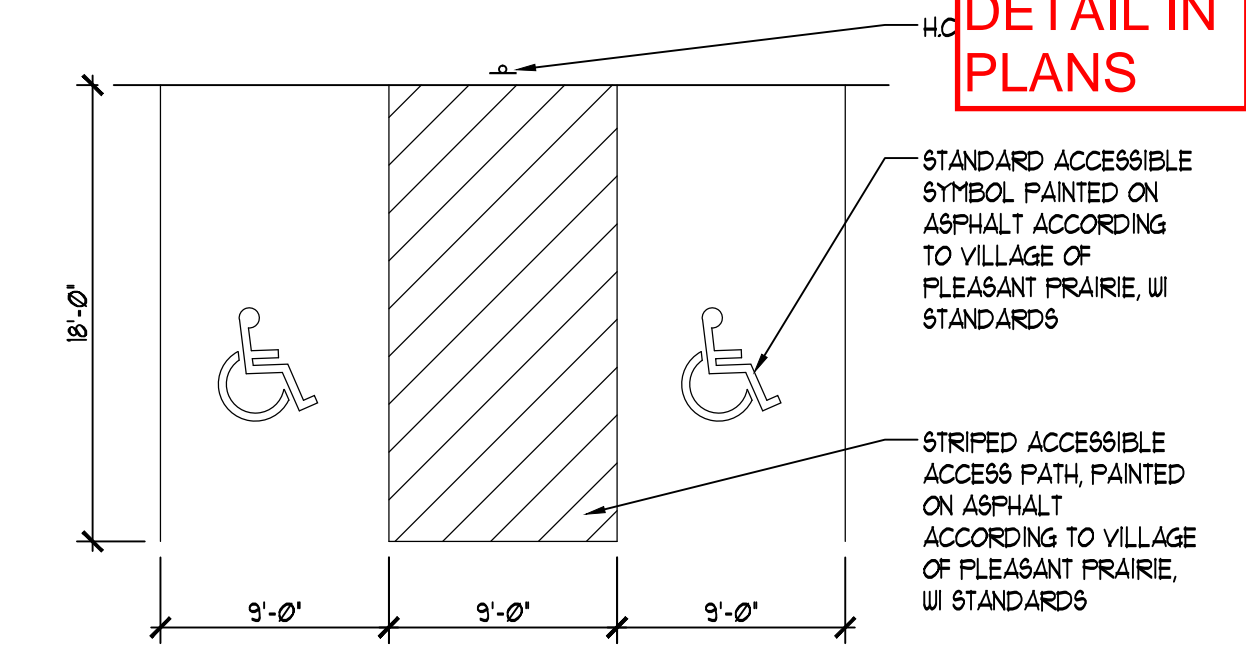
DATE PLOTTED: 04/22/24 10:04 AM



1 PROPOSED SITE PLAN  
A1.0 1" = 100'-0"



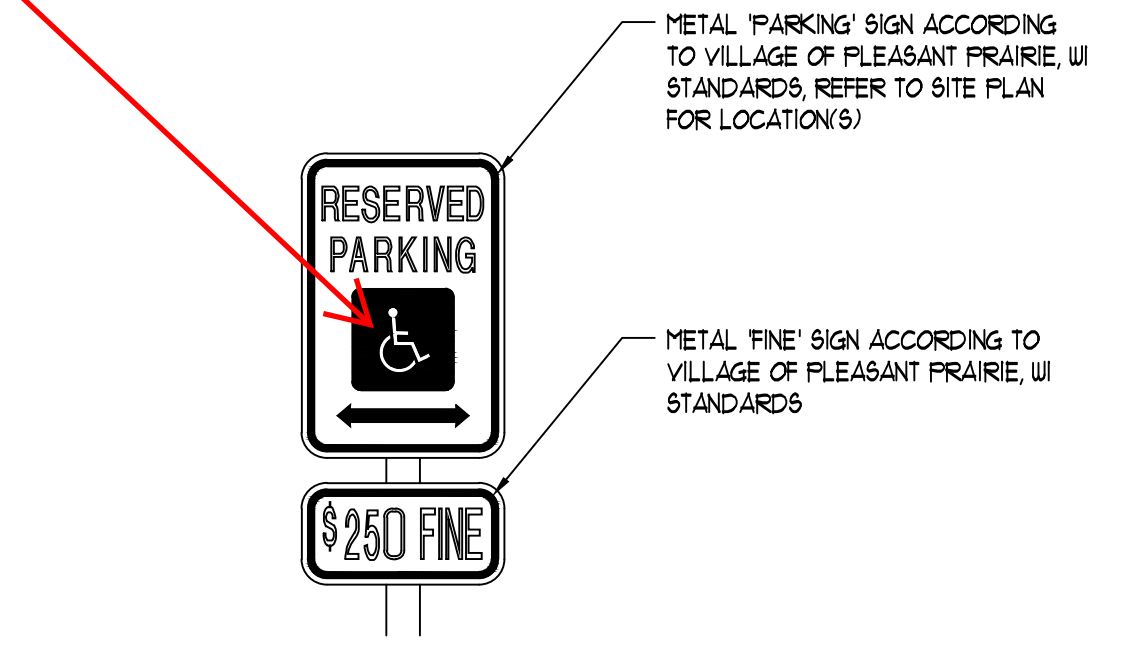
2 TYP. EXIT STAIR PLAN  
A1.1 1/4" = 1'-0"



3 TYP. H.C. PARKING STALL  
A1.1 1/8" = 1'-0"

- GENERAL SITE NOTES:
- ALL SITE LIGHTING SHALL BE DIRECTED DOWNWARDS AND SHALL NOT GLARE ONTO ADJACENT PROPERTIES OR PUBLIC ROADWAYS.
  - TRUCKS/TRAILERS PARKED OUTSIDE OF THE FACILITY SHALL NOT BE USED AS A MEANS OF ADDITIONAL STORAGE AND/OR WAREHOUSING SPACE, EXCEPT FOR THOSE TRUCKS/TRAILERS THAT HAVE BEEN LOADED AND ARE AWAITING PENDING DELIVERY OR THOSE THAT ARE IN QUEUE AND ARE AWAITING PENDING UNLOADING PROCEDURES.
  - AT NO TIME SHALL THERE BE ANY OUTDOOR STORAGE OF PALLETS (WOODEN, PLASTIC, OR METAL), RECYCLING MATERIALS, GARBAGE, LANDSCAPING EQUIPMENT OR LANDSCAPE MATERIALS, ETC.
  - PROJECT PARCEL IS ZONED M-2, GENERAL MANUFACTURING DISTRICT.
  - THE LOCATION OF ALL CONSTRUCTION TRAILERS PARKED ON THE SITE DURING CONSTRUCTION ACTIVITIES SHALL BE APPROVED BY THE VILLAGE OF PLEASANT PRAIRIE. NO CONSTRUCTION TRAILERS SHALL BE PARKED IN VILLAGE COUNTY, OR STATE RIGHTS-OF-WAY. ALL CONSTRUCTION RELATED SIGNAGE SHALL BE APPROVED AND PERMITTED BY THE VILLAGE.
  - THERE SHALL BE NO CUSTOMER OR EMPLOYEE PARKING PERMITTED ON 80TH AVENUE OR SPRINGBROOK ROAD.
  - DUMPSTER/RECYCLING CONTAINERS ARE NOT SHOWN ON PROPOSED SITE PLAN AT THIS TIME. THE LOCATION/SIZE OF SUCH IS TO BE DETERMINED WHEN A TENANT IS OBTAINED AND WILL FOLLOW ALL VILLAGE ORDINANCES. THE LOCATION SHALL BE APPROVED BY THE ZONING ADMINISTRATOR. THE DUMPSTER/RECYCLING AREAS SHALL BE FULLY SCREENED FROM THE PUBLIC VIEW AND ADJACENT HIGHWAY/ROADWAYS.
  - IF/WHEN ANY FUTURE PARKING LOT EXPANSIONS OCCUR, PERMITS FROM THE VILLAGE WILL BE REQUIRED AND THE EXPANSION PARKING AREAS, AS WELL AS THE ASSOCIATED MANEUVERING LANES, SHALL INCORPORATE VERTICAL CONCRETE CURB & GUTTER.
  - MUNICIPAL UTILITIES SHALL NOT BE BURIED UNDER EARTH BERMS OR TREE LANDSCAPING.

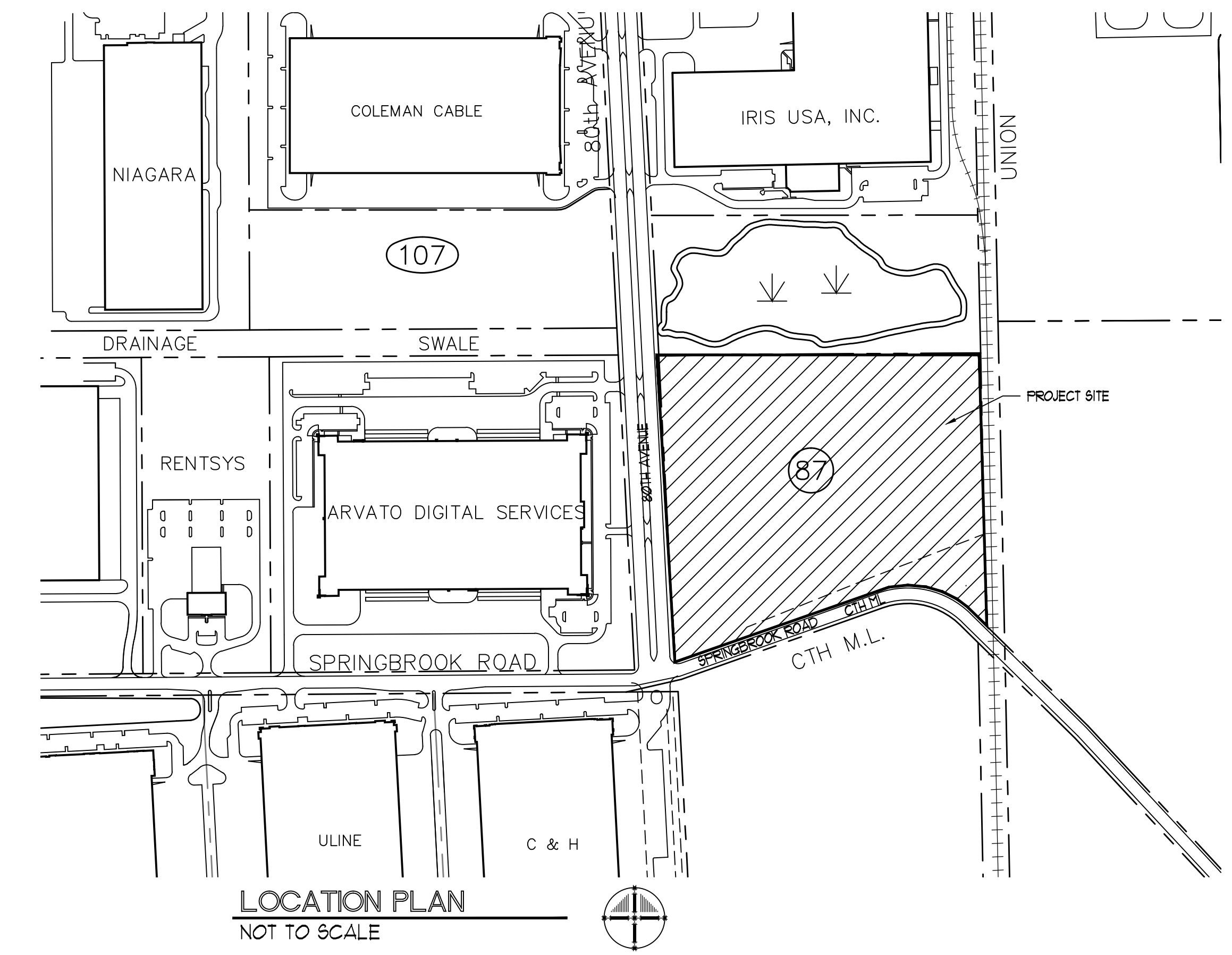
DOES NOT MATCH  
DETAIL IN  
PLANS



4 H.C. PARKING SIGN  
A1.1 1" = 1'-0"

PROJECT DEVELOPMENT DATA:

PROPOSED LAKEVIEW LOT 81:	
SITE ZONING:	M-2, GENERAL MANUFACTURING DISTRICT
SITE AREA:	26.21 ACRES (1141272 SF.)
BUILDING AREA:	417384 SF.
BLDG. COVERAGE RATIO:	
BUILDING IMPERVIOUS AREA:	417384 SF.
ALL OTHER IMPERVIOUS AREA:	381172 SF.
TOTAL IMPERVIOUS AREA:	798556 SF.
TOTAL IMPERVIOUS PERCENTAGE:	69.97%
GREENSPACE COVERAGE RATIO:	
TOTAL LANDSCAPED AREA:	342,716 SF.
TOTAL LANDSCAPED PERCENTAGE:	30.03%
PARKING:	
TOTAL CAR SPACES (INCLUDING HANDICAPPED):	215 SPACES
TOTAL TRUCK/DOCK SPACES:	42 DOCK LOCATIONS
TOTAL TRAILER (OFF-BUILDING) SPACES:	166 TRAILER SPACES



LOCATION PLAN  
NOT TO SCALE

REVISIONS:


WAREHOUSE FACILITY  
Lot 87, Lakeview Corp. Park, Pleasant Prairie, WI  
PROPOSED SITE PLAN

2610 Lake Cook Road  
Suite 280  
Riverviews, IL 60015  
Ph: (847) 940-0300  
Fax: (847) 940-1045

Partners in Design  
ARCHITECTS



PROJECT NO:  
437.15.128  
DRAWN BY: CTG  
CHECKED BY: WHB  
DATE:  
0127.16  
SHEET NO.:

A1.1



Office of the  
Chief of Fire & Rescue  
**Doug McElmury**

## VILLAGE STAFF MEMORANDUM

TO: Jean Werbie-Harris, Community Development Director  
FROM: Doug McElmury, Chief Fire & Rescue  
CC: Craig Roepke, Deputy Chief Fire & Rescue  
Lt. Thomas Clark, Fire & Rescue Department  
Peggy Herrick, Assistant Planner, Community Development  
SUBJECT: Fire Department review of Site and Operational Plans for Site 87 Spec Building  
DATE: February 25, 2016

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These are initial comments for the Site and Operational Plans received for Lot 87 Spec Building to be located in the general area of 116<sup>th</sup> St. and 80<sup>th</sup> Ave. in Pleasant Prairie.

The Fire and Rescue Department will be responsible for providing fire prevention inspections of this facility, twice annually. Based on the limited information and conceptual plans submitted, the Fire & Rescue Department have the following comments regarding the site:

**Distribution of Comments:** the person who obtains the building permit to all contractors and subcontractors affected by this document shall distribute copies of these comments. This document outlines critical times and deadlines. All recipients of this document must become familiar with the contents.

**Compliance:** A letter shall be submitted to the Fire & Rescue Department prior to receiving a building permit, stating that the project will comply with all requirements addressed within this document.

**Conflicts:** In the event a conflict in code(s) is identified, or a conflict with the insurance carrier criteria occurs, the more stringent shall apply. In the event this conflicts with any codes adopted by the State of Wisconsin, the owner must petition the State directly for a variance. The Owner must demonstrate that they will provide materials or design equivalent to the code or that they will exceed the code when petitioning the State of Wisconsin and/or the Village of Pleasant Prairie where applicable.

**Fire Safety System Plans:** such as fire sprinkler and fire alarm plans, will need to be submitted to the State of Wisconsin Department of Safety and Professional Services and also to this fire department for review. No installation of any fire protection system is allowed until a satisfactory review is obtained from both departments.

**Pre-Construction Meeting:** A pre-construction meeting shall take place with the general contractor, the fire protection contractor, the Fire and Rescue Department and any other sub-contractor prior to the installation of any underground fire protection. The purpose of this meeting is to assure that the requirements of the State of Wisconsin that only a Wisconsin licensed sprinkler fitter shall perform the installation of all devices, etc. All parties will be asked to initial this document and or permit. Any violation of the installing requirements will be reported in writing to the State of Wisconsin Department of Safety and Professional Services.



1. **Site Access:** Access shall be provided around the perimeter of the site for all Fire Department apparatus, and must comply with the State of Wisconsin and the International Building Code, 2009 edition. A minimum wall-to-wall turning radius of 45'-0" shall be allowed for apparatus movement.
  - a. All entrances from public streets, as well as road and driveways around the proposed building must be a minimum of 30 feet wide.
  - b. All exterior exit pathways as well as access to the Fire Pump room shall have a hard surface, leading to a hard surface.
  - c. An exterior personnel door shall be located in close proximity to each fire sprinkler riser.
2. **Required Licenses:** A Wisconsin licensed fire protection contractor and Wisconsin licensed sprinkler fitters must install underground fire mains and aboveground fire protection. Periodic inspections of the job site will be made by fire inspectors to assure compliance.
3. **Insurance Carrier:** The Owner of this project shall submit to the insurance carrier for review the plans for both underground water distribution and fire protection prior to construction. The Fire & Rescue Department shall receive a copy of the comments when plans are submitted for review.
4. **Review and Comments:** At such time more information is provided for this project, the Fire Department will review and comment on the following areas outlined below.
  - A. Site and Operational Permits
    1. Site accessibility (Plans provided do not specific clearances or distances)
    2. Fire Pump Location
    3. Pumper Pad
    4. Fire hydrant spacing
  - B. Conditional Use and Operational
    1. Standpipe outlet locations
    2. Fire alarm pull stations
    3. Emergency and Exit Lighting
    4. Fire extinguishers
5. **Plan Review, Permits and Fees:** The plans for the fire protection underground, aboveground and fire alarm system shall be submitted for review a minimum of four (4) weeks before installation is scheduled to begin. The Village will use an independent fire safety consultant for review of all fire protection plans submitted. A satisfactory review must be completed before any permits will be issued and before construction can begin.
6. **Permit fees:** must be paid at time of submission for review. Work cannot begin until all permits have been issued. A typical review turnaround is four weeks

The following fees and permits are generated directly from the Fire & Rescue Department.

  - a. Bulk water Usage
  - b. Fire Protection Plans for Underground and Aboveground
  - c. Fire Alarm System Plans
  - d. Kitchen Hood Systems Plans

*NOTE: Permits are required from the Fire & Rescue Department for the installation of water main in addition to any permits required by other Village of Pleasant Prairie Departments.*
7. **Occupancy:** All fire and life safety requirements must be in place prior to any building being occupied.
8. **Hazardous Occupancies:** Should there be identified hazard occupancies with this project, the Fire & Rescue Department will need more than the typical four week time period to review potential Hazardous Occupancies. The owner must contact the Fire & Rescue Department as soon as possible to begin the review process.
9. **Exterior Doors:** All outside doors must have access to the interior. Such as a lock and handle provided at each door.
10. **AED:** Because of the overall building size and occupancy type, the owner shall install one or more public access Automatic External Defibrillator (AED) onsite for employee and public use in the event of a sudden cardiac arrest. The Fire and Rescue Department can provide the training necessary to perform CPR and to operate the AED.

11. **Storage:** Maximum height, width and aisle ways and egress pathways must be maintained and will be enforced. The same concerns apply to the storage of quantities of combustibles (plastics and cardboard) and other storage of flammable liquids or chemicals must also be properly identified, placarded and stored.
12. **Elevators:** must comply with Village of Pleasant Prairie Ordinance 180-20, including acceptable minimum size and emergency notification.
13. **Severe Weather Shelter:** The architect shall identify the area within the building that can be used as a “severe weather shelter” or “safe haven” during severe weather such as a tornado. That area will be identified with signage.
14. **On Premise Secure Key System:** Knox Company Rapid Entry System, “Knox Boxes” shall be provided for the building. A determination of the exact number required will need to be made during the pre-construction meeting. One by each riser door, fire pump room and other needed access routes. The Knox Boxes shall be Model 4400. Two sets of all keys (Master, fire alarm pull station, annunciator, elevator, etc.) shall be placed within the box, as well as a copy of the pre-fire plan.
15. **MSDS Storage Box:** A minimum of one (1) Brady model JS1 designed for Material Safety Data Sheet storage shall be provided for each tenant to contain the data sheets on all products that are considered hazardous within the facility. The MSDS Box(s) shall be installed within the Fire Pump Room.
16. **Fire Extinguishers:** Shall meet NFPA 10 (Portable Fire Extinguishers) for the specific use of the building and be in sufficient number. Final approval, of fire extinguisher locations and quantity, will not be given until occupancy is taken, to see how a tenant furnishes the space. The company providing the fire extinguishers shall submit a letter to the Fire and Rescue Department stating the locations and size of the extinguishers are in compliance with NFPA 10.
17. **Emergency and Exit Lighting:** Exit and Emergency Lighting shall be provided and shall have battery backup. Combination units are acceptable and recommended. An Emergency Generator eliminates the need for battery backup. Exit and Emergency Lighting shall not be placed on electrical circuits that cannot be disturbed or interrupted, this is for test purposes. These circuits shall be clearly labeled. An Emergency light shall be placed within the fire pump room.
18. **Sprinkler System:** The building shall be equipped with an “automatic fire sprinkler system”. The systems shall be designed and constructed to the current printed edition of NFPA 13, Automatic Fire Sprinklers and the Village of Pleasant Prairie Ordinance 180-16, Automatic Fire Sprinklers. Confirm NFPA edition with the Fire Department prior to system design.
19. **The following information must be submitted with the sprinkler plans for review:**
  - Building height:
  - Number of stories/floors:
  - Mezzanines:
  - Elevators:
  - Hazard class:
  - Commodity Class:
  - Exterior storage:
  - Fire protection:
20. **Plan Review (Underground):** A review of the underground drawings is required along with the fire protection drawings before a permit will be issued by the Fire and Rescue Department. Underground plans shall be submitted a minimum of four (4) weeks before installation begins.
21. **Water Service:** If it is determined that the building will be serviced by a combination municipal water and fire protection main, that main must be sized by the fire protection (sprinkler) contractor. No main is allowed to travel underground, under the building.
22. **Fire Hydrants:** Fire hydrants shall be spaced no more than 350 feet apart around the perimeter of the building, per Village Ordinance 180-16. The insurance carrier must agree in writing to the hydrant spacing. As many hydrants as possible shall be supplied directly by municipal water. The distance from the finished grade line to the lowest discharge shall be no less than 18 inches and no more than 23 inches. The Fire Department



connections shall be located, and of sufficient height where typical snow fall or snow removal operations will not obstruct access.

23. **Fire Hydrant Acceptance:** This project will include the installation of water mains for domestic and fire protection use. Prior to the fire sprinkler system connection to any new water mains (including water mains, fire hydrants, laterals leading to the building and risers) must be hydrostatically tested flushed according to National Fire Protection Association (NFPA–National Fire Code) Standard 24 and witnessed by the Fire Chief and or the Chief’s representative, the installing contractor and the fire sprinkler contractor at a minimum.
24. **Fire hydrant / water main flushing:** can be disruptive to the job site and requires significant coordination of all sub-contractors by the General Contractor. Nonetheless flushing is an essential part of assuring public safety. The General Contractor is highly encouraged to coordinate the flushing of all new water mains, fire hydrants, laterals leading to the building and risers with both the sub-contractors responsible, the Village of Pleasant Prairie Engineering Department, Fire & Rescue Department and the Water Utility Department, prior to seeking a ‘clean water sample’ on this site.  
**NOTE:** The Fire Protection Designer must meet with the Fire and Rescue Department before the underground drawings are submitted for review to finalize the placement of the hydrants.
25. **Pumper Pad:** There shall be dedicated space for a fire engine to have unobstructed access to the Pumper Pad. Both the Fire Department Sprinkler connection and the fire hydrant shall be installed remote from the building and located a minimum distance from the building equal to the highest wall. The fire hydrant shall be located no more than five (5) feet from the roadway and the Fire Department sprinkler connection shall be placed no more than five (5) feet from the fire hydrant. The Fire Department connection shall be constructed along with an underground drain with access for inspection. Both the fire department sprinkler connection and the fire hydrant, (pumper pad), shall be installed remote from the building(s) and located a minimum distance from the building equal to the highest wall. This is not shown on the plans that were submitted.  
  
***NOTE:** The Fire Department Connection riser shall include a single five (5) inch Storz fitting.*
26. **Fire Pump:** Should a fire pump be required based on the design, There shall be sufficient room to maneuver within the fire pump room. There shall be direct ingress/egress from the fire pump room directly to the exterior of the building; a paved surface shall lead to the fire pump room. There shall be Emergency Lighting installed within the Fire Pump Room. The pump test header location shall comply with 180-16. There shall also be sufficient room for placement of the Fire Alarm Control Panel (FACP), along with the required maps of the fire protection systems.
27. **Standpipes:** In lieu of 1.5 inch hose stations, the building shall be equipped with standpipes that shall consist of 2-½ inch NST valve, capable of delivering 250 GPM, at 75 PSI measured at the standpipe valve. The standpipes shall be wet and placed adjacent to all exterior exit doors, same side as the door handle/knob. Village Ordinance 180.16 G.
28. **Strobe Light:** A strobe light shall be provided for each riser and installed vertically above each sprinkler water flow bell. The strobe light shall operate for a sprinkler water flow. The lens color shall be RED. The strobe light shall meet Village specifications as found in section 180-16 K of the Sprinkler Ordinance. A strobe light(s) shall also be provided outside of the fire pump/riser room to indicate a fire pump run and/or a waterflow alarm, with signage installed under each strobe light.
29. **Bollards:** Shall be placed near fire hydrants, remote post indicator valves (PIV) and Fire Department connection(s) to prevent damage. Bollards shall be 6 inches in diameter. Bollards shall not obstruct charged fire hoses. It is recommended that the Fire Department approve the location of the bollard(s) before final placement is made.
30. **Fire Alarm System: The system shall be fully addressable so that detailed information will be received about the device in alarm.** Utilizing a fire pull station, sprinkler water flow, or any other fire detection device that maybe installed in this building shall activate the internal fire alarm system. The systems shall be designed and constructed to the current printed edition of NFPA 72. Confirm NFPA edition with the Fire Department prior to system design
- a. **Manual Fire Alarm Pull Stations:** Shall be located at a minimum, immediately adjacent to each exterior door. Any additional exterior doors will be required to meet this requirement. The pull station shall not be placed in the area of the door, but immediately adjacent to the door jamb.

- b. **Pull Stations and Audiovisual Alarms:** Shall be installed per ADA requirements.
- c. **Smoke and Heat Detection:** Shall be installed as required.
- d. **Tamper Switches:** Tamper switches shall be placed on all sprinkler valves and be identified on the annunciator panel.
- e. **Fire Alarm Control Panel (FACP): Shall be addressable.** The main FACP will be placed in the fire pump room. Remote annunciator panel location(s) will also need to be determined during the pre-construction meeting. The annunciator panel type shall be approved by the Fire & Rescue Department. The panel shall identify a fire sprinkler water flow by riser, and the specific locations of the fire alarm pull stations and any other fire detection devices that may be installed in this building.
- f. **FACP Nomenclature:** Confirmation of nomenclature shall be discussed between the Fire Department and the fire alarm program technician prior to any inspections.
- g. **Annunciator Panel: Shall be addressable.** The annunciator panel type shall be approved by the Fire and Rescue Department. The panel shall identify a fire sprinkler water flow by riser, and the specific locations of the fire alarm pull stations and any other fire detection devices that may be installed in this building.
- h. **Transmission of Fire Alarms.** The method of transmission to central station must be approved by the Fire & Rescue Department. i.e. RF Radio, cellular, VOIP, or other approved technologies.
- i. **FACP Main Panel:** There will be one main fire alarm panel within a building. The system will not be split into two or multiple fire alarm panels interconnected together. (Example: West wing is one panel, East wing is a different panel)
- j. **Central Station:** The Fire Alarm Control Panel shall transmit all fire alarm, tamper, trouble and supervisory signals to a central station that is certified by Underwriters Laboratories (UL) and/or Factory Mutual (FM) and approved by the Fire & Rescue Department. The owner shall provide such documentation for approval. It is recommended that the owner consult with the Fire & Rescue Department prior to signing any contracts with the Central station.

Fire:	Pleasant Prairie Fire & Rescue
Medical:	Pleasant Prairie Fire & Rescue
<u>Phone numbers</u>	
<b>Emergency:</b>	<b>(262) 694-1402</b>
Non-emergency:	(262) 694-7105
Business:	(262) 694-8027

31. **Public Safety Radio Coverage:** Provide for adequate radio coverage to public safety service workers, including but not limited to firefighters, and law enforcement officers. For purpose of this section, adequate radio coverage shall include all of the following:
- a) The system must support both the Fire Department’s and Police Department’s main VHF repeated radio channels.
  - b) a minimum signal strength of -98 dBm available in 95% of the area of each floor of the building when transmitted from the Public Safety Radio Communications System: and
  - c) a minimum signal strength of -98 dBm received at the Public Safety Radio Communications System when transmitted from 95% of the area of each floor of the building, via portable radio with public safety microphone.
  - d) Channel Performance Criterion (CPC): CPC is the minimum performance level in a faded channel, per TSB-88, clause 4.2. TSB-88 is a “Telecommunications Systems Bulletin” published by the TIA, Telecommunications Industry Association. The performance level is rated using “Delivered Audio Quality”. Industry standard DAQ definitions are shown in Table 1.
  - e) DAQ level of three (3) is the minimum performance level which shall be attainable by public safety radio systems in 95% of the area of each floor of a building, via portable radio with public safety microphone

**Table 1 - Delivered Audio Quality Definitions**

DAQ Delivered Audio Quality	Subjective Performance Description
1	Unusable, speech present but unreadable.
2	Understandable with considerable effort. Frequent repetition due to noise / distortion.
3	Speech understandable with slight effort. Occasional repetition required due to noise / distortion.
3.5	Speech understandable with repetition only rarely required. Some noise / distortion.
4	Speech easily understood. Occasional noise / distortion.
4.5	Speech easily understood. Infrequent noise / distortion.
5	Speech easily understood.

**Testing Procedures:**

- a. Initial Tests. Public safety employees or their designees will perform initial tests. A certificate of occupancy shall not be issued to any new structure if the building fails to comply with this section.
- b. Annual Tests. Fire Department personnel in conjunction with inspection procedures will conduct annual tests.

**Amplification Systems Allowed**

Buildings and structures which cannot independently support the required level of radio coverage shall be equipped with any of the following in order to achieve the required adequate radio coverage; a radiating cable system or an internal multiple antenna system with or without FCC typed-accepted signal booster amplifiers as needed. If any part of the installed system or systems contains electrically powered components, the system shall be capable of operating on an independent battery and/or generator system for a period of at least twelve (12) hours without external power input. Any battery system employed shall automatically recharge in the presence of an external power input.

The installation of equipment as indicated above cannot be detrimental to the operation of the Public Safety Radio system. In the event that a signal booster is employed, it shall be fully encased within a dust and water resistant case.

**Field Testing**

Fire Department personnel, after providing reasonable notice to the owner or their representative, shall have the right to enter onto the property to conduct field-testing to be certain the required level of radio coverage is present.

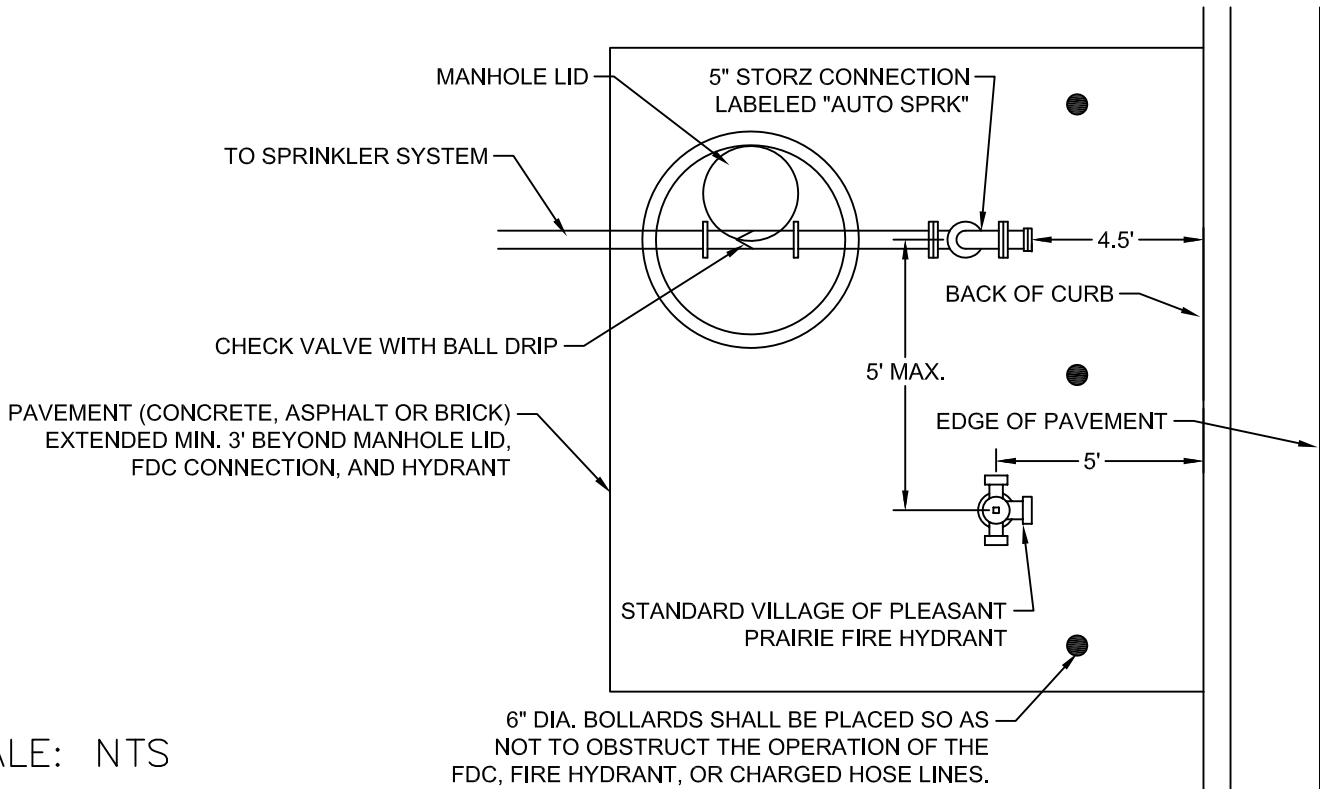
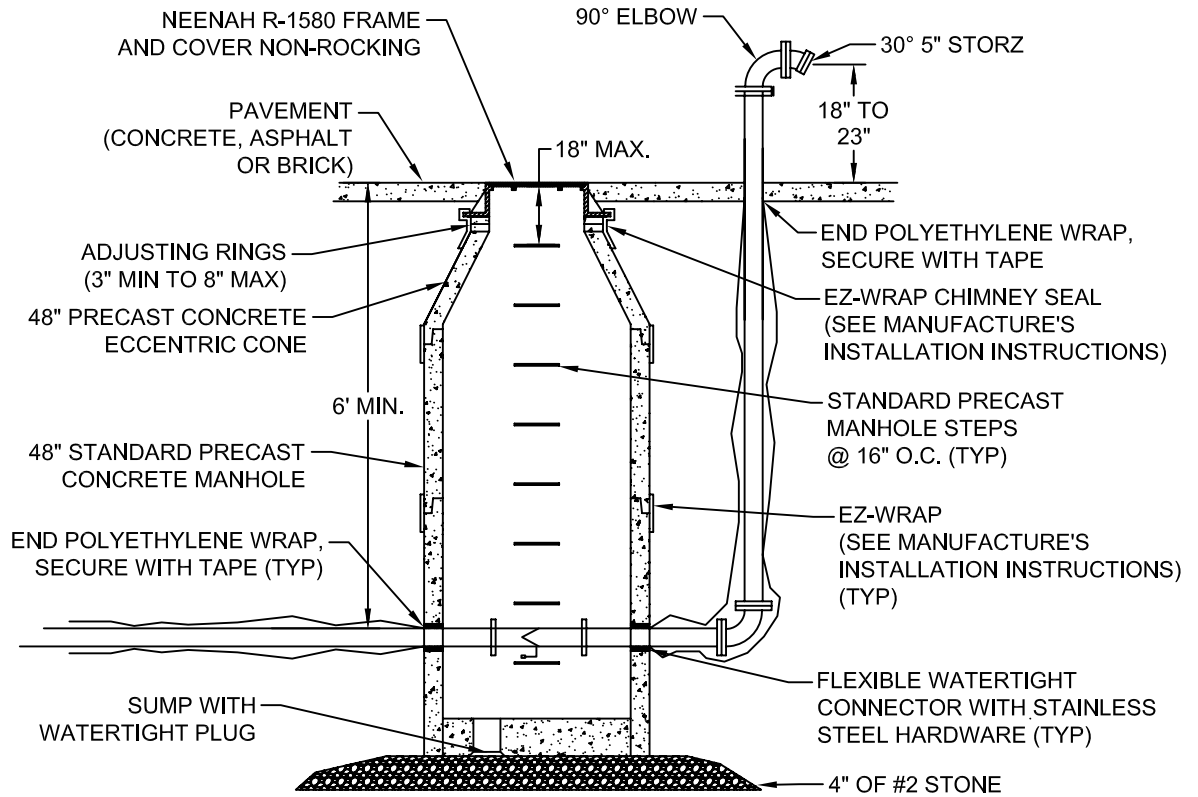
32. **Final Inspection:** The General Contractor shall provide the following documentation at the time the Final Inspection takes place and before a building occupancy certificate will be issued.

- a. The fire protection contractor shall provide the owner with a letter (upon completion of the sprinkler work) stating the sprinkler system, or portion thereof, is “100% operational and built according to the design”, Village Ordinance, 180-16 N.
- b. The fire alarm contractor shall provide the owner with a letter (upon completion of the fire alarm work) stating the fire alarm system, or portion thereof, is “100% operational and built according to the design”
- c. Copy of contract with fire alarm central monitoring station.
- d. Copy of UL and/or FM certificate(s) for the fire alarm central monitoring station.
- e. Copies of the fire protection underground flushing documents.
- f. Copies of the underground and fire sprinkler hydrostatic test certificates.
- g. Copies of the fire sprinkler operational test certificates.
- h. Copies of the fire alarm test documents.

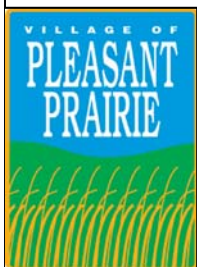
- i. Copies of other test documents such as, hood/duct, smoke, etc...
- j. The Pleasant Prairie Fire and Rescue Department shall have all information needed for our pre-fire plan prior to occupancy.
- k. Provide two- (2) CD's, one for the property owner and one for the Fire & Rescue Department. The disks shall include all Floor plans and fire protection plans for the building in an as-built condition.
- l. Maps of the fire alarm and fire sprinkler system shall be placed in the fire pump room, near the fire alarm control panel; the maps shall be hung on the wall, with a waterproof covering and accessible to firefighters wearing bulky clothes and equipment.
- m. AED is in place at such time a tenant takes occupancy.
- n. A copy of the tenants Emergency Plan must be submitted to the Fire & Rescue Department before occupancy.

**NOTE:**

- SYSTEM SIZING SHALL BE COMPLETED BY A FIRE SUPPRESSION ENGINEER AND APPROVED OF BY THE VILLAGE OF PLEASANT PRAIRIE FIRE DEPARTMENT.
- SYSTEM INSTALLATION MUST BE CONSTRUCTED UNDER THE ONSITE SUPERVISION OF A LICENSED SPRINKLER FITTER.



SCALE: NTS



**PUMPER PAD FDC DETAIL**

DETAIL: FD - 1

CREATED: 4-16-13

REVISED: 11-18-15

APPROVED BY: D. McELMURY



**High Security Industrial/Government Key Vault**

Recessed Mount  
with Face Flange



Surface Mount  
with optional  
Tamper Switch



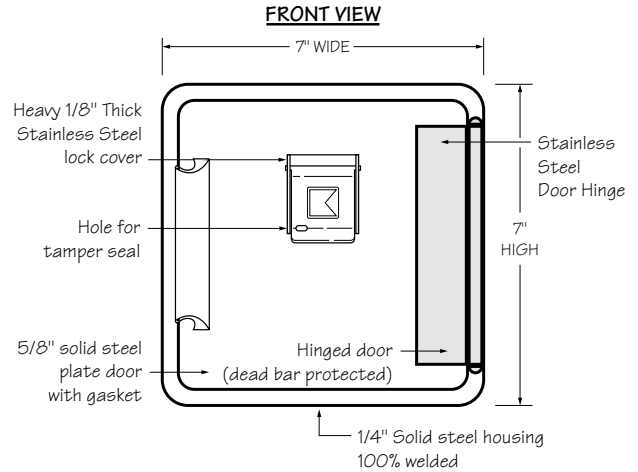
Knox-Vault™ key boxes are used in larger businesses, industrial properties, public buildings and universities. The heavy-duty, high security 4400 Series Knox-Vault protects and stores building keys, access cards and floor plans for emergency entry. The vault also provides secure storage for other internal and external applications.

**Features and Benefits**

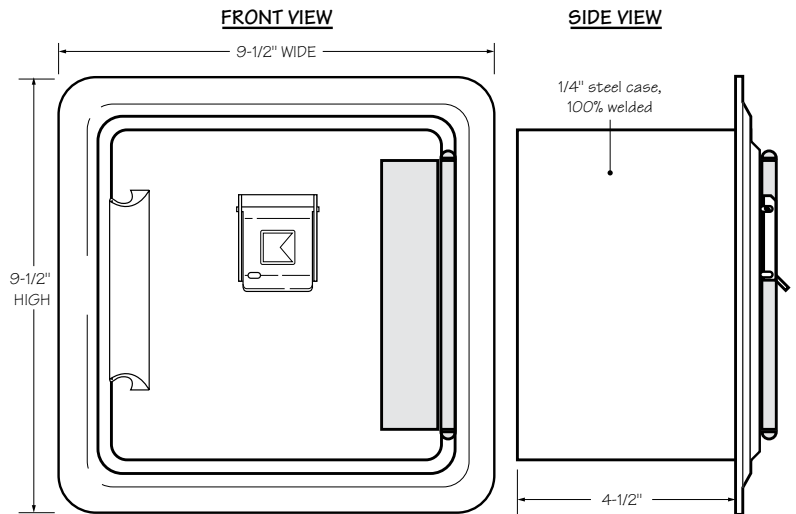
- Holds up to 50 keys in the large interior compartment
- Ensures high security with UL® Listed Medeco lock(s)
- Includes Knox-Coat® that is four times better than standard powder coat
- Resists moist conditions with a weather resistant door gasket
- Colors: Black, Dark Bronze or Aluminum
- Weight: Surface mount - 28 lbs.  
Recessed mount - 29 lbs.

**Options**

- Alarm tamper switches (UL Listed)
- Additional rust and corrosion protection (Aluminization)
- Recessed Mounting Kit (RMK) for recessed models only
- Custom vault depth available
- Dual lock configuration
- Inside switch for use on electrical doors, gates and other electrical equipment



**4400 Surface Mount**



**4400 Recessed Mount**

**Ordering Specifications**

*To insure procurement and delivery of the 4400 Series Knox-Vault, it is suggested that the following specification paragraph be used:*

**KNOX-VAULT** surface/recessed mount, with/without UL Listed tamper switches. 1/4" plate steel housing, 5/8" thick steel door with interior gasket seal and stainless steel hinge. Vault and lock UL Listed. Lock has 1/8" thick stainless steel dust cover with tamper seal mounting capability. Vault has anti-theft re-locking mechanism with drill resistant hard-plate lock protector.

Exterior Dimensions: Surface mount - 7"H x 7"W x 5"D  
Recessed mount flange - 9 1/2"H x 9 1/2"W

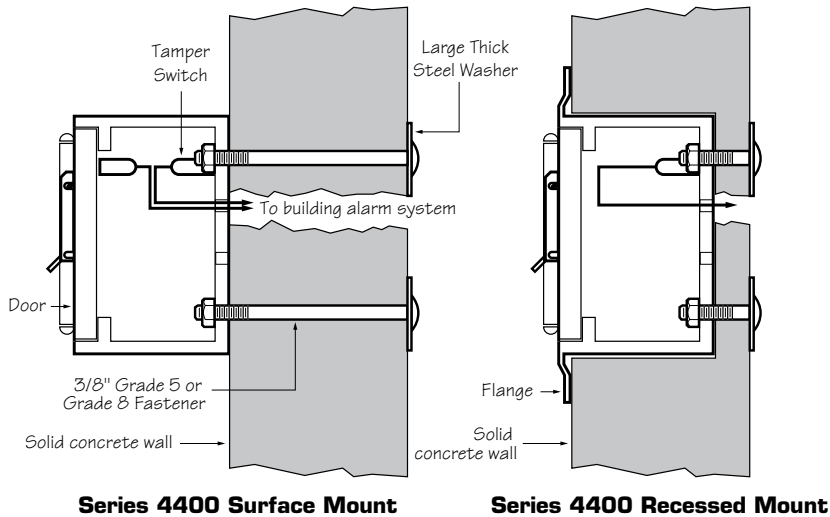
Lock: UL Listed. Double-action rotating tumblers and hardened steel pins accessed by a biased cut key.

Finish: Knox-Coat® proprietary finishing process  
Finish Color - Black, Dark Bronze or Aluminum

P/N: 4400 Series Knox-Vault (mfr's cat. ID)

Mfr's Name: **KNOX COMPANY**

**Suggested minimum mounting height  
6 feet above ground**



**Recessed Mounting Kit**

The 4400 Recessed Mounting Kit (RMK) is used for recessed models only. It contains a shell housing and mounting hardware to be cast-in-place in new concrete or masonry construction. After construction is completed, the Knox-Vault mounts inside the recessed shell housing. The RMK may only be used in new concrete or masonry construction.

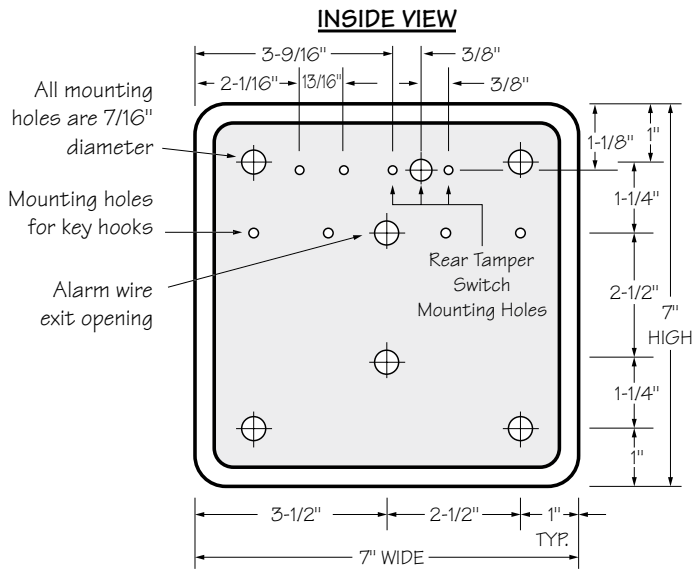
**Installation In Cast Concrete**

The optional Recessed Mounting Kit is for use in new concrete or masonry construction only. The kit includes a shell housing and mounting hardware to be cast-in-place. The KNOX-VAULT is mounted into the shell housing after construction is completed.

**Rough-In Dimensions**

8 1/2"H x 8 1/2"W x 7"D

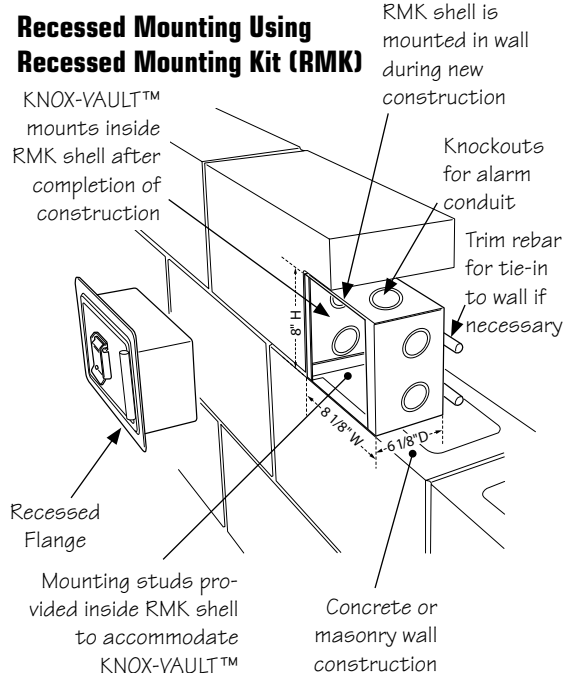
**IMPORTANT:** Care should be taken to insure that the front of the RMK shell housing, including the cover plate and screw heads, is flush with the finish wall. The RMK must be plumbed to insure vertical alignment of the vault.



**Attention: KNOX-VAULT™ is a very strong device that MUST be mounted properly to ensure maximum security and resist physical attack.**

**Knox® Rapid Entry System**

The Knox Company manufactures a complete line of high security products including Knox-Box key boxes, key vaults, cabinets, key switches, padlocks, locking FDC caps, plugs and electronic master key security systems. For more information or technical assistance, please call Customer Service at 1-800-552-5669.



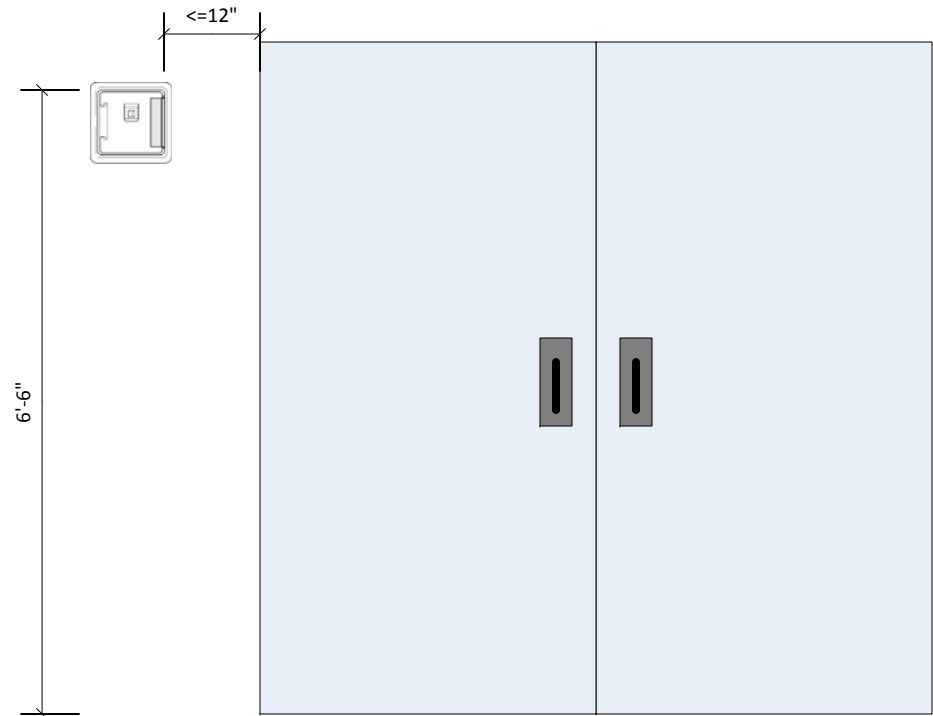
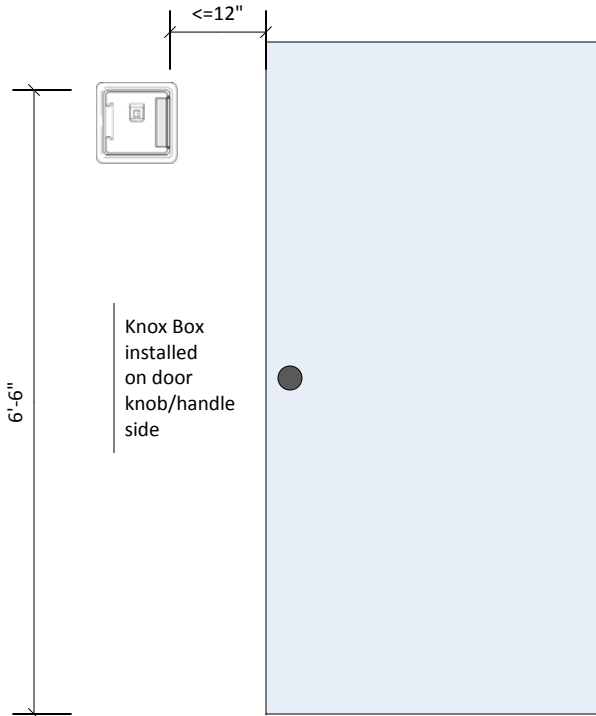
# Knox Box Placement Guide

Pleasant Prairie Fire & Rescue  
 8044-88<sup>th</sup> Avenue  
 Pleasant Prairie, WI 53158

fireandrescue@plprairie.com  
 262.694.8027  
 Pleasantprairieonline.com

On Recessed boxes, measurements are taken from box base (inside of flange)

**NOTE: To order Knox Boxes – contact the Fire Department. Knox Company will only accept orders from the Fire Department.**



Typical installation locations for single and double doors. Exterior features such as lighting or stairways may alter standard installation locations.

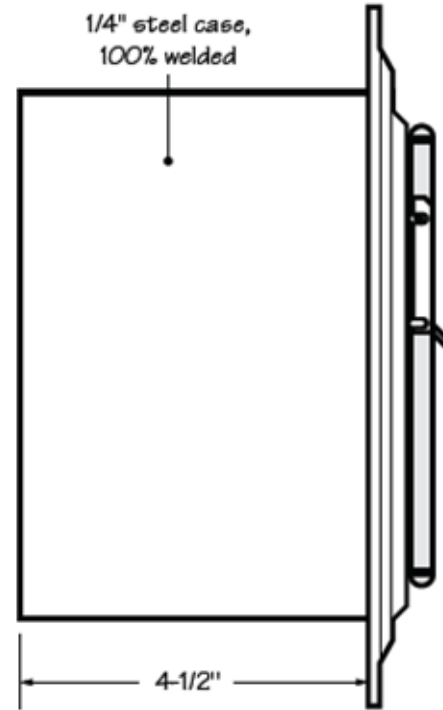
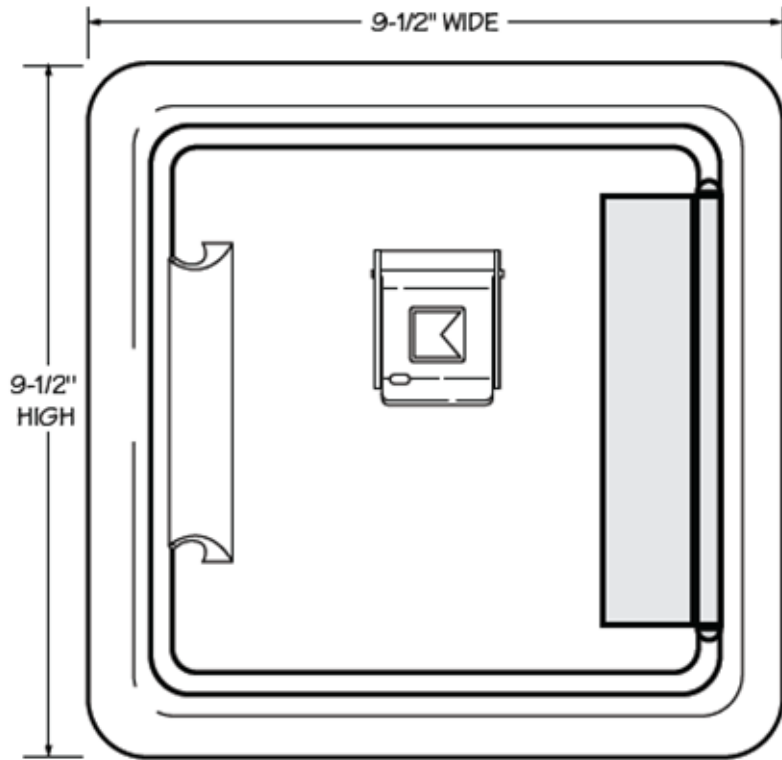
Consult Fire Department prior to installations that may not fit typical locations and/or doorways.



KNOX BOX 4400 PLACEMENT GUIDE		SIZE	FSCM NO	DWG NO	REV
DRAWN	CRAIG ROEPKE			KNOX BOX DOOR PLACEMENT LOCATION	A
ISSUED	2/23/2016	SCALE	1/2" = 1'-0"	SHEET	1 OF 3

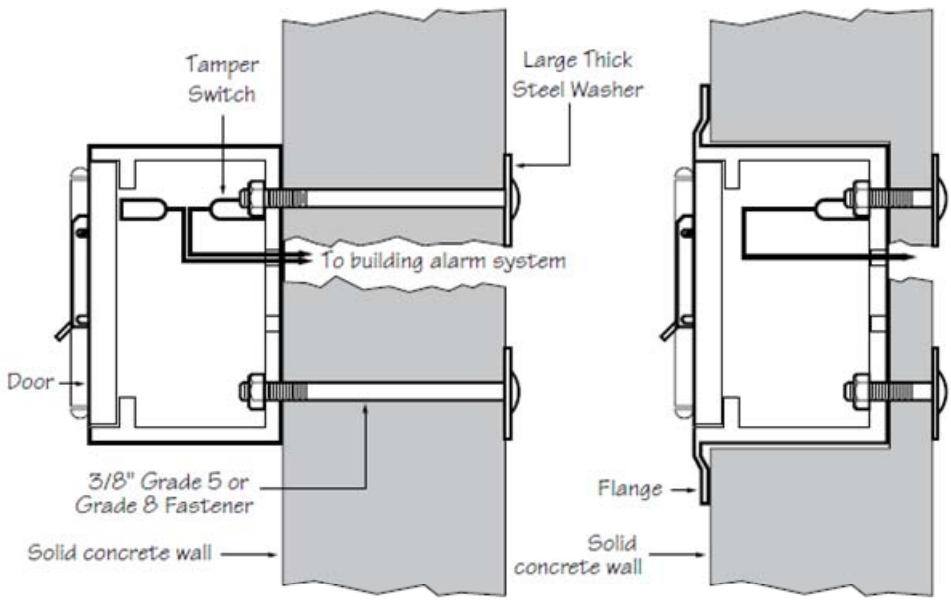






KNOX BOX 4400 PLACEMENT GUIDE		SIZE	FSCM NO	DWG NO	REV
DRAWN	CRAIG ROEPKE			KNOX BOX 4400 FRONT/SIDE VIEWS	A
ISSUED	2/23/2016	SCALE	NO SCALE	SHEET	2 OF 3

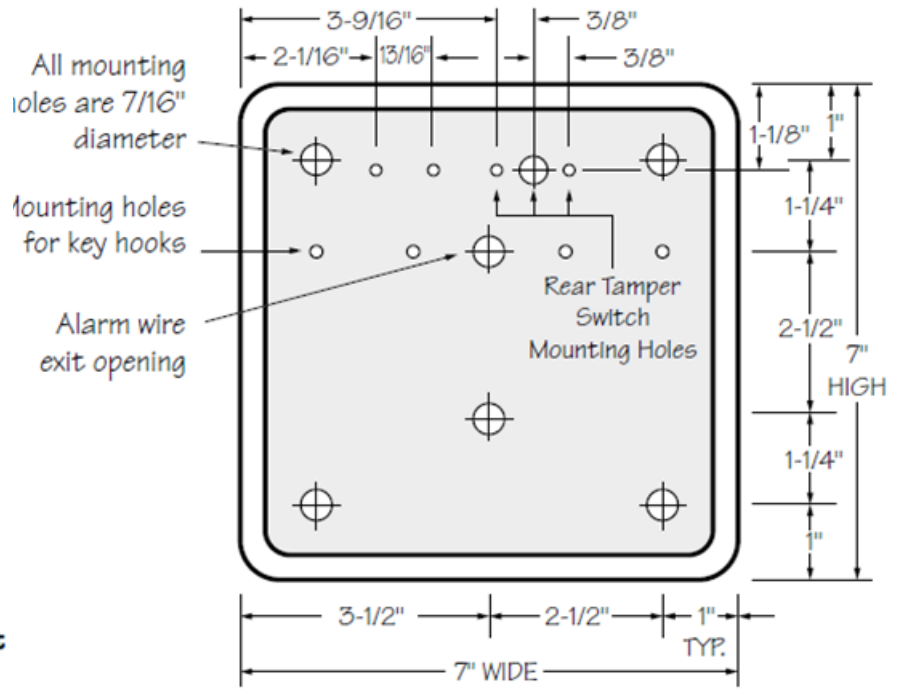




**Series 4400 Surface Mount**

**Series 4400 Recessed Mount**

**INSIDE VIEW**



KNOX BOX 4400 PLACEMENT GUIDE		SIZE	FSCM NO	DWG NO	REV
DRAWN	CRAIG ROEPKE			KNOX BOX MOUNTING & INSIDE VIEW	A
ISSUED	2/23/2016	SCALE	NO SCALE	SHEET	3 OF 3



- D. Consider the request of David Jarabak with Exel, Inc. for approval of **Site and Operational Plans** for DHL Supply Chain to occupy the entire 256,240 square foot building located at 8505 100<sup>th</sup> Street in LakeView Corporate Park for the warehousing of SC Johnson products.

**Recommendation:** Village staff recommends that the Plan Commission approve the Site and Operational Plans subject to the comments and conditions of the Village Staff Report of August 22, 2016.

## VILLAGE STAFF REPORT OF AUGUST 22, 2016

Consider the request of David Jarabak with Excel, Inc. for approval of **Site and Operational Plans** for DHL Supply Chain to occupy the entire 256,240 square foot building located at 8505 100<sup>th</sup> Street in LakeView Corporate Park for the warehousing of SC Johnson products.

*The petitioner is requesting to obtain Site and Operational Plans approval occupy the entire 256,240 square foot building located at 8505 100<sup>th</sup> Street in LakeView Corporate Park for the warehousing of SC Johnson products including: Drano Max Building Up Remover, Glade Spray, Shout Advance Action Gel, Windex and Ziplock products (all non-aerosol and all non-high hazardous products).*

Earlier in August the Village issued a permit (COM1608-013) for DHL to occupy 50% of this building which is allowed with staff approval of Site and Operational Plans; however, if more than 50% of a building is being occupied by one user, Site and Operational Plans are required to be approved by Plan Commission.

No site or exterior building modifications are proposed with this development. The facility will be open Monday through Friday from the hours of 7:00 a.m-3:00 p.m, a one shift operation with 10-12 full time employees. The site will be closed on Saturday and Sunday with a security guard provided during off hours. The site is not open to the public.

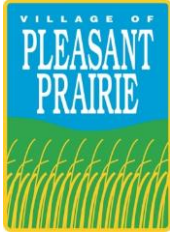
The existing 235 parking spaces are adequate for the use. In addition, the building provides for 25 exterior dock doors and four (4) drive in doors. The truck dock will support all truckload carrier needs for inbound product and outbound shipments. Receiving and shipping will be performed on a shared dock.

The site will handle portions of the co-pack/warehouse club business, approximately 10,000-15,000 inbound pallets per month are forecasted to be provided by SCJ, which will arrive on pallets. Over a six (6) week period the plan to reach estimate inventory level of approximately 22,000 pallets. The site will serve as an "Overflow Warehouse" for the network, storing product that may not yet have final deployment. Any incremental volume has not been determined yet. Shipments to the other Johnson Facilities will be shipped in full pallet unit of measure.

**Recommendation: Village staff recommends conditional approval of the Site and Operational Plans subject to compliance with the above comments and modifying the plans to address the following conditions:**

1. See **attached** comments dated August 1, 2016 from the Village Department of Public Works Department. *Provide written response to this memo.*
2. See **attached** comments dated August 17, 2016 from the Village Building Inspection Department.
3. The Village Fire & Rescue Department has the following comments for this project: Based on email from Eric Catlin on 8-17-16, the updated list of products proposed to be stored have been previously approved for this particular building. There will need to be a joint final inspection with all applicable Village Departments. Exit and EM lighting will need to be evaluated for code compliance once all products are in building in the final configuration.
4. Any exterior sign changes require permits to be issued.
5. Following Plan Commission approval the following shall be submitted for issuance of the required building permit for occupancy of the entire building:

- i. Written response to the Public Works memo dated August 1, 2016. Based on the response additional permits may be required.
  - ii. The Commercial Building Permit Application and plans.
6. Other Comments:
- i. No use shall be conducted in such a way as to constitute a public or private nuisance or to violate any of the performance standards set out in Section 420-38 of the Village Zoning Ordinance.
  - ii. This development shall be in compliance with the Village Land Division and Development Control Ordinance, Village Municipal and Zoning Codes, Village Construction Site Maintenance and Erosion Control Ordinance, Kenosha County Ordinances and the State of Wisconsin Statutes.
  - iii. All Village fees incurred by the Community Development Department, or expert Assistants required by the Village throughout the development process will be billed directly to the Developer. Such fees shall be paid in a timely manner.



Office of the Director of Public Works  
**John Steinbrink Jr., P.E.**

TO: Peggy Herrick, Assistant Planner / Assistant Zoning Administrator  
FROM: John Steinbrink, Jr., P.E., Director of Public Works  
CC: Matthew Fineour, P.E., Village Engineer  
Jean Werbie-Harris, Community Development Director  
SUBJ: DEV1607-003 DHL Supply Chain  
DATE: 8-8-16

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The Department of Public Works has reviewed the submitted information for the above referenced project. Based on our review, we have the following comments listed below:

PAGE#	COMMENT
General	Verify the condition of the SSM and check to see if any water meter work is needed.



## Village Staff Memorandum

To: Jean Werbie-Harris, Community Development Director  
From: Sandro Perez, Building Inspection Superintendent  
Subject: DHL  
Date: August 17, 2016

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1. Building Inspection Department information:  
Hours: Mon-Fri, 8am-5pm.  
Phone# 262-694-9304  
Email: [buildinginspection@plprairiewi.com](mailto:buildinginspection@plprairiewi.com)
2. Permit applications can be found online at [pleasantprairieonline.com](http://pleasantprairieonline.com).
3. Inspections are performed Mon- Fri 9am-4pm except electrical inspections; those are only Tue & Thu mornings. 48hr notice is required to schedule an inspection. Please note you must call and speak with a Building Inspection Department representative a voicemail or email will not constitute an inspection please plan accordingly. Final occupancy inspections require coordination with multiple departments and staff members there for a minimum of 72 hour notice is required. Any re-inspection fees due must be paid prior to scheduling a re-inspection.
4. All contractors requiring permits shall not commence work until permit issuance (including low voltage contractors). We have 10 business days to review and issue permits please plan accordingly. If there are any questions on which contractors need a permit please contact us.
5. Provide and maintain all components regarding "Means of Egress" per chapter 10 of the 2009 IBC.
6. Verify all interior lighting including (exit lights and emergency lights) are in proper operating condition.
7. Verify all HVAC equipment is in proper working order to provide the required amount of air exchanges and maintain interior temperature per chapter 12 of the 2009 IBC.
8. Verify the plumbing system is in proper working order per Wisconsin Administrative Code SPS 382
9. Verify the electric system is in proper working order per 2011 NEC.
10. Verify the fire alarm and fire protection systems are in working order.



**VILLAGE OF PLEASANT PRAIRIE  
SITE AND OPERATIONAL PLAN  
AND CONDITIONAL USE PERMIT ZONING APPLICATION**

**USE THIS FORM FOR:**  
Tenants/Use changes proposing to occupy 50% or more of an existing commercial/industrial building.

To construct a new or addition to principal or accessory structure.

Use requires a Conditional Use Permit.

FOR OFFICE USE ONLY	
Application Filed on	20
Preliminary Determination of Completeness on:	20
Revised Plans Submitted:	20
Public Hearing Required: Hearing Date:	20
Published on: and	20
Notices sent on:	20
Approved by Plan Commission on:	20
Zoning Administrator on	20
Denied by Plan Commission on:	20
Zoning Administrator on	20

**SECTION 1: GENERAL INFORMATION**

**NAME OF BUSINESS:** DHL Supply Chain

**SITE ADDRESS:** 8505 100th Street

**BRIEF PROJECT DESCRIPTION:** \_\_\_\_\_

DHL seeks to lease this facility to provide warehousing services for our cust., SC Johnson. There will be no manufacturing, only receipt, storage & shipping finished goods.

**PROPOSED NUMBER OF FULL TIME EMPLOYEES:** 10-12

**PROPOSED NUMBER OF PART-TIME EMPLOYEES:** 0

**SITE SIZE:** \_\_\_\_\_ sq. ft. \_\_\_\_\_ acres

**PROPOSED BUILDING SIZE:** \_\_\_\_\_ sq.ft. **HEIGHT:** \_\_\_\_\_ ft.

**PROPOSED ADDITION SIZE:** \_\_\_\_\_ sq.ft. **HEIGHT:** \_\_\_\_\_ ft.

**LEGAL DESCRIPTION:** See attached

**TAX PARCEL NUMBER(S):** 92-4-122-213-0035

**CURRENT ZONING CLASSIFICATION(S) OF THE PROPERTY:** \_\_\_\_\_

- Is a zoning map amendment proposed with this project?  Yes  No
  - If yes, proposed Zoning Classification(s): \_\_\_\_\_
- Is a zoning text amendment proposed with this project?  Yes  No
  - If yes, provide a copy of the proposed text amendment with this application



3. If property is zoned M-1 or M-2, indicate the Occupancy Type pursuant to the Use and Occupancy Classification specified in Chapter 3 of the 2006 International Building Code (2006 IBC). Include all that apply and associated square footage for each classification:

- Factory Group F-1 (Moderate-hazard) \_\_\_\_\_ sq ft
- Factory Group F-2 (Low-hazard) \_\_\_\_\_ sq ft
- Storage Group S-1 (Moderate-hazard) \_\_\_\_\_ sq ft
- Storage Group S-2 (Low-hazard) 256,000 sq ft
- Business Group B \_\_\_\_\_ sq ft
- High-Hazard Group H\* \_\_\_\_\_ sq ft
- Other \_\_\_\_\_ sq ft
- Other \_\_\_\_\_ sq ft

*\*If Use and Occupancy Classification is High-Hazard Group H please provide a detailed written narrative that explains the specific use, quantity of storage and handling of the high hazard materials along with appropriate MSSD sheets with this application.*

**PUBLIC SERVICES:**

1. Is the property serviced by Public Sanitary Sewer?  YES  NO
  - If no, the closest public sewer is located at \_\_\_\_\_
2. Is the property serviced by Public Water?  YES  NO
  - If no, the closest public water is located at \_\_\_\_\_
3. Maximum number of gallons/minute of water expected to be used per day is: \_\_\_\_\_

**THIS APPLICATION IS FOR A: (check one)**

- Preliminary Site and Operational Plan: An applicant may apply for preliminary site and operational plan-approval in connection with an erosion control permit application for early mass grading, or in connection with an early foundation permit, or for other good cause shown
- New Site and Operational Plan
- Amendment to an existing Site and Operational Plan
  - Date of initial site and operational plan approval: \_\_\_\_\_
  - Date of each approved amendment: \_\_\_\_\_

**SECTION 2: EXISTING USES AND BUILDINGS ON THE SITE**

Are there any existing buildings on the site?  YES  NO

- If yes, provide an attachment that explains the current uses on the property and current uses in each building and if the use(s) is proposed to continue; and the gross floor area and height of each building.
- If no, what is the current use of the property? \_\_\_\_\_

### SECTION 3: PHOTOGRAPHS

Standard-sized photographs (not Polaroid) showing all aspects of the site (e.g. locations of proposed improvements, bodies of navigable water, wetlands, wooded areas, etc.) and of the exterior of structures or other site improvements, together with a statement regarding each photograph, which includes the date the photograph was taken, the location from which it was taken, the direction in which the camera was pointed, and a description of what is shown in the photograph. With respect to all existing signs, the applicant shall file photographs of all existing signs and shall specify in the written statement accompanying each such photograph and show the dimensions of such sign. Digital images are acceptable.

### SECTION 4: CONDITIONAL USE

1. Does the proposed project require a Conditional Use Permit?  YES  NO
  - If no then skip to Section 5.
  - If yes, then continue with this Section.
2. Are you amending an existing Conditional Use Permit?  YES  NO
  - If yes, provide a copy of the Conditional Use Grant Document you are proposing to amend.
  - If no, continue with this Section.
3. If you answered YES to either question 1 or 2 above then this application shall include information as to how the proposed project will not impair an adequate supply of light and air to adjacent properties; increase danger of fire; cause traffic congestion or traffic circulation problems; create storm water flooding or drainage; create obnoxious odors, problems or otherwise endanger the public health, safety or welfare; will not hinder, harm or distract the provision of public services; and that the proposed project is not inherently inconsistent with either the district in which it is located or adjoining districts or neighborhoods as required pursuant to the Village Zoning Ordinance.

### SECTION 5: NON-CONFORMING USE

1. Is any use on the site a nonconforming use?  YES  NO
  - If no, then skip to Section 7.
  - If yes, then continue with this section.
2. If you answered YES to question 1 above, prima facie proof of each element of legal nonconforming use status shall be submitted to the Village with this application (i.e. that the nonconforming use was legal in its inception, that the use was active and actual and not merely casual, occasional, incidental or accessory when it became nonconforming, that the use has been continuous with no gap of 12 or more consecutive months since it became nonconforming, that no building or structure housing the nonconforming use has been structurally repaired or altered to the extent of fifty (50) percent or more of its assessed value since the use became nonconforming, and that the use has not been changed in nature or physically extended or expanded since becoming nonconforming).

## SECTION 6: PERFORMANCE STANDARDS

Pursuant to the Village Zoning Ordinance, any application for a permit under this ordinance or any use subject to the regulations and standards set forth in the Village Zoning Ordinance shall be accompanied by a sworn statement by the owner of the subject property that said property and use will be operated in accordance with the performance standards set forth in Section 420-38 of the Village Ordinance. Continued compliance with the regulations and standards is required. Violations of such standards shall be remedied as required by the Village Zoning Ordinance.

No land or building in any district shall be operated in such a manner so as to create any dangerous, injurious, noxious or otherwise objectionable fire, explosive or other hazard; noise or vibration, smoke, dust, dirt or other form of air pollution; water pollution; electrical, radioactive or other disturbances; glare; or other substance, condition or element (referred to herein as "dangerous or objectionable elements") in such amount as to adversely affect the surrounding area or premises; provided that any use permitted by this ordinance may be undertaken and maintained if it conforms to the regulations of this subsection limiting dangerous and objectionable elements at the specified point or points of the determination of their existence.

The Village may require additional information be submitted to ensure that the Village Performance Standards are being met.

## SECTION 7: PLAN COMPONENTS

The application shall include a list of all documents, materials or information that are attached to and a part of the application form. Submit eight (8) full-sized and one (1) set reduced to 11" x 17" of all plans and other attachments shall be included as part of this application, except if a component has been waived or deferred in writing by the Village Zoning Administrator. **For specific details related to each of the required information and plans see the attachment entitled "Plan Components and Related Standards" in Section 420-57 of the Village Zoning Ordinance.**

- Application—Applicant, Site, Use, Project and Plan Information
- Application fee
- Operational plan
- Title sheet
- Survey
- Site plan
- Grading and drainage plan
- Building and fire protection plans
- Lighting plan
- Landscape and open space plan
- Signage plan
- Industrial/commercial waste survey
- Performance standards compliance
- Additional requirements, as determined by the Village Zoning Administrator, other appropriate Village staff members, or the Village Plan Commission, as appropriate.

Two or more plans may be combined, provided that all of the information submitted on the combined plan is clearly legible, but in no case shall the combined plans fail to show any of the information required for each individual plan as described below, unless such information is waived or deferred pursuant to the Zoning Ordinance.

**SECTION 8: SIGNATURES**

I, (We), hereby certify that all the above statements and all attachments submitted herewith are true and correct to the best of my knowledge. In addition I, (we) understand the requirements and procedures for Site and Operational Plan/Conditional Use Permit approval.

**PROPERTY OWNER:** Center Point Properties Trust **APPLICANT:**

Name: James Shields  
Vice President/Regional Manager  
 Signature: [Signature]  
 Address: 1808 Swift Dr.  
Oak Brook IL 60523  
(City) (State) (Zip)  
 Phone: 630-586-8000  
 Fax: 630-586-8010  
 E-mail: JSHIELDS@CENTERPOINT.COM  
 Date: 07-18-16

Name: David Jarabak  
(Please Print)  
 Signature: [Signature]  
 Address: 570 Polaris Parkway  
Westerville, OH 43082  
(City) (State) (Zip)  
 Phone: 717 250-6871  
 Fax: \_\_\_\_\_  
 E-mail: david.jarabak@exel.com  
 Date: 7/21/16

Is the applicant the owner of the property?  YES  NO

If no, then either proof of the applicant's legal interest in the subject real property (e.g. accepted offer to purchase, lease, etc., which may be appropriately redacted to preserve confidential information) or written authorization signed by the owner for the applicant to act as the owner's agent in connection with the application shall be included with the application.

**DEVELOPER (if Applicable)**

Name: \_\_\_\_\_  
(Please Print)  
 Signature: \_\_\_\_\_  
 Address: \_\_\_\_\_  
(City) (State) (Zip)  
 Phone: \_\_\_\_\_  
 Fax: \_\_\_\_\_  
 E-mail: \_\_\_\_\_  
 Date: \_\_\_\_\_

**USER OR OCCUPANT OF SITE:**

Name: \_\_\_\_\_  
(Please Print)  
 Signature: \_\_\_\_\_  
 Address: \_\_\_\_\_  
(City) (State) (Zip)  
 Phone: \_\_\_\_\_  
 Fax: \_\_\_\_\_  
 E-mail: \_\_\_\_\_  
 Date: \_\_\_\_\_

**LEGAL DESCRIPTION FOR THE PROJECT**

Parcel I:

Parcel 13 of Certified Survey Map No. 1917, being a redivision of all of Certified Survey Map Numbers 1370 and 1377; located in the Northeast Quarter, Southeast Quarter, Southwest Quarter and Northwest Quarter of the Southwest Quarter of Section 21, Town 1 North, Range 22 East of the Fourth Principal Meridian, in the Village of Pleasant Prairie, Kenosha County, Wisconsin.

Parcel II:

Common Cross Easement for Ingress and Egress dated February 28, 1997 executed by and between WISPARK Corporation and Roger Mayer, recorded in said Register's office February 28, 1997 as Document no. 1050378.

Property Address: 8506 100<sup>th</sup> Street, Pleasant Prairie, Wisconsin

Tax Key No.: 92-4-122-213-0035

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## Section 2 – Existing Uses and Buildings on the Site

Gross floor area: 256,240 sf  
Building height: 32'  
Current use: vacant (previously used for distribution)

## Operational Plan – 8505 100<sup>th</sup> Street Pleasant Prairie, WI 53158

### DHL Supply Chain

The purpose of the Operation Plan document is to provide the Village of Pleasant Prairie a clear picture of the plan to execute the management of the overflow facility located at 8505 100<sup>th</sup> Street, Pleasant Prairie, WI. While considered a “summary level” document, the level of detail should be sufficient to paint a very clear picture of the plan. While we believe the information in the Operational Plan to be directionally accurate.

#### **Description of Operation**

DHL seeks to lease the entire facility to provide warehousing services, storing all products that SC Johnson produces but general consumer packaged goods that cover home cleaning, air care, pest control, home storage and auto care. Main brands are Windex, Ziploc, Glade, Shout, Saran, Off, etc. MSDS information will be provided for products and are also available on-line.

#### **Hours of Operation**

The facility will be open Monday through Friday from the hours of 7a.m-3p.m, a one shift operation. The site will be closed on Saturday and Sunday with a Security guard provided during off hours. The site is not open to the public.

#### **Personnel**

The initial volume projections would require a staff of approximately 10-12 people. Temporary labor may be used as needed, but the plan is utilize all DHL employees.

#### **Facility**

DHL Supply Chain believes that a clean, well-maintained facility is critical to operational success and associate health and safety. As such, DHL Supply Chain has extensive programs in relation to housekeeping, facility maintenance. Every effort will be made to keep the facility, equipment, and site in clean maintained condition at all times.

Parking lot allows for 235 vehicles.

Facility will utilize 25 exterior dock doors and 4 drive in doors. The truck dock will support all truckload carrier needs for inbound product and outbound shipments. Receiving and shipping will be performed on a shared dock.

The following storage options will be utilized for the SC Johnson business:

- **Storage Mediums - Bulk**
  - Floor storage – Floor storage lanes will house palletized product for all other items.
  - Assumed stack height of 4 cubes

The following equipment will be utilized within the operation to facilitate receiving and shipping of the SC Johnson product:

- **Equipment – Propane MHE with RF units/Scanners**
  - **Sit-Down Forklifts** – Trucks will be used to load, unload and pick full pallets.

We will create a satellite disposal area to manage any material product damage that may occur using local Disposal Company and following the organizations Standard Operating Procedures.

## Volume

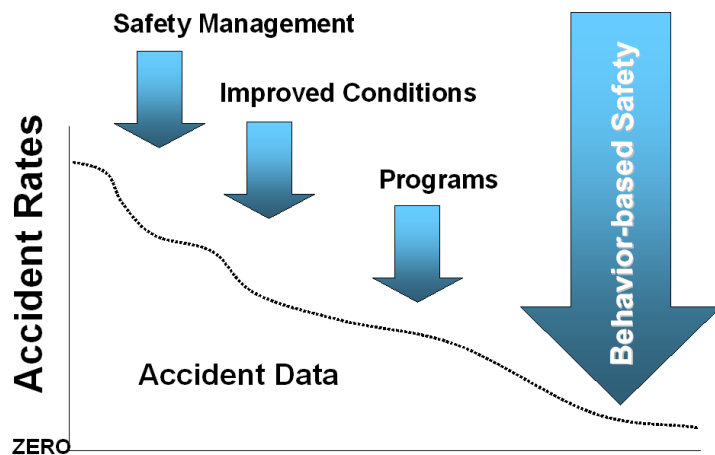
The site will handle portions of the co-pack/warehouse club business, approximately 10,000-15,000 inbound pallets per month forecast provided by SCJ, which will arrive on pallets. Over a six week period planned to reach estimate inventory level of approximately 22,000 pallets. The site will serve as an "Overflow Warehouse" for the network, storing product that may not yet have final deployment. Any incremental volume has not been determined yet. SCJ currently handles approximately 1,000 skus.

Shipments to the other Johnson Facilities will be shipped in full pallet unit of measure.

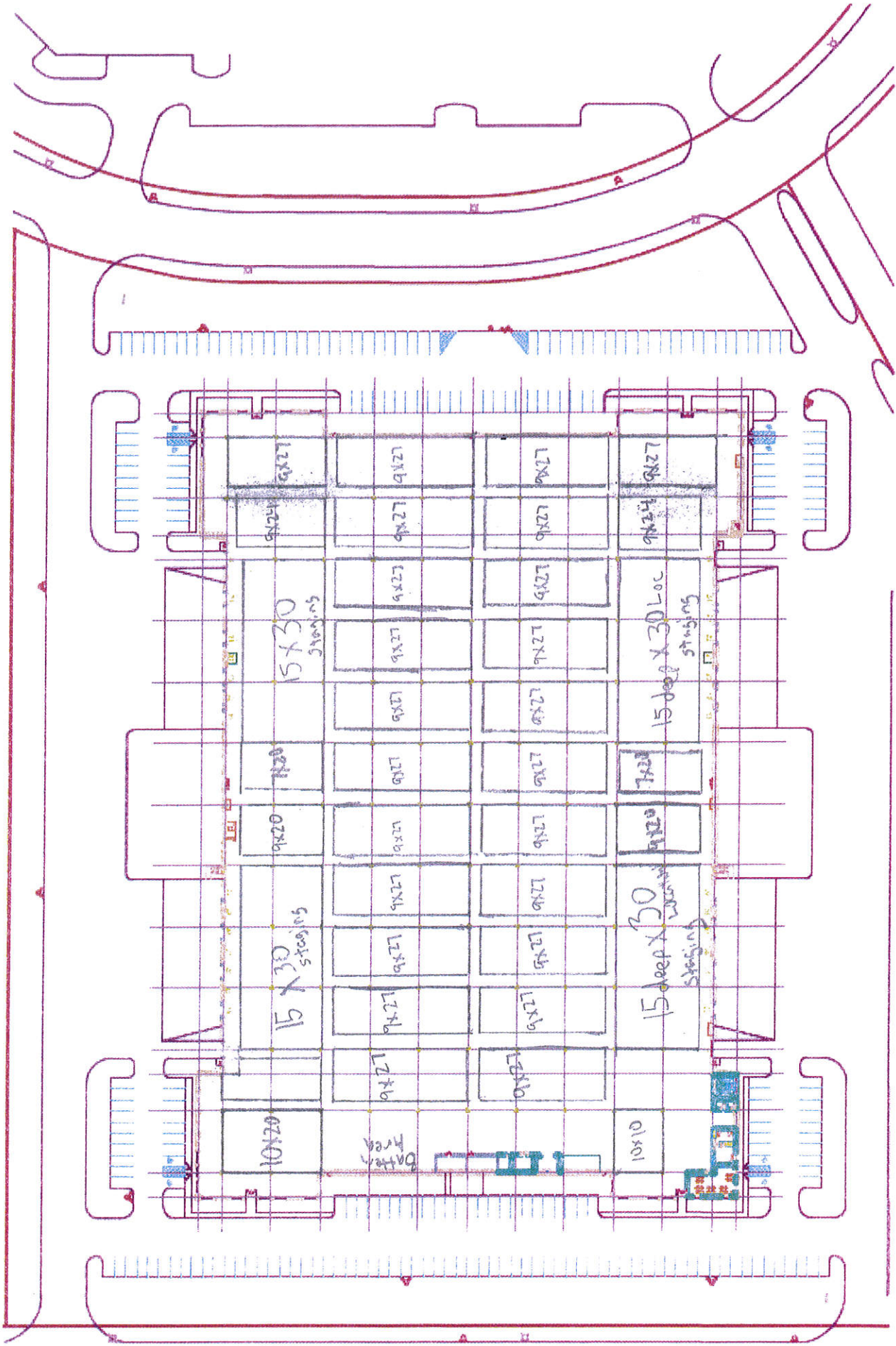
## Safety

The DHL/SCJ site will adhere to all OSHA and DHL Supply Chain safety policies and practices. DHL Supply Chain associates will participate on the facility safety team, and a designee will attend all regional safety meetings.

BBS or Behavioral Based Safety supplements the DHL Supply Chain safety policies and practices by providing a proactive approach to safety and relies on associate ownership of site safety. Designated BBS associates conduct random safety observations of associates performing daily activities noting any unsafe or potentially unsafe actions.







- This is bulk floor storage only. There is no rack storage in the facility.
- Typically we stack Pallets 2-3 high.
- The Storage areas are in Pallet Positions. So 9x27 is 9 Pallets wide by 27 Pallets deep. Each Pallet is 48 inches long by 40 inches wide.

## Safety Data Sheet

according to Hazard Communication Standard; 29 CFR 1910.1200



# DRANO® MAX BUILD UP REMOVER COMMERCIAL LINE™

Version 1.0

Print Date 04/02/2015

Revision Date 04/02/2015

SDS Number 350000004300

## 1. PRODUCT AND COMPANY IDENTIFICATION

### Product information

**Product name** : DRANO® MAX BUILD UP REMOVER COMMERCIAL LINE™

**Recommended use** : Drain Cleaner

**Manufacturer, importer, supplier** : S.C. Johnson & Son, Inc.  
1525 Howe Street  
Racine WI 53403-2236

**Telephone** : +18005585252

**Emergency telephone number** : 24 Hour Medical Emergency Phone: (866)231-5406  
24 Hour International Emergency Phone: (703)527-3887  
24 Hour Transport Emergency Phone: (800)424-9300

## 2. HAZARDS IDENTIFICATION

### Classification of the substance or mixture

#### Globally Harmonized System (GHS) Classification

This product does not meet the criteria for classification in any hazard class according to regulation OSHA 29 CFR 1910.1200.

### Labelling

#### Precautionary statements

**Other hazards** : None identified

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## 3. COMPOSITION/INFORMATION ON INGREDIENTS

This product does not contain hazardous chemicals at or above a reportable level as defined by OSHA 29 CFR 1910.1200

For additional information on product ingredients, see [www.whatsinsidescjohnson.com](http://www.whatsinsidescjohnson.com).

---

## 4. FIRST AID MEASURES

**Eye contact** : No special requirements

**Safety Data Sheet**

according to Hazard Communication Standard; 29 CFR 1910.1200



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SDS Number 350000004300

- Skin contact** : No special requirements
- Inhalation** : No special requirements.
- Ingestion** : No special requirements

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**5. FIREFIGHTING MEASURES**

- Suitable extinguishing media** : Use water spray, alcohol-resistant foam, dry chemical or carbon dioxide.
- Specific hazards during firefighting** : Container may melt and leak in heat of fire.
- Further information** : Fight fire with normal precautions from a reasonable distance. Standard procedure for chemical fires. Wear full protective clothing and positive pressure self-contained breathing apparatus.

---

**6. ACCIDENTAL RELEASE MEASURES**

- Personal precautions** : Wash thoroughly after handling.
- Environmental precautions** : Outside of normal use, avoid release to the environment.
- Methods and materials for containment and cleaning up** : Dike large spills.  
Clean residue from spill site.

---

**7. HANDLING AND STORAGE**

- Handling**
- Precautions for safe handling** : Avoid contact with skin, eyes and clothing.  
For personal protection see section 8.  
KEEP OUT OF REACH OF CHILDREN AND PETS.
- Advice on protection** : Normal measures for preventive fire protection.

**Safety Data Sheet**

according to Hazard Communication Standard; 29 CFR 1910.1200



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**against fire and explosion**

**Storage**

**Requirements for storage areas and containers** : Keep container closed when not in use.

---

**8. EXPOSURE CONTROLS/PERSONAL PROTECTION**

**Occupational Exposure Limits**

ACGIH or OSHA exposure limits have not been established for this product or reportable ingredients unless noted in the table above.

**Personal protective equipment**

**Respiratory protection** : No special requirements.

**Hand protection** : No special requirements.

**Eye protection** : No special requirements.

**Skin and body protection** : No special requirements.

**Hygiene measures** : Handle in accordance with good industrial hygiene and safety practice. Wash thoroughly after handling.

---

**9. PHYSICAL AND CHEMICAL PROPERTIES**

**Form** : liquid

**Color** : green

**Odor** : pleasant

**Odour Threshold** : No data available

**pH** : 5.8 - 6.8  
at (25 C)

**Safety Data Sheet**

according to Hazard Communication Standard; 29 CFR 1910.1200



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- Melting point/freezing point** : 0 °C
- Initial boiling point and boiling range** : > 100 °C
- Flash point** : does not flash
- Evaporation rate** : No data available
- Flammability (solid, gas)** : No data available
- Upper/lower flammability or explosive limits** : No data available
- Vapour pressure** : No data available
- Vapour density** : No data available
- Relative density** : 1.04 g/cm<sup>3</sup> at 25 C
- Solubility(ies)** : completely soluble
- Partition coefficient: n-octanol/water** : Not applicable
- Auto-ignition temperature** : Not applicable
- Decomposition temperature** : No data available
- Viscosity, dynamic** : > 100 mPa.s  
at 25 C  
Method: ASTM D 2196  
similar to water

**Safety Data Sheet**

according to Hazard Communication Standard; 29 CFR 1910.1200



**DRANO® MAX BUILD UP REMOVER COMMERCIAL LINE™**

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<b>Viscosity, kinematic</b>	:	No data available	:
<b>Oxidizing properties</b>	:	No data available	:
<b>Volatile Organic Compounds Total VOC (wt. %)*</b>	:	0.1 % - additional exemptions may apply *as defined by US Federal and State Consumer Product Regulations	:
<b>Other information</b>	:	None identified	:

---

**10. STABILITY AND REACTIVITY**

<b>Possibility of hazardous reactions</b>	:	If accidental mixing occurs and toxic gas is formed, exit area immediately. Do not return until well ventilated.
<b>Conditions to avoid</b>	:	Direct sources of heat.
<b>Incompatible materials</b>	:	Do not mix with bleach or any other household cleaners. Strong bases
<b>Hazardous decomposition products</b>	:	Thermal decomposition can lead to release of irritating gases and vapours.

---

**11. TOXICOLOGICAL INFORMATION**

<b>Emergency Overview</b>	:	This product does not meet the criteria for classification in any hazard class according to regulation OSHA 29 CFR 1910.1200.
<b>Acute oral toxicity</b>	:	GHS LD50 estimated > 5,000 mg/kg

**Safety Data Sheet**

according to Hazard Communication Standard; 29 CFR 1910.1200



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**Acute inhalation toxicity** : GHS LC50 (dust and mist)  
No data available

**Acute dermal toxicity** : GHS LD50  
No data available

GHS Properties	Classification	Routes of entry
Acute toxicity	No classification proposed	-
Skin corrosion/irritation	No classification proposed	-
Serious eye damage/eye irritation	No classification proposed	-
Skin sensitisation	No classification proposed	-
Respiratory sensitisation	No classification proposed	-
Germ cell mutagenicity	No classification proposed	-
Carcinogenicity	No classification proposed	-
Reproductive toxicity	No classification proposed	-
Specific target organ toxicity - single exposure	No classification proposed	-
Specific target organ toxicity - repeated exposure	No classification proposed	-
Aspiration hazard	No classification proposed	-

**Aggravated Medical Condition** : None known.

**12. ECOLOGICAL INFORMATION**

**Product** : The product itself has not been tested.

**Toxicity**

**Safety Data Sheet**

according to Hazard Communication Standard; 29 CFR 1910.1200



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The ingredients in this formula have been reviewed and no adverse impact to the environment is expected when used according to label directions.

**No environmental data required.**

**Other adverse effects** : None known.

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**13. DISPOSAL CONSIDERATIONS**

Consumer may discard empty container in trash, or recycle where facilities exist.

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**14. TRANSPORT INFORMATION**

Please refer to the Bill of Lading/receiving documents for up-to-date shipping information.

**Land transport**

Not classified as dangerous in the meaning of transport regulations.

**Sea transport**

Not classified as dangerous in the meaning of transport regulations.

**Air transport**

Not classified as dangerous in the meaning of transport regulations.

---

**15. REGULATORY INFORMATION**

**Notification status** : All ingredients of this product are listed or are excluded from listing on the U.S. Toxic Substances Control Act (TSCA) Chemical Substance Inventory.

**Notification status** : All ingredients of this product comply with the New Substances



**Safety Data Sheet**

according to Hazard Communication Standard; 29 CFR 1910.1200



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Notification requirements under the Canadian Environmental Protection Act (CEPA).

**California Prop. 65** : This product does not contain any chemicals known to State of California to cause cancer, birth defects, or any other reproductive harm.

**16. OTHER INFORMATION**

**HMIS Ratings**

<b>Health</b>	1
<b>Flammability</b>	0
<b>Reactivity</b>	0

**NFPA Ratings**

<b>Health</b>	1
<b>Fire</b>	0
<b>Reactivity</b>	0
<b>Special</b>	-

This information is being provided in accordance with the Occupational Safety and Health Administration (OSHA) regulation (29 CFR 1910.1200). The information supplied is designed for workplaces where product use and frequency of exposure exceeds that established for the labeled consumer use.

**Further information**

This document has been prepared using data from sources considered to be technically reliable. It does not constitute a warranty, expressed or implied, as to the accuracy of the information contained herein. Actual conditions of use are beyond the seller's control. User is responsible to evaluate all available information when using product for any particular use and to comply with all Federal, State, Provincial and Local laws and regulations.

**Safety Data Sheet**

according to Hazard Communication Standard; 29 CFR 1910.1200



**DRANO® MAX BUILD UP REMOVER COMMERCIAL LINE™**

Version 1.0

Print Date 04/02/2015

Revision Date 04/02/2015

SDS Number 350000004300

Prepared by	SC Johnson Global Safety Assessment & Regulatory Affairs (GSARA)
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**Safety Data Sheet**

according to Hazard Communication Standard; 29 CFR 1910.1200



**GLADE® SPRAY - APPLE CINNAMON**

Version 1.1

Print Date 03/04/2015

Revision Date 02/24/2015

SDS Number 350000004361

**1. PRODUCT AND COMPANY IDENTIFICATION**

**Product information**

**Product name** : **GLADE® SPRAY - APPLE CINNAMON**

**Recommended use** : Air Freshener

**Manufacturer, importer, supplier** : S.C. Johnson & Son, Inc.  
1525 Howe Street  
Racine WI 53403-2236

**Telephone** : +18005585252  
**Emergency telephone number** : 24 Hour Medical Emergency Phone: (866)231-5406  
24 Hour International Emergency Phone: (703)527-3887  
24 Hour Transport Emergency Phone: (800)424-9300

**2. HAZARDS IDENTIFICATION**

**Classification of the substance or mixture**

**Globally Harmonized System (GHS) Classification**

Hazard classification	Hazard category	Hazards identification
Aerosol	Category 2	Flammable aerosol.
Gases under pressure	Liquefied gas	Contains gas under pressure; may explode if heated.

**Labelling**

**Hazard symbols**

Flame  
Gas cylinder

**Signal word**

Warning

**Hazard statements**

Flammable aerosol.  
Contains gas under pressure; may explode if heated.

**Precautionary statements**

Protect from sunlight. Do not expose to temperatures exceeding 50 °C/ 122 °F.  
Protect from sunlight. Store in a well-ventilated place.  
Keep away from heat/sparks/open flames/hot surfaces. - No smoking.  
Do not spray on an open flame or other ignition source.  
Do not pierce or burn, even after use.

**Safety Data Sheet**

according to Hazard Communication Standard; 29 CFR 1910.1200



**GLADE® SPRAY - APPLE CINNAMON**

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**Other hazards** : None identified

**3. COMPOSITION/INFORMATION ON INGREDIENTS**

Chemical Name	CAS-No.	Weight percent
Isobutane	75-28-5	10.00 - 30.00
Propane	74-98-6	5.00 - 10.00

The specific chemical identity and/or exact percentage (concentration) of this composition has been withheld as a trade secret.

For additional information on product ingredients, see [www.whatsinsidescjohnson.com](http://www.whatsinsidescjohnson.com).

**4. FIRST AID MEASURES**

- Eye contact** : No special requirements
- Skin contact** : No special requirements
- Inhalation** : No special requirements.
- Ingestion** : No special requirements

**5. FIREFIGHTING MEASURES**

- Suitable extinguishing media** : Use water spray, alcohol-resistant foam, dry chemical or carbon dioxide.
- Specific hazards during firefighting** : Aerosol Product - Containers may rocket or explode in heat of fire.
- Further information** : Fight fire from maximum distance or protected area. Cool and use caution when approaching or handling fire-exposed containers. Wear full protective clothing and positive pressure self-contained breathing apparatus. In case of fire and/or explosion do not breathe fumes.
- NFPA Classification** : NFPA Level 1 Aerosol

**Safety Data Sheet**

according to Hazard Communication Standard; 29 CFR 1910.1200



**GLADE® SPRAY - APPLE CINNAMON**

Version 1.1

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**6. ACCIDENTAL RELEASE MEASURES**

- Personal precautions** : Remove all sources of ignition.  
Wash thoroughly after handling.
  
- Environmental precautions** : Outside of normal use, avoid release to the environment.
  
- Methods and materials for containment and cleaning up** : If damage occurs to aerosol can:  
Contain spillage, soak up with non-combustible absorbent material, (e.g. sand, earth, diatomaceous earth, vermiculite) and transfer to a container for disposal according to local / national regulations (see section 13).  
Use only non-sparking equipment.  
Dike large spills.  
Clean residue from spill site.

---

**7. HANDLING AND STORAGE**

- Handling**
  
- Precautions for safe handling** : Avoid contact with skin, eyes and clothing.  
For personal protection see section 8.  
Note: Intentional misuse by deliberately concentrating and inhaling the contents can be harmful or fatal. For more information visit [www.inhalant.org](http://www.inhalant.org).  
Use only as directed.  
KEEP OUT OF REACH OF CHILDREN AND PETS.  
Pressurized container.  
Do not pierce or burn, even after use.
  
- Advice on protection against fire and explosion** : Keep away from sources of ignition - No smoking.  
Do not spray on an open flame or other ignition source.
  
- Storage**
  
- Requirements for storage areas and containers** : Protect from sunlight. Do not expose to temperatures exceeding 50 °C/ 122 °F.  
Keep in a dry, cool and well-ventilated place.

**Safety Data Sheet**

according to Hazard Communication Standard; 29 CFR 1910.1200



**GLADE® SPRAY - APPLE CINNAMON**

Version 1.1

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SDS Number 350000004361

**8. EXPOSURE CONTROLS/PERSONAL PROTECTION**

**Occupational Exposure Limits**

Components	CAS-No.	mg/m3	ppm	Non-standard units	Basis
Isobutane	75-28-5	-	1,000 ppm	-	ACGIH STEL
Propane	74-98-6	-	1,000 ppm	-	ACGIH TWA
Propane	74-98-6	1,800 mg/m3	1,000 ppm	-	OSHA TWA

**Personal protective equipment**

**Respiratory protection** : No special requirements.

**Hand protection** : No special requirements.

**Eye protection** : No special requirements.

**Skin and body protection** : No special requirements.

**Hygiene measures** : Handle in accordance with good industrial hygiene and safety practice. Wash thoroughly after handling.

**9. PHYSICAL AND CHEMICAL PROPERTIES**

**Form** : aerosol  
compressed liquefied gas

**Color** : opaque

**Odor** : pleasant

**Odour Threshold** : No data available

**pH** : Not applicable

**Safety Data Sheet**

according to Hazard Communication Standard; 29 CFR 1910.1200



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- Melting point/freezing point** : Not applicable
- Initial boiling point and boiling range** : Not applicable
- Flash point** : < -7 °C  
< 19.4 °F  
Method: Tag Closed Cup (TCC)  
Propellant
- Evaporation rate** : No data available
- Flammability (solid, gas)** : No data available
- Upper/lower flammability or explosive limits** : No data available
- Vapour pressure** : No data available
- Vapour density** : No data available
- Relative density** : 0.86 g/cm<sup>3</sup>
- Solubility(ies)** : completely soluble
- Partition coefficient: n-octanol/water** : No data available
- Auto-ignition temperature** : Not applicable
- Decomposition temperature** : No data available
- Viscosity, dynamic** :

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according to Hazard Communication Standard; 29 CFR 1910.1200



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**Viscosity, kinematic** : No data available

**Oxidizing properties** : No data available

**Volatile Organic Compounds Total VOC (wt. %)\*** : 19.6 % - additional exemptions may apply  
\*as defined by US Federal and State Consumer Product Regulations

**Other information** : None identified :

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**10. STABILITY AND REACTIVITY**

**Possibility of hazardous reactions** : Stable under recommended storage conditions.

**Conditions to avoid** : Heat, flames and sparks.

**Incompatible materials** : Strong oxidizing agents

**Hazardous decomposition products** : Thermal decomposition can lead to release of irritating gases and vapours.

---

**11. TOXICOLOGICAL INFORMATION**

**Emergency Overview** : Warning

**Acute oral toxicity** : LD50 estimated > 5,000 mg/kg

**Acute inhalation toxicity** : LC50 estimated > 5 mg/l

**Acute dermal toxicity** : LD50 estimated



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according to Hazard Communication Standard; 29 CFR 1910.1200



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Version 1.1

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Revision Date 02/24/2015

SDS Number 350000004361

> 2,000 mg/kg

GHS Properties	Classification	Routes of entry
Acute toxicity	No classification proposed	-
Skin corrosion/irritation	No classification proposed	-
Serious eye damage/eye irritation	No classification proposed	-
Skin sensitisation	No classification proposed	-
Respiratory sensitisation	No classification proposed	-
Germ cell mutagenicity	No classification proposed	-
Carcinogenicity	No classification proposed	-
Reproductive toxicity	No classification proposed	-
Specific target organ toxicity - single exposure	No classification proposed	-
Specific target organ toxicity - repeated exposure	No classification proposed	-
Aspiration hazard	No classification proposed	-

**Aggravated Medical Condition** : None known.

**12. ECOLOGICAL INFORMATION**

**Product** : The product itself has not been tested.

**Toxicity**

The ingredients in this formula have been reviewed and no adverse impact to the environment is expected when used according to label directions.

**Toxicity to fish**

Components	End point	Species	Value	Exposure time
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**Safety Data Sheet**

according to Hazard Communication Standard; 29 CFR 1910.1200

**GLADE® SPRAY - APPLE CINNAMON**

Version 1.1

Print Date 03/04/2015

Revision Date 02/24/2015

SDS Number 350000004361

Isobutane	LC50	Fish	27.98 mg/l	96 h
Propane	LC50	Fish	27.98 mg/l	96 h

**Toxicity to aquatic invertebrates**

Components	End point	Species	Value	Exposure time
Isobutane	LC50	Daphnid	16.33 mg/l	48 h
Propane	LC50	Daphnid	14.22 mg/l	48 h

**Toxicity to aquatic plants**

Components	End point	Species	Value	Exposure time
Isobutane	EC50	Green alga	8.57 mg/l	96 h
Propane	No data available			

**Persistence and degradability**

Component	Biodegradation	Exposure time	Summary
Isobutane	70 %	< 10 d	Readily biodegradable
Propane	70 %	< 10 d	Readily biodegradable

**Bioaccumulative potential**

Component	Bioconcentration factor (BCF)	Partition Coefficient n-Octanol/water (log)

**Safety Data Sheet**

according to Hazard Communication Standard; 29 CFR 1910.1200



**GLADE® SPRAY - APPLE CINNAMON**

Version 1.1

Print Date 03/04/2015

Revision Date 02/24/2015

SDS Number 350000004361

Isobutane	1.57 - 1.97	2.8
Propane	No data available	2.36

**Mobility**

Component	End point	Value
Isobutane	No data available	
Propane	No data available	

**PBT and vPvB assessment**

Component	Results
Isobutane	Not fulfilling PBT and vPvB criteria
Propane	Not fulfilling PBT and vPvB criteria

**Other adverse effects** : None known.

---

**13. DISPOSAL CONSIDERATIONS**

Consumer may discard empty container in trash, or recycle where facilities exist.

---

**14. TRANSPORT INFORMATION**

Please refer to the Bill of Lading/receiving documents for up-to-date shipping information.

**Safety Data Sheet**

according to Hazard Communication Standard; 29 CFR 1910.1200



**GLADE® SPRAY - APPLE CINNAMON**

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SDS Number 350000004361

	<b>Land transport</b>	<b>Sea transport</b>	<b>Air transport</b>
<b>UN number</b>	1950	1950	1950
<b>UN proper shipping name</b>	AEROSOLS, Flammable, 2.1	AEROSOLS, Flammable, 2.1	AEROSOLS, Flammable, 2.1
<b>Transport hazard class(es)</b>	2.1	2	2.1
<b>Packing group</b>	-	-	-
<b>Environmental hazards</b>	-	-	-
<b>Special precautions for user</b>	Limited quantities derogation may be applicable to this product, please check transport documents.	Limited quantities derogation may be applicable to this product, please check transport documents.	Limited quantities derogation may be applicable to this product, please check transport documents.

**15. REGULATORY INFORMATION**

**Notification status** : All ingredients of this product are listed or are excluded from listing on the U.S. Toxic Substances Control Act (TSCA) Chemical Substance Inventory.

**Notification status** : All ingredients of this product comply with the New Substances Notification requirements under the Canadian Environmental Protection Act (CEPA).

**California Prop. 65** : This product does not contain any chemicals known to State of California to cause cancer, birth defects, or any other reproductive harm.

**Safety Data Sheet**

according to Hazard Communication Standard; 29 CFR 1910.1200



**GLADE® SPRAY - APPLE CINNAMON**

Version 1.1

Print Date 03/04/2015

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SDS Number 350000004361

**16. OTHER INFORMATION**

**HMIS Ratings**

<b>Health</b>	1
<b>Flammability</b>	4
<b>Reactivity</b>	0

**NFPA Ratings**

<b>Health</b>	1
<b>Fire</b>	4
<b>Reactivity</b>	0
<b>Special</b>	-

This information is being provided in accordance with the Occupational Safety and Health Administration (OSHA) regulation (29 CFR 1910.1200). The information supplied is designed for workplaces where product use and frequency of exposure exceeds that established for the labeled consumer use.

**Further information**

This document has been prepared using data from sources considered to be technically reliable. It does not constitute a warranty, expressed or implied, as to the accuracy of the information contained herein. Actual conditions of use are beyond the seller's control. User is responsible to evaluate all available information when using product for any particular use and to comply with all Federal, State, Provincial and Local laws and regulations.

Prepared by	SC Johnson Global Safety Assessment & Regulatory Affairs (GSARA)
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**Safety Data Sheet**

according to Hazard Communication Standard; 29 CFR 1910.1200



**GLADE® SPRAY - APPLE CINNAMON**

Version 1.1

Print Date 03/04/2015

Revision Date 02/24/2015

SDS Number 350000004361

**Safety Data Sheet**

according to Hazard Communication Standard; 29 CFR 1910.1200



**SHOUT® ADVANCED LAUNDRY STAIN REMOVER ACTION GEL®**

Version 1.1

Print Date 03/04/2015

Revision Date 02/25/2015

SDS Number 350000020863

**1. PRODUCT AND COMPANY IDENTIFICATION**

**Product information**

**Product name** : SHOUT® ADVANCED LAUNDRY STAIN REMOVER ACTION GEL®

**Recommended use** : Spot & Stain Remover

**Manufacturer, importer, supplier** : S.C. Johnson & Son, Inc.  
1525 Howe Street  
Racine WI 53403-2236

**Telephone** : +18005585252

**Emergency telephone number** : 24 Hour Medical Emergency Phone: (866)231-5406  
24 Hour International Emergency Phone: (703)527-3887  
24 Hour Transport Emergency Phone: (800)424-9300

**2. HAZARDS IDENTIFICATION**

**Classification of the substance or mixture**

**Globally Harmonized System (GHS) Classification**

This product does not meet the criteria for classification in any hazard class according to regulation OSHA 29 CFR 1910.1200.

**Labelling**

**Precautionary statements**

**Other hazards** : None identified

**3. COMPOSITION/INFORMATION ON INGREDIENTS**

Chemical Name	CAS-No.	Weight percent
Poly(oxy-1,2-ethanediyl), .alpha.-isotridecyl-.omega.-hydroxy-	9043-30-5	5.00 - 10.00
Benzenesulfonic acid, mono-C10-16-alkyl derivs., sodium salts	68081-81-2	1.00 - 5.00

**Safety Data Sheet**

according to Hazard Communication Standard; 29 CFR 1910.1200



**SHOUT® ADVANCED LAUNDRY STAIN REMOVER ACTION GEL®**

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Citric acid	77-92-9	1.00 - 5.00
Subtilisins (proteolytic enzymes)	9014-01-1	0.0001 - 0.10

The specific chemical identity and/or exact percentage (concentration) of this composition has been withheld as a trade secret.

For additional information on product ingredients, see [www.whatsinsidescjohnson.com](http://www.whatsinsidescjohnson.com).

**4. FIRST AID MEASURES**

- Eye contact** : No special requirements
- Skin contact** : No special requirements
- Inhalation** : No special requirements.
- Ingestion** : No special requirements

**5. FIREFIGHTING MEASURES**

- Suitable extinguishing media** : Use water spray, alcohol-resistant foam, dry chemical or carbon dioxide.
- Specific hazards during firefighting** : Container may melt and leak in heat of fire.
- Further information** : Fight fire with normal precautions from a reasonable distance. Standard procedure for chemical fires. Wear full protective clothing and positive pressure self-contained breathing apparatus.

**6. ACCIDENTAL RELEASE MEASURES**

- Personal precautions** : Wash thoroughly after handling.
- Environmental precautions** : Outside of normal use, avoid release to the environment.
- Methods and materials for containment and cleaning up** : Dike large spills.  
Clean residue from spill site.



**Safety Data Sheet**

according to Hazard Communication Standard; 29 CFR 1910.1200



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**7. HANDLING AND STORAGE**

**Handling**

**Precautions for safe handling** : Avoid contact with skin, eyes and clothing.  
For personal protection see section 8.  
KEEP OUT OF REACH OF CHILDREN AND PETS.

**Advice on protection against fire and explosion** : Normal measures for preventive fire protection.

**Storage**

**Requirements for storage areas and containers** : Keep container closed when not in use.  
**Other data** : Stable under normal conditions.

---

**8. EXPOSURE CONTROLS/PERSONAL PROTECTION**

**Occupational Exposure Limits**

ACGIH or OSHA exposure limits have not been established for this product or reportable ingredients unless noted in the table above.

**Personal protective equipment**

**Respiratory protection** : No special requirements.

**Hand protection** : No special requirements.

**Eye protection** : No special requirements.

**Skin and body protection** : No special requirements.

**Hygiene measures** : Handle in accordance with good industrial hygiene and safety practice. Wash thoroughly after handling.

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**9. PHYSICAL AND CHEMICAL PROPERTIES**

**Form** : liquid

**Safety Data Sheet**

according to Hazard Communication Standard; 29 CFR 1910.1200



**SHOUT® ADVANCED LAUNDRY STAIN REMOVER ACTION GEL®**

Version 1.1

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- Color** : clear white
- Odor** : pleasant
- Odour Threshold** : No data available
- pH** : 7.0 - 7.9
- Melting point/freezing point** : 0 C
- Initial boiling point and boiling range** : > 100 °C
- Flash point** : does not flash
- Evaporation rate** : No data available
- Flammability (solid, gas)** : Does not sustain combustion.
- Upper/lower flammability or explosive limits** : No data available
- Vapour pressure** : No data available
- Vapour density** : No data available
- Relative density** : 1.0 g/cm<sup>3</sup>
- Solubility(ies)** : completely soluble
- Partition coefficient: n-octanol/water** : No data available

**Safety Data Sheet**

according to Hazard Communication Standard; 29 CFR 1910.1200



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Version 1.1

Print Date 03/04/2015

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SDS Number 350000020863

- Auto-ignition temperature** : No data available
- Decomposition temperature** : No data available
- Viscosity, dynamic** : 1,000 mPa.s  
at 25 °C  
Method: ASTM D 2196
- Viscosity, kinematic** : No data available
- Oxidizing properties** : No data available
- Volatile Organic Compounds** : 0 % - additional exemptions may apply  
**Total VOC (wt. %)\*** \*as defined by US Federal and State Consumer Product Regulations
- Other information** : None identified :

---

**10. STABILITY AND REACTIVITY**

- Possibility of hazardous reactions** : If accidental mixing occurs and toxic gas is formed, exit area immediately. Do not return until well ventilated.
- Conditions to avoid** : Direct sources of heat.
- Incompatible materials** : Do not mix with bleach or any other household cleaners. Strong bases
- Hazardous decomposition products** : Thermal decomposition can lead to release of irritating gases and vapours.

**Safety Data Sheet**

according to Hazard Communication Standard; 29 CFR 1910.1200



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SDS Number 350000020863

**11. TOXICOLOGICAL INFORMATION**

- Emergency Overview** : This product does not meet the criteria for classification in any hazard class according to regulation OSHA 29 CFR 1910.1200.
- Acute oral toxicity** : LD50 estimated > 5,000 mg/kg
- Acute inhalation toxicity** : No data available
- Acute dermal toxicity** : No data available

GHS Properties	Classification	Routes of entry
Acute toxicity	No classification proposed	-
Skin corrosion/irritation	No classification proposed	-
Serious eye damage/eye irritation	No classification proposed	-
Skin sensitisation	No classification proposed	-
Respiratory sensitisation	No classification proposed	-
Germ cell mutagenicity	No classification proposed	-
Carcinogenicity	No classification proposed	-
Reproductive toxicity	No classification proposed	-
Specific target organ toxicity - single exposure	No classification proposed	-
Specific target organ toxicity - repeated exposure	No classification proposed	-
Aspiration hazard	No classification proposed	-

**Aggravated Medical** : None known.

**Safety Data Sheet**

according to Hazard Communication Standard; 29 CFR 1910.1200



**SHOUT® ADVANCED LAUNDRY STAIN REMOVER ACTION GEL®**

Version 1.1

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SDS Number 350000020863

**Condition**

**12. ECOLOGICAL INFORMATION**

**Product :** The product itself has not been tested.

**Toxicity**

The ingredients in this formula have been reviewed and no adverse impact to the environment is expected when used according to label directions.

**Toxicity to fish**

Components	End point	Species	Value	Exposure time
Poly(oxy-1,2-ethanediyl), .alpha.-isotridecyl-.omega.-hydroxy-	LC50 OECD Test Guideline 203	Danio rerio (zebra fish)	1 - 10 mg/l	96 h
Benzenesulfonic acid, mono-C10-16-alkyl derivs., sodium salts	No data available			
Citric acid	static test LC50 OECD Test Guideline 203	Leuciscus idus (Golden orfe)	440 mg/l	48 h
Subtilisins (proteolytic enzymes)	LC50 OECD Test Guideline 203		8.2 mg/l	96 h

**Safety Data Sheet**

according to Hazard Communication Standard; 29 CFR 1910.1200

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**Toxicity to aquatic invertebrates**

Components	End point	Species	Value	Exposure time
Poly(oxy-1,2-ethanediyl), .alpha.-isotridecyl-.omega.-hydroxy-	EC50 OECD Test Guideline 202	Daphnia (water flea)	7.07 mg/l	48 h
Benzenesulfonic acid, mono-C10-16-alkyl derivs., sodium salts	No data available			
Citric acid	EC50	Daphnia magna (Water flea)	1,535 mg/l	24 h
Subtilisins (proteolytic enzymes)	EC50 OECD Test Guideline 202	Daphnia magna (Water flea)	0.586 mg/l	48 h

**Toxicity to aquatic plants**

Components	End point	Species	Value	Exposure time
Poly(oxy-1,2-ethanediyl), .alpha.-isotridecyl-.omega.-hydroxy-	EC50	Desmodesmus subspicatus (green algae)	> 10 mg/l	72 h
Benzenesulfonic acid, mono-C10-16-alkyl derivs., sodium salts	No data available			
Citric acid	NOEC	Algae	425 mg/l	8 d
Subtilisins (proteolytic enzymes)	ErC50 OECD Test		0.83 mg/l	72 h

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according to Hazard Communication Standard; 29 CFR 1910.1200

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	Guideline 201No data available			
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**Persistence and degradability**

Component	Biodegradation	Exposure time	Summary
Poly(oxy-1,2-ethanediyl), .alpha.-isotridecyl-.omega.-hydroxy-	79 %	28 d	Readily biodegradable
Benzenesulfonic acid, mono-C10-16-alkyl derivs., sodium salts	No data available		
Citric acid	97 %	28 d	Readily biodegradable
Subtilisins (proteolytic enzymes)	No data available		Readily biodegradable

**Bioaccumulative potential**

Component	Bioconcentration factor (BCF)	Partition Coefficient n-Octanol/water (log)
Poly(oxy-1,2-ethanediyl), .alpha.-isotridecyl-.omega.-hydroxy-	No data available	3.59
Benzenesulfonic acid, mono-C10-16-alkyl derivs., sodium salts		4.78
Citric acid	No data available	-1.72
Subtilisins (proteolytic enzymes)	No data available	No data available

## Safety Data Sheet

according to Hazard Communication Standard; 29 CFR 1910.1200



# SHOUT® ADVANCED LAUNDRY STAIN REMOVER ACTION GEL®

Version 1.1

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SDS Number 350000020863

### Mobility

Component	End point	Value
Poly(oxy-1,2-ethanediyl), .alpha.-isotridecyl-.omega.- hydroxy-	No data available	
Benzenesulfonic acid, mono- C10-16-alkyl derivs., sodium salts	No data available	-
Citric acid	No data available	
Subtilisins (proteolytic enzymes)	No data available	

### PBT and vPvB assessment

Component	Results
Poly(oxy-1,2-ethanediyl), .alpha.-isotridecyl-.omega.- hydroxy-	Not fulfilling PBT and vPvB criteria
Citric acid	Not fulfilling PBT and vPvB criteria

**Other adverse effects** : None known.

---

## 13. DISPOSAL CONSIDERATIONS

Consumer may discard empty container in trash, or recycle where facilities exist.

---

## 14. TRANSPORT INFORMATION

Please refer to the Bill of Lading/receiving documents for up-to-date shipping information.

### Land transport

Not classified as dangerous in the meaning of transport regulations.

### Sea transport

Not classified as dangerous in the meaning of transport regulations.



**Safety Data Sheet**

according to Hazard Communication Standard; 29 CFR 1910.1200



**SHOUT® ADVANCED LAUNDRY STAIN REMOVER ACTION GEL®**

Version 1.1

Print Date 03/04/2015

Revision Date 02/25/2015

SDS Number 350000020863

**Air transport**

Not classified as dangerous in the meaning of transport regulations.

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**15. REGULATORY INFORMATION**

- Notification status** : All ingredients of this product are listed or are excluded from listing on the U.S. Toxic Substances Control Act (TSCA) Chemical Substance Inventory.
  
- Notification status** : All ingredients of this product comply with the New Substances Notification requirements under the Canadian Environmental Protection Act (CEPA).
  
- California Prop. 65** : This product is not subject to the reporting requirements under California's Proposition 65.

---

**16. OTHER INFORMATION**

**HMIS Ratings**

<b>Health</b>	2
<b>Flammability</b>	0
<b>Reactivity</b>	0

**NFPA Ratings**

<b>Health</b>	2
<b>Fire</b>	0
<b>Reactivity</b>	0
<b>Special</b>	-

This information is being provided in accordance with the Occupational Safety and Health Administration

**Safety Data Sheet**

according to Hazard Communication Standard; 29 CFR 1910.1200



**SHOUT® ADVANCED LAUNDRY STAIN REMOVER ACTION GEL®**

Version 1.1

Print Date 03/04/2015

Revision Date 02/25/2015

SDS Number 350000020863

(OSHA) regulation (29 CFR 1910.1200). The information supplied is designed for workplaces where product use and frequency of exposure exceeds that established for the labeled consumer use.

**Further information**

This document has been prepared using data from sources considered to be technically reliable. It does not constitute a warranty, expressed or implied, as to the accuracy of the information contained herein. Actual conditions of use are beyond the seller's control. User is responsible to evaluate all available information when using product for any particular use and to comply with all Federal, State, Provincial and Local laws and regulations.

Prepared by	SC Johnson Global Safety Assessment & Regulatory Affairs (GSARA)
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## Safety Data Sheet

according to Hazard Communication Standard; 29 CFR 1910.1200



# WINDEX® ORIGINAL GLASS CLEANER WITH AMMONIA-D®

Version 1.1

Print Date 03/04/2015

Revision Date 02/25/2015

SDS Number 350000014153

## 1. PRODUCT AND COMPANY IDENTIFICATION

### Product information

**Product name** : WINDEX® ORIGINAL GLASS CLEANER WITH AMMONIA-D®

**Recommended use** : Hard Surface Cleaner

**Manufacturer, importer, supplier** : S.C. Johnson & Son, Inc.  
1525 Howe Street  
Racine WI 53403-2236

**Telephone** : +18005585252  
**Emergency telephone number** : 24 Hour Medical Emergency Phone: (866)231-5406  
24 Hour International Emergency Phone: (703)527-3887  
24 Hour Transport Emergency Phone: (800)424-9300

## 2. HAZARDS IDENTIFICATION

### Classification of the substance or mixture

#### Globally Harmonized System (GHS) Classification

This product does not meet the criteria for classification in any hazard class according to regulation OSHA 29 CFR 1910.1200.

### Labelling

#### Precautionary statements

**Other hazards** : None identified

---

## 3. COMPOSITION/INFORMATION ON INGREDIENTS

This product does not contain hazardous chemicals at or above a reportable level as defined by OSHA 29 CFR 1910.1200

For additional information on product ingredients, see [www.whatsinsidescjohnson.com](http://www.whatsinsidescjohnson.com).

---

## 4. FIRST AID MEASURES

**Safety Data Sheet**

according to Hazard Communication Standard; 29 CFR 1910.1200



**WINDEX® ORIGINAL GLASS CLEANER WITH AMMONIA-D®**

Version 1.1

Print Date 03/04/2015

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SDS Number 350000014153

- Eye contact** : No special requirements
- Skin contact** : No special requirements
- Inhalation** : No special requirements.
- Ingestion** : No special requirements

---

**5. FIREFIGHTING MEASURES**

- Suitable extinguishing media** : Use water spray, alcohol-resistant foam, dry chemical or carbon dioxide.
- Specific hazards during firefighting** : Container may melt and leak in heat of fire.
- Further information** : Fight fire with normal precautions from a reasonable distance. Standard procedure for chemical fires. Wear full protective clothing and positive pressure self-contained breathing apparatus.

---

**6. ACCIDENTAL RELEASE MEASURES**

- Personal precautions** : Wash thoroughly after handling.
- Environmental precautions** : Outside of normal use, avoid release to the environment.
- Methods and materials for containment and cleaning up** : Dike large spills.  
Clean residue from spill site.

---

**7. HANDLING AND STORAGE**

- Handling**
- Precautions for safe handling** : Avoid contact with skin, eyes and clothing.  
For personal protection see section 8.  
KEEP OUT OF REACH OF CHILDREN AND PETS.

**Safety Data Sheet**

according to Hazard Communication Standard; 29 CFR 1910.1200



**WINDEX® ORIGINAL GLASS CLEANER WITH AMMONIA-D®**

Version 1.1

Print Date 03/04/2015

Revision Date 02/25/2015

SDS Number 350000014153

**Advice on protection against fire and explosion** : Normal measures for preventive fire protection.

**Storage**

**Requirements for storage areas and containers** : Keep container closed when not in use.

**Other data** : Stable under normal conditions.

---

**8. EXPOSURE CONTROLS/PERSONAL PROTECTION**

**Occupational Exposure Limits**

ACGIH or OSHA exposure limits have not been established for this product or reportable ingredients unless noted in the table above.

**Personal protective equipment**

**Respiratory protection** : No special requirements.

**Hand protection** : No special requirements.

**Eye protection** : No special requirements.

**Skin and body protection** : No special requirements.

**Hygiene measures** : Handle in accordance with good industrial hygiene and safety practice. Wash thoroughly after handling.

---

**9. PHYSICAL AND CHEMICAL PROPERTIES**

**Form** : liquid

**Color** : blue

**Odor** : pleasant

**Odour Threshold** : Test not applicable for this product type

**pH** : 10.7

**Safety Data Sheet**

according to Hazard Communication Standard; 29 CFR 1910.1200



**WINDEX® ORIGINAL GLASS CLEANER WITH AMMONIA-D®**

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SDS Number 350000014153

at (25 C)

- Melting point/freezing point** : 0 C
- Initial boiling point and boiling range** : 100 C
- Flash point** : > 93 °C  
> 199.4 °F  
Approximate
- Evaporation rate** : No data available
- Flammability (solid, gas)** : Does not sustain combustion.
- Upper/lower flammability or explosive limits** : No data available
- Vapour pressure** : No data available
- Vapour density** : No data available
- Relative density** : 1.00 g/cm<sup>3</sup> at 25 C
- Solubility(ies)** : soluble
- Partition coefficient: n-octanol/water** : No data available
- Auto-ignition temperature** : No data available
- Decomposition temperature** : No data available

**Safety Data Sheet**

according to Hazard Communication Standard; 29 CFR 1910.1200



**WINDEX® ORIGINAL GLASS CLEANER WITH AMMONIA-D®**

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- Viscosity, dynamic** : No data available
- Viscosity, kinematic** : No data available
- Oxidizing properties** : No data available
- Volatile Organic Compounds Total VOC (wt. %)\*** : 0.2 % - additional exemptions may apply  
\*as defined by US Federal and State Consumer Product Regulations
- Other information** : None identified :

---

**10. STABILITY AND REACTIVITY**

- Possibility of hazardous reactions** : If accidental mixing occurs and toxic gas is formed, exit area immediately. Do not return until well ventilated.
- Conditions to avoid** : Direct sources of heat.
- Incompatible materials** : Do not mix with bleach or any other household cleaners. Strong bases
- Hazardous decomposition products** : Thermal decomposition can lead to release of irritating gases and vapours.

---

**11. TOXICOLOGICAL INFORMATION**

- Emergency Overview** : This product does not meet the criteria for classification in any hazard class according to regulation OSHA 29 CFR 1910.1200.
- Acute oral toxicity** : LD50 estimated

**Safety Data Sheet**

according to Hazard Communication Standard; 29 CFR 1910.1200



**WINDEX® ORIGINAL GLASS CLEANER WITH AMMONIA-D®**

Version 1.1

Print Date 03/04/2015

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SDS Number 350000014153

> 5,000 mg/kg

**Acute inhalation toxicity** : LC50  
estimated  
> 2.58 mg/l

**Acute dermal toxicity** : LD50  
estimated  
> 5,000 mg/kg

GHS Properties	Classification	Routes of entry
Acute toxicity	No classification proposed	-
Skin corrosion/irritation	No classification proposed	-
Serious eye damage/eye irritation	No classification proposed	-
Skin sensitisation	No classification proposed	-
Respiratory sensitisation	No classification proposed	-
Germ cell mutagenicity	No classification proposed	-
Carcinogenicity	No classification proposed	-
Reproductive toxicity	No classification proposed	-
Specific target organ toxicity - single exposure	No classification proposed	-
Specific target organ toxicity - repeated exposure	No classification proposed	-
Aspiration hazard	No classification proposed	-

**Aggravated Medical Condition** : None known.



**Safety Data Sheet**

according to Hazard Communication Standard; 29 CFR 1910.1200



**WINDEX® ORIGINAL GLASS CLEANER WITH AMMONIA-D®**

Version 1.1

Print Date 03/04/2015

Revision Date 02/25/2015

SDS Number 350000014153

**12. ECOLOGICAL INFORMATION**

**Product** : The product itself has not been tested.

**Toxicity**

The ingredients in this formula have been reviewed and no adverse impact to the environment is expected when used according to label directions.

**No environmental data required.**

**Other adverse effects** : None known.

---

**13. DISPOSAL CONSIDERATIONS**

Consumer may discard empty container in trash, or recycle where facilities exist.

---

**14. TRANSPORT INFORMATION**

Please refer to the Bill of Lading/receiving documents for up-to-date shipping information.

**Land transport**

Not classified as dangerous in the meaning of transport regulations.

**Sea transport**

Not classified as dangerous in the meaning of transport regulations.

**Air transport**

Not classified as dangerous in the meaning of transport regulations.

---

**15. REGULATORY INFORMATION**

**Notification status** : All ingredients of this product are listed or are excluded from

**Safety Data Sheet**

according to Hazard Communication Standard; 29 CFR 1910.1200



**WINDEX® ORIGINAL GLASS CLEANER WITH AMMONIA-D®**

Version 1.1

Print Date 03/04/2015

Revision Date 02/25/2015

SDS Number 350000014153

listing on the U.S. Toxic Substances Control Act (TSCA)  
Chemical Substance Inventory.

**Notification status** : All ingredients of this product comply with the New Substances Notification requirements under the Canadian Environmental Protection Act (CEPA).

**California Prop. 65** : This product does not contain any chemicals known to State of California to cause cancer, birth defects, or any other reproductive harm.

**16. OTHER INFORMATION**

**HMIS Ratings**

<b>Health</b>	1
<b>Flammability</b>	2
<b>Reactivity</b>	0

**NFPA Ratings**

<b>Health</b>	1
<b>Fire</b>	2
<b>Reactivity</b>	0
<b>Special</b>	-

This information is being provided in accordance with the Occupational Safety and Health Administration (OSHA) regulation (29 CFR 1910.1200). The information supplied is designed for workplaces where product use and frequency of exposure exceeds that established for the labeled consumer use.

**Further information**

**Safety Data Sheet**

according to Hazard Communication Standard; 29 CFR 1910.1200



**WINDEX® ORIGINAL GLASS CLEANER WITH AMMONIA-D®**

Version 1.1

Print Date 03/04/2015

Revision Date 02/25/2015

SDS Number 350000014153

This document has been prepared using data from sources considered to be technically reliable. It does not constitute a warranty, expressed or implied, as to the accuracy of the information contained herein. Actual conditions of use are beyond the seller's control. User is responsible to evaluate all available information when using product for any particular use and to comply with all Federal, State, Provincial and Local laws and regulations.

Prepared by	SC Johnson Global Safety Assessment & Regulatory Affairs (GSARA)
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# MATERIAL SAFETY DATA SHEET

## EXEMPTION STATEMENT



Preparation date: 2010-01-13

### 1. PRODUCT AND COMPANY IDENTIFICATION

**Product name:** Ziploc Bags- All Variants

**MSDS #:** MS0500111  
**Product Code:** 94600, 94601, 94602, 94603, 94604, 94605, CB003502, CB003816, CB003908, CB003915, CB003991, CB011446, CB003202, CB003103, CB003823  
**Recommended use:** Food Storage

**Manufacturer, importer, supplier:**

US Headquarters JohnsonDiversey, Inc. 8310 16th St. Sturtevant, Wisconsin 53177-1964 Phone: 1-888-352-2249 MSDS Internet Address: www.johnsondiverse.com	Canadian Headquarters JohnsonDiversey, Inc. - Canada, Inc. 2401 Bristol Circle Oakville, Ontario L6H 6P1 Phone: 1-800-668-3131
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**Customer Service #:** 1-800-242-1677

### 2. EXEMPTION STATEMENT

This product is considered an "article" under OSHA's regulations at 29 CFR §1910.1200(c). Article means a manufactured item other than a fluid or particle:

- (i) which is formed to a specific shape or design during manufacture;
- (ii) which has end use function(s) dependent in whole or in part upon its shape or design during end use; and
- (iii) which under normal conditions of use does not release more than very small quantities, e.g., minute or trace amounts of a hazardous chemical (as determined under paragraph (d) of this section), and does not pose a physical hazard or health risk to employees.

MSDSs are not required for articles in accordance with OSHA's regulations at 29 CFR §1910.1200(b)(6)(v).

In Canada, WHMIS-controlled products are regulated under the Hazardous Products Act (HPA) and associated Controlled Products Regulations (CPR). Section 13 of the HPA requires suppliers to transmit MSDSs to customers. However, this product is classified as non-hazardous, is not WHMIS-controlled under the HPA, and does not require an MSDS to be transmitted.

You may be sure that every effort is made to provide customers with a product which is properly labeled and safe for its intended use. It is the user's responsibility to determine safe conditions for use of this product and assume liability for loss, injury, damage or expense resulting from any misuse of the product.

Return to: Katrina Karow  
Kenosha Water Utility  
4401 Green Bay Road  
Kenosha, WI 53144  
Email: kkarow@kenosha.org

Date Sent: **7-22-16 (PH)**

Date Due: \_\_\_\_\_

**VILLAGE OF PLEASANT PRAIRIE  
INDUSTRIAL WASTE SURVEY**

To be submitted to the

Kenosha Water Utility

**General Information**

1. Facility Name: DHL Supply
2. Mailing Address: 570 Polaris Parkway
3. City, State, Zip Code: Westerville, OH 43082
4. Site Address: 8505 100th Street, Pleasant Prairie, WI 53158
5. Standard Industrial Classification Code (SIC): 4225
6. Name, Title and Telephone Number of the Authorized Representative and the Company Contact Person Responsible for Environmental Compliance.

*Authorized Representative*  
Name: Dave Jarabak  
Title: Director  
Phone #: 717 250-6871

*Company Contact*  
Name: Tim Bartel  
Title: Operations Manager  
Phone #: 262 504-2053

The authorized representative must be a president, secretary, treasurer, or vice-president of the corporation in charge of a principle business function, or general partner or proprietor, or an individual designated by the aforementioned corporate official. The designated individual must meet the following criteria: (1) the person must be responsible for the overall operation of the facilities from which discharges originate, (2) the person is authorized in writing, and (3) the written authorization is submitted to the POTW.

7. List All Environmental Control Permits Held by or for the Facility.

N/A

**Operational Characteristics**

1. Existing Number of Employees: Full Time 10 Part Time 0
2. Operational Schedule: Days/Wk 5 Hours/Day 8 # Shifts 1
3. Describe the nature of the business conducted at this facility ( if more than one type ,of business or manufacturing takes place, list all activities): Receiving, storage and shipping of finished consumer goods using forklift equipment. This facility will not be manufacturing any product or material.
4. List principal raw materials used: None
5. List products produced and the average rate of production: N/A
6. List types of wastes created during production and any by-products produced: N/A
7. Estimate the quantity of water to be used by the facility during a six month period. Record the gallons of water anticipated by this facility. 24,000 gallons.  
Indicate the source of the facility's water: Kenosha \_\_\_\_\_ Pleasant Prairie X  
Meter number or address assigned to water meter(s). 8505 100th Street
8. Type of discharges: Continuous X Batch \_\_\_\_\_  
If batch was indicated, give the average frequency and approximate volume of any batch discharges: \_\_\_\_\_
9. Describe the uses of water at this facility: The only water usage will be for sanitation sewer, facility sanitation, handwashing, etc.

**Wastewater Information**

1. A process wastewater IS any wastewater discharged other than for sanitary, non-contact cooling or boiler blow-down purposes. List activities which generate a process wastewater and the time and duration of each discharge.

Wastewater Producing Process	Time and Duration of Discharges
n/a	

2. For each process wastewater stream list all the materials and pollutants which to believe may be present in the discharge.

n/a

3. Contact cooling water is cooling water that during the process comes into contact with process material, thereby becoming contaminated. Non-contact cooling water does not come into contact with process materials. Does this facility utilize cooling water?

4. Water volume used and discharged to sanitary sewer. A review of previous water usage bills may be helpful in assigning values to the following flows. If sanitary flow is not metered, provide an estimate based on 20 gallons per day fir each employee (i.e. water balance).

	Gallons per Day		Type of Wastewater Discharge (Continuous, Batch, None)
	Consumed	Discharges	
Sanitary Usage	200	200	
Process Wastewater Usage			None
Cooling Water Usage			None
Other Usage			None
Total Volume			

5. Describe all locations where wastewaters enter the collection system \_\_\_\_\_  
Sewer

6. Is there a sampling manhole on site? No \_\_\_\_\_ Yes X

If yes, describe the locations: \_\_\_\_\_

7. Are sanitary and process wastewaters separated? No x Yes \_\_\_\_\_

8. Is boiler blowdown water discharged to the sanitary sewer? No x Yes \_\_\_\_\_

9. Does your facility haul any process wastewater? No x Yes \_\_\_\_\_

**Compliance Information**

1. Is there any usage of toxic compounds at the facility? No x Yes \_\_\_\_\_

If yes, list and use check list on last page.

2. Are there any floor drains in the manufacturing or chemical storage area? No n/a Yes \_\_\_\_\_

3. Is there a Spill Prevention Control and Countermeasure Plan in effect for this facility?

No \_\_\_\_\_ Yes X If yes, describe procedure: \_\_\_\_\_

5. Is any form of waste water pretreatment practiced at this facility? No  Yes   
 If yes, describe: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_
6. List any specific pretreatment standards that apply to this facility: n/a  
 \_\_\_\_\_  
 \_\_\_\_\_
7. If pretreatment standards are not being met on a consistent basis, describe what additional and maintenance or pretreatment must be performed to achieve compliance.  
n/a  
 \_\_\_\_\_  
 \_\_\_\_\_
8. State the estimated timetable (compliance schedule) for the implementation of additional operations and maintenance or for the commencement and completion of major events leading to the construction and operation of the pretreatment facilities required to achieve compliance.  
n/a  
 \_\_\_\_\_  
 \_\_\_\_\_

**Submissions**

Include a schematic (print) of the facility that shows the water intake points(s), existing sanitary sewer, discharge points (connection(s) to sanitary collection system), and direction of wastewater flows at the facility. Provide a diagram of water flow through any processes that use water for any purpose.

**Signatory Requirement**

I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate this information submitted. Based on my inquiry of the person or persons directly responsible for gathering the information, the information submitted is to the best of my knowledge and belief true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment.

JEREMY BRISSON  
 Print Name: Authorized Representative

[Signature]  
 Signature: Authorized Representative

TAC MANAGER  
 Title

7.20.2016  
 Date



**Appendix**  
**Toxic Pollutants Listed in 40CFR 307(a)**

Known Absent	Suspected Present	Known Present	Pollutant
			1 Acenaphthene
			2 Acrolein
			3 Acrylonitrile
			4 Aldrin/Dieldrin
			5 Antimony and compounds
			6 Arsenic and compounds
			7 Asbestos
			8 Benzene
			9 Benzidine
			10 Beryllium and compounds
			11 Cadmium and compounds
			12 Carbon tetrachloride
			13 Chlordane
			14 Chlorinated benzenes
			15 Chlorinated ethanes
			16 Chlorinalkyl ethers
			17 Chlorinated naphthalene
			18 Chlorinated phenols
			19 Chlorofoffi
			20 2-chlorophenol
			21 Chromium and compounds
			22 Copper and compounds
			23 Cyanides
			24 DDT and metabolites
			25 Dichlorobenzenes
			26 Dichlorobenzidine
			27 Dichloroethylenes
			28 2,4-dichlorophenol
			29 Dichloropropane & Dichloropropene
			30 2,4-dimethylphenol
			31 Dinitrotoluene
			32 Diphenylhydrazine
			33 Endosulfan and metabolites

Known Absent	Suspected Present	Known Present	Pollutant
			34 Endrin and metabolites
			35 Ethylbenzene
			36 Fluoranthene
			37 Haloethers
			38 Halomethanes
			39 Heptachlor and metabolites
			40 Hexachlorobutadiene
			41 Hexachlorocyclopentadiene
			42 Hexachlorocyclohexane
			43 Isophrone
			44 Lead and compounds
			45 Mercury and compounds
			46 Naphthalene
			47 Nickel and compounds
			48 Nitrobenzene
			49 Nitrophenols
			50 Nitrosamines
			51 Pentachlorophenol
			52 Phenol
			53 Phthalate esters
			54 Polychlorinated biphenyls (PCBs)
			55 Polynuclear aromatic hydrocarbon
			56 Selenium and compounds <sup>1</sup>
			57 Silver and compounds
			58 2,3,7,8-Tetrachlorodibenzo- p-dioxin (TCDD)
			59 Tetrachloroethylene
			60 Thallium and compounds
			61 Toluene
			62 Toxaphene
			63 Trichloroethylene
			64 Vinyl chloride
			65 Zinc and compounds

**From:** [Eric Catlin \(DHL Supply Chain\)](#)  
**To:** [Peggy Herrick](#); [Doug McElmury](#); "Badger, Sam"; [Jennifer Oliver \(DHL Supply Chain\)](#)  
**Cc:** [Jean Werbie-Harris](#)  
**Subject:** RE: 8505 100th Street - Pleasant Prairie Paperwork  
**Date:** Wednesday, August 17, 2016 1:11:46 PM  
**Attachments:** [image001.png](#)

---

Peggy,

As discussed we will have **no aerosols** in the facility, only Ziploc and Liquids. This means we will not have Raid or Scrubbing Bubbles but all the others on the list below would still be stored. Thank you

**Eric Catlin**  
Sr. Director, Business Development  
Consumer Sector

**DHL Supply Chain**

Mobile: 972.989.9241

[eric.catlin@dhl.com](mailto:eric.catlin@dhl.com)

[www.dhl-usa.com/supplychain](http://www.dhl-usa.com/supplychain)

**Exel is changing its name to DHL Supply Chain!**

**GO GREEN – Environmental protection with DHL**

Please consider your environmental responsibility before printing this email

---

**From:** Peggy Herrick [mailto:[pherrick@plprairiewi.com](mailto:pherrick@plprairiewi.com)]  
**Sent:** Tuesday, August 16, 2016 12:54 PM  
**To:** Eric Catlin (DHL Supply Chain); Doug McElmury; 'Badger, Sam'; Jennifer Oliver (DHL Supply Chain)  
**Cc:** Jean Werbie-Harris  
**Subject:** RE: 8505 100th Street - Pleasant Prairie Paperwork  
**Importance:** High

Eric—just to be clear-no aerosols will be stored in the building at all—please let me know what products based on the attached MSDS sheets and the items listed below will be stored in the building so that we can proceed with the Plan Commission meeting on 8-22

Drano Max Building Up Remover  
Glade Spring  
Raid  
Scrub Bubble  
Shout Advance Action Gel  
Windex  
Ziploc

***Peggy Herrick***

*Assistant Planner and Assistant Zoning Administrator*

*Village of Pleasant Prairie*

*9915 39<sup>th</sup> Avenue*

*Pleasant Prairie, WI 53158*

*Telephone: 262-925-6717*

*Fax: 262-925-6787*

*Email: [pherrick@plprairiewi.com](mailto:pherrick@plprairiewi.com)*

---

**From:** Eric Catlin (DHL Supply Chain) [mailto:[Eric.Catlin@exel.com](mailto:Eric.Catlin@exel.com)]  
**Sent:** Tuesday, August 16, 2016 11:07 AM  
**To:** Peggy Herrick; Doug McElmury; 'Badger, Sam'; Jennifer Oliver (DHL Supply Chain)  
**Cc:** Jean Werbie-Harris  
**Subject:** RE: 8505 100th Street - Pleasant Prairie Paperwork

Peggy,

We don't intend to store this product type at the facility. The facility will only hold ziploc and liquids, not aerosol. While I am not sure exactly what is needed at this point to get approval for this level 1 aerosol I would only ask that we not include it for consideration with the 50% or the 100% permit process. Let me know if this is sufficient to move forward with the 8/22/16 meeting as planned. Thanks

Eric Catlin

Sr. Director, Business Development  
972-989-9241  
Sent with Good ([www.good.com](http://www.good.com))

-----Original Message-----

**From:** Peggy Herrick [[pherrick@plprairiewi.com](mailto:pherrick@plprairiewi.com)]  
**Sent:** Tuesday, August 16, 2016 11:09 AM Eastern Standard Time  
**To:** Doug McElmury; Eric Catlin (DHL Supply Chain); 'Badger, Sam'; Jennifer Oliver (DHL Supply Chain)  
**Cc:** Jean Werbie-Harris  
**Subject:** RE: 8505 100th Street - Pleasant Prairie Paperwork

All—Just following up on the recent emails—it appears that the Fire Department is still waiting for clarification regarding the discrepancies noted below in the email. This information is needed so that the permit for occupying 100% of the building can be processed and a Plan Commission meeting date set and notices sent out if a public hearing is required.  
Please advise of the status.

Thanks

*Peggy Herrick*

*Assistant Planner and Assistant Zoning Administrator  
Village of Pleasant Prairie  
9915 39<sup>th</sup> Avenue  
Pleasant Prairie, WI 53158  
Telephone: 262-925-6717  
Fax: 262-925-6787  
Email: [pherrick@plprairiewi.com](mailto:pherrick@plprairiewi.com)*

---

**From:** Doug McElmury  
**Sent:** Wednesday, August 03, 2016 3:05 PM  
**To:** 'Eric Catlin (DHL Supply Chain)'; Peggy Herrick; 'Badger, Sam'; Jennifer Oliver (DHL Supply Chain)  
**Cc:** Jean Werbie-Harris  
**Subject:** RE: 8505 100th Street - Pleasant Prairie Paperwork

There seems to be a significant discrepancy in the data in the MSDS and this information. Which is correct? Also, is the aerosol can pressurized to greater than 15 psi?

---

## 16. OTHER INFORMATION

### HMIS Ratings

Health	2
Flammability	4
Reactivity	0

### NFPA Ratings

Health	2
Fire	4
Reactivity	0
Special	-

---

**From:** Eric Catlin (DHL Supply Chain) [<mailto:Eric.Catlin@exel.com>]  
**Sent:** Wednesday, August 03, 2016 08:48  
**To:** Peggy Herrick; 'Badger, Sam'; Jennifer Oliver (DHL Supply Chain)

Cc: Jean Werbie-Harris; Doug McElmury  
Subject: RE: 8505 100th Street - Pleasant Prairie Paperwork

Peggy,

This is a level one aerosol and in all of our DC's in North America stored in general storage with no restrictions. We only store level 2 and 3 in separate storage areas.

Doug, if you still need the PSI let me know and I will get from the manufacturer.

**Classification Information**

U.S.	
Source Document:	SDS (English)
SDS Product Name:	Dow Disinfectant Bathroom Cleaner III with Scrubbing Bubbles
SDS Manufacturer:	SC Johnson
Fire Code Classification	
Physical Hazard	Health Hazard
<b>Aerosol Level - 1</b>	<b>Irritant</b> <b>Other Health Hazard</b>
Physical State	
<b>Aerosol</b>	
NFPA Classification	
Health: <b>1</b>	Fire: <b>1</b> Reactivity: <b>0</b> Special:
HMIS Classification	
Health: <b>2</b> Fire: <b>1</b> Reactivity: <b>0</b>	

**Eric Catlin**  
Sr. Director, Business Development  
Consumer Sector

**DHL Supply Chain**

Mobile: 972.989.9241

[eric.catlin@dhl.com](mailto:eric.catlin@dhl.com)

[www.dhl-usa.com/supplychain](http://www.dhl-usa.com/supplychain)

**Exel is changing its name to DHL Supply Chain!**

**GO GREEN – Environmental protection with DHL**

Please consider your environmental responsibility before printing this email

---

**From:** Peggy Herrick [<mailto:pherrick@plprairiewi.com>]  
**Sent:** Tuesday, August 02, 2016 6:01 PM  
**To:** 'Badger, Sam'; Jennifer Oliver (DHL Supply Chain)  
**Cc:** Eric Catlin (DHL Supply Chain); Jean Werbie-Harris; Doug McElmury  
**Subject:** FW: 8505 100th Street - Pleasant Prairie Paperwork  
**Importance:** High

Sam/Jennifer

See the questions below (highlighted in yellow) from the Village Fire Chief regarding the Scrubbing Bubbles

Please provide the answers so it can be determined if a Conditional Use Permit (CUP) is required.

If a CUP is required we could process the less than 50% with the condition that the Scrubbing Bubbles cannot be stored until the CUP is obtained.

**Peggy Herrick**

*Assistant Planner and Assistant Zoning Administrator*

*Village of Pleasant Prairie*

*9915 39<sup>th</sup> Avenue*

*Pleasant Prairie, WI 53158*

*Telephone: 262-925-6717*

*Fax: 262-925-6787*

*Email: [pherrick@plprairiewi.com](mailto:pherrick@plprairiewi.com)*

---

**From:** Doug McElmury  
**Sent:** Tuesday, August 02, 2016 4:57 PM  
**To:** Peggy Herrick  
**Subject:** RE: 8505 100th Street - Pleasant Prairie Paperwork

I have a couple of questions on the Scrubbing Bubbles product that they will have to answer:

What psi are the aerosol cans pressurized to?  
What NFPA Level Aerosol is it, 2 or 3?

Thanks

---

**From:** Peggy Herrick  
**Sent:** Tuesday, August 02, 2016 14:23  
**To:** Doug McElmury  
**Cc:** Jean Werbie-Harris  
**Subject:** FW: 8505 100th Street - Pleasant Prairie Paperwork  
**Importance:** High

Doug

Just following up on our phone conversation yesterday with Jean regarding this proposed use--Have you had a chance to look at this to determine if anything being stored is classified as a High Hazard Use, thus requiring a Conditional Use Permit?

Thanks

*Peggy Herrick*

*Assistant Planner and Assistant Zoning Administrator  
Village of Pleasant Prairie  
9915 39<sup>th</sup> Avenue  
Pleasant Prairie, WI 53158  
Telephone: 262-925-6717  
Fax: 262-925-6787  
Email: [pherrick@plprairiewi.com](mailto:pherrick@plprairiewi.com)*

---

**From:** Peggy Herrick  
**Sent:** Thursday, July 21, 2016 8:14 AM  
**To:** Doug McElmury; Jean Werbie-Harris  
**Cc:** Craig Roepke; Thomas Clark  
**Subject:** FW: 8505 100th Street - Pleasant Prairie Paperwork  
**Importance:** High

Doug/Jean

DHL is proposing to occupy the building at 8505 100<sup>th</sup> Street—based on the information attached is this classified as a High Hazard Use, thus requiring a Conditional Use Permit.

They have not submitted a floor plan yet.

If you could let me know that would be great

*Peggy Herrick*

*Assistant Planner and Assistant Zoning Administrator  
Village of Pleasant Prairie  
9915 39<sup>th</sup> Avenue  
Pleasant Prairie, WI 53158  
Telephone: 262-925-6717  
Fax: 262-925-6787  
Email: [pherrick@plprairiewi.com](mailto:pherrick@plprairiewi.com)*

---

**From:** Jennifer Oliver (DHL Supply Chain) [<mailto:Jennifer.Oliver@exel.com>]  
**Sent:** Thursday, July 21, 2016 7:19 AM

To: Peggy Herrick  
Cc: Jean Werbie-Harris; Kristina Tranel; Eric Catlin (DHL Supply Chain)  
Subject: 8505 100th Street - Pleasant Prairie Paperwork

Good Morning Peggy-

Attached are the forms previously sent. Based on your previous email we are in need of the following items:

- Site and Operational Plan Application (Attached for both 50% or more and less than 50% - Pleasant Prairie Agreements)
- Operational Plan-Written Narrative (Attached - Operational Plan)
- Building Plans including storage layout and racking plans (3 full size sets and a pdf)
- Detailed list of materials being stored with quantities and MSDS sheets (Attached - MSDS zip file)
- Industrial Waste Survey (Attached)
- Application Fee of \$825 and the Pre-Development Agreement (Processing)
- Commercial Building Permit Application
- Pre-Development Agreement (Attached - Pleasant Prairie Agreements)

From my understanding you are still in need of the Commercial Building Permit Application and the layout plans. Is that correct? Could you verify that you are in need of a rack layout (product layout), not a site plan?

Thank you in advance for your help.

*Jen Oliver*  
Tax Administrator

**Deutsche Post DHL Group**  
570 Polaris Parkway  
Westerville, Oh 43082

O. 614.865.5938

---

**From:** Peggy Herrick [<mailto:pherrick@plprairiewi.com>]  
**Sent:** Wednesday, July 20, 2016 4:43 PM  
**To:** Jennifer Oliver (DHL Supply Chain)  
**Cc:** Jean Werbie-Harris; Kristina Tranel  
**Subject:** RE: 8505 100th Street

Jennifer I was not aware of this—if that is the case then two separate submittals are required and different applications are required—one application will go to plan commission and the other is a staff review

Please submit each separately--attached are the two separate emails that explains what is required for each application

*Peggy Herrick*  
*Assistant Planner and Assistant Zoning Administrator*  
*Village of Pleasant Prairie*  
*9915 39<sup>th</sup> Avenue*  
*Pleasant Prairie, WI 53158*  
*Telephone: 262-925-6717*  
*Fax: 262-925-6787*  
*Email: [pherrick@plprairiewi.com](mailto:pherrick@plprairiewi.com)*

---

**From:** Jennifer Oliver (DHL Supply Chain) [<mailto:Jennifer.Oliver@exel.com>]  
**Sent:** Wednesday, July 20, 2016 1:00 PM  
**To:** Peggy Herrick  
**Cc:** Jean Werbie-Harris  
**Subject:** RE: 8505 100th Street

Good Afternoon Peggy-

Per Eric, this is for both permits that the village told the LL we could work concurrently:

- Less than 50% occupancy - village told the LL that after we submit the requested documentation we would receive the permit in approx.. 10 days
- More than 50% occupancy - this is the one we have discussed that we needed everything in by July 22nd to get on the plan commission meeting on Aug 22nd, if approved we would get the permit a few days later.

I will send the site and operational plan application and pre-development application to Eric in order for these forms to be completed. I will let him know that we are in need of the plans as well.

Thank you,

*Jen Oliver*  
Tax Administrator

**Deutsche Post DHL Group**  
570 Polaris Parkway  
Westerville, Oh 43082

O. 614.865.5938

---

**From:** Peggy Herrick [<mailto:pherrick@plprairiewi.com>]  
**Sent:** Wednesday, July 20, 2016 1:51 PM  
**To:** Jennifer Oliver (DHL Supply Chain)  
**Cc:** Jean Werbie-Harris  
**Subject:** RE: 8505 100th Street

Jennifer

I am understanding that you intend to occupy the entire building, if so in addition to the application fee you are missing other items as noted and attached in the 7-11-2016 email and listed below:

- Site and operational plan application
- Pre-development Application
- Plans

Thanks

*Peggy Herrick*  
*Assistant Planner and Assistant Zoning Administrator*  
*Village of Pleasant Prairie*  
*9915 39<sup>th</sup> Avenue*  
*Pleasant Prairie, WI 53158*  
*Telephone: 262-925-6717*  
*Fax: 262-925-6787*  
*Email: [pherrick@plprairiewi.com](mailto:pherrick@plprairiewi.com)*

---

**From:** Jennifer Oliver (DHL Supply Chain) [<mailto:Jennifer.Oliver@exel.com>]  
**Sent:** Wednesday, July 20, 2016 9:43 AM  
**To:** Peggy Herrick  
**Subject:** RE: 8505 100th Street

Good Morning Peggy-

Attached is the requested paperwork for the Pleasant Prairie site. Thank you for sending the application fee information. I will submit the payment today for processing. Please let me know if you are in need of any additional information.

Thank you,

*Jen Oliver*  
Tax Administrator

**Deutsche Post DHL Group**  
570 Polaris Parkway  
Westerville, Oh 43082

O. 614.865.5938

---

**From:** Peggy Herrick [<mailto:pherrick@plprairiewi.com>]  
**Sent:** Monday, July 18, 2016 4:46 PM  
**To:** Jennifer Oliver (DHL Supply Chain)  
**Subject:** RE: 8505 100th Street

Jennifer

Section 420-27 B (1) requires 825 Application fee—see link below

<http://ecode360.com/9345417>

## *Peggy Herrick*

*Assistant Planner and Assistant Zoning Administrator*

*Village of Pleasant Prairie*

*9915 39<sup>th</sup> Avenue*

*Pleasant Prairie, WI 53158*

*Telephone: 262-925-6717*

*Fax: 262-925-6787*

*Email: [pherrick@plprairiewi.com](mailto:pherrick@plprairiewi.com)*

---

**From:** Jennifer Oliver (DHL Supply Chain) [<mailto:Jennifer.Oliver@exel.com>]

**Sent:** Monday, July 18, 2016 2:43 PM

**To:** Peggy Herrick; Eric Catlin (DHL Supply Chain)

**Subject:** RE: 8505 100th Street

Good Afternoon Peggy-

I looked though the paperwork that you provided. I did not see where the \$825 application fee is stated. Could you please provide me with a written document stating this fee amount?

Thank you,

*Jen Oliver*

Tax Administrator

### **Deutsche Post DHL Group**

570 Polaris Parkway

Westerville, Oh 43082

O. 614.865.5938

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**From:** Peggy Herrick [<mailto:pherrick@plprairiewi.com>]

**Sent:** Monday, July 11, 2016 9:00 AM

**To:** Eric Catlin (DHL Supply Chain); Jennifer Oliver (DHL Supply Chain)

**Cc:** David Jarabak (DHL Supply Chain); Jean Werbie-Harris; Doug McElmury; Craig Roepke; Thomas Clark; Sandro Perez

**Subject:** RE: 8505 100th Street

Eric/Jennifer

Since you are occupying more than 50% of the building located at 8505 100<sup>th</sup> Street Plan Commission approval is required.

The following shall be submitted:

- Site and Operational Plan Application (See attached)--Note: if any uses are classified as a High Hazard Use then a Conditional Use Permit and a public hearing is required
- Operational Plan-Written Narrative (see attached)
- Building Plans including storage layout and racking plans (3 full size sets and a pdf)
- Detailed list of materials being stored with quantities and MSDS sheets (this will enable the Village to determine if this is a high hazard use)
- Industrial Waste Survey (See attached)
- Application Fee of \$825 and the Pre-Development Agreement

Once the application has been approved by the Plan Commission, then the required building permits for occupancy and the required sign permits can be submitted. If a public hearing is not required and the information is submitted by July 22<sup>nd</sup> then this could be placed on the August 22 Plan Commission agenda.

Let me know if you have further questions.

## *Peggy Herrick*

*Assistant Planner and Assistant Zoning Administrator*

*Village of Pleasant Prairie*

*9915 39<sup>th</sup> Avenue*



Pleasant Prairie, WI 53158  
Telephone: 262-925-6717  
Fax: 262-925-6787  
Email: [pherrick@plprairiewi.com](mailto:pherrick@plprairiewi.com)

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**From:** Eric Catlin (Exel US) [<mailto:Eric.Catlin@exel.com>]  
**Sent:** Friday, July 08, 2016 3:33 PM  
**To:** Jennifer Oliver (Exel US); Peggy Herrick  
**Cc:** David Jarabak (EXEL US)  
**Subject:** RE: Business License Requirements

Hi Peggy,

We will be operating the entire facility, all 256,240 sq. ft.. Also we will be storing all products that SC Johnson produces but general consumer packaged goods that cover home cleaning, air care, pest control, home storage and auto care. Main brands are Windex, Ziploc, Glade, Shout, Saran, etc.

**Eric Catlin**  
Sr. Director, Business Development  
Consumer Sector

**DHL Supply Chain**

Mobile: 972.989.9241

[eric.catlin@dhl.com](mailto:eric.catlin@dhl.com)

[www.dhl-usa.com/supplychain](http://www.dhl-usa.com/supplychain)

**Exel is changing its name to DHL Supply Chain!**

**GO GREEN – Environmental protection with DHL**

Please consider your environmental responsibility before printing this email

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**From:** Jennifer Oliver (Exel US)  
**Sent:** Friday, July 08, 2016 3:27 PM  
**To:** Peggy Herrick  
**Cc:** Eric Catlin (Exel US); David Jarabak (EXEL US)  
**Subject:** RE: Business License Requirements

Hi Eric-

Could you please provide Peggy with the below requested information:

How much of the building will the business be occupying?  
What will be stored in the building?

Thank you,

*Jen Oliver*  
Tax Administrator

**Deutsche Post DHL Group**  
570 Polaris Parkway  
Westerville, Oh 43082

O. 614.865.5938

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**From:** Peggy Herrick [<mailto:pherrick@plprairiewi.com>]  
**Sent:** Friday, July 08, 2016 2:03 PM  
**To:** Jennifer Oliver (Exel US)  
**Subject:** RE: Business License Requirements

Jennifer

The Village currently does not require a business license (a business license is expected to be required by the end of the year); however, an Occupancy Permit is required to be issued prior to occupancy of any Industrial building in the Village by a new tenant. Please give me a call to discuss the permit process. I will need to know how much of the building you are intending to occupy (more than 50% requires approval by the Plan Commission). I will also need to know what is proposed to be stored in the building.

*Peggy Herrick*

*Assistant Planner and Assistant Zoning Administrator  
Village of Pleasant Prairie  
9915 39<sup>th</sup> Avenue  
Pleasant Prairie, WI 53158  
Telephone: 262-925-6717  
Fax: 262-925-6787  
Email: [pherrick@plprairiewi.com](mailto:pherrick@plprairiewi.com)*

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**From:** Jennifer Oliver (Exel US) [<mailto:Jennifer.Oliver@exel.com>]  
**Sent:** Friday, July 08, 2016 9:04 AM  
**To:** Village Admin  
**Cc:** Clerks Office  
**Subject:** Business License Requirements

Good Morning-

I am contacting you in regards to the business license requirements for an overflow facility. Exel Inc. currently operates a site in Sturtevant, WI. The overflow facility will be located approximately 15 miles from this location in Pleasant Prairie, WI. The business location address is:

8505 100<sup>th</sup> Street  
Pleasant Prairie, WI 53158.

Could you please provide any needed applications and/or requirements for this warehouse facility?

Thank you in advance for your help.

*Jen Oliver*  
Tax Administrator

**Deutsche Post DHL Group**  
570 Polaris Parkway  
Westerville, Oh 43082

O. 614.865.5938